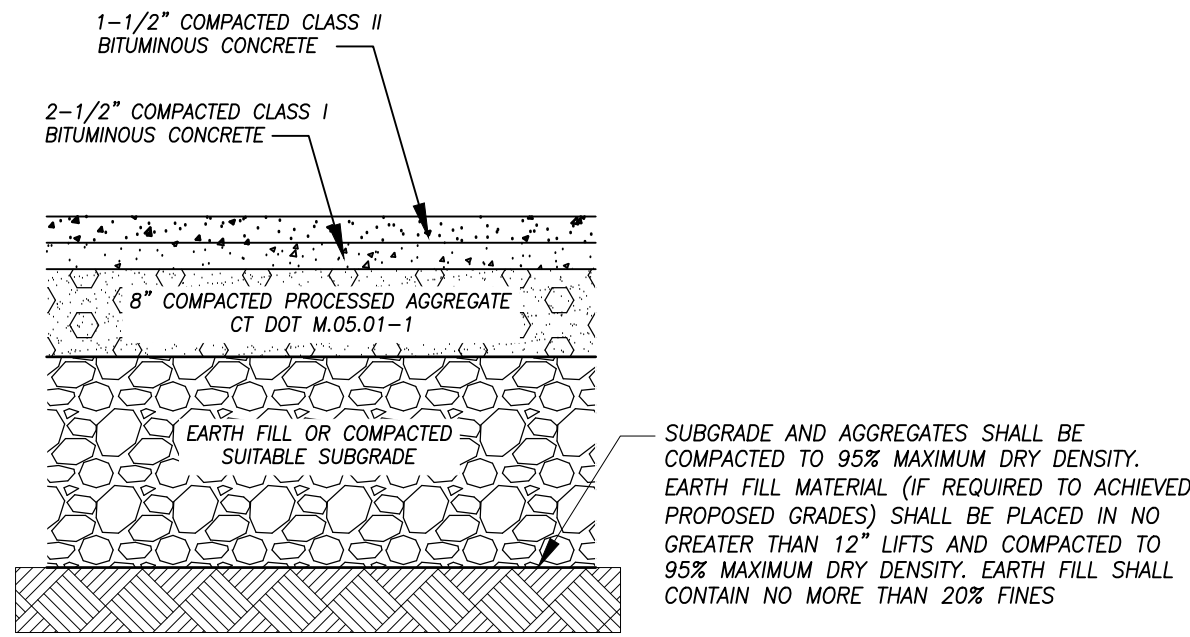
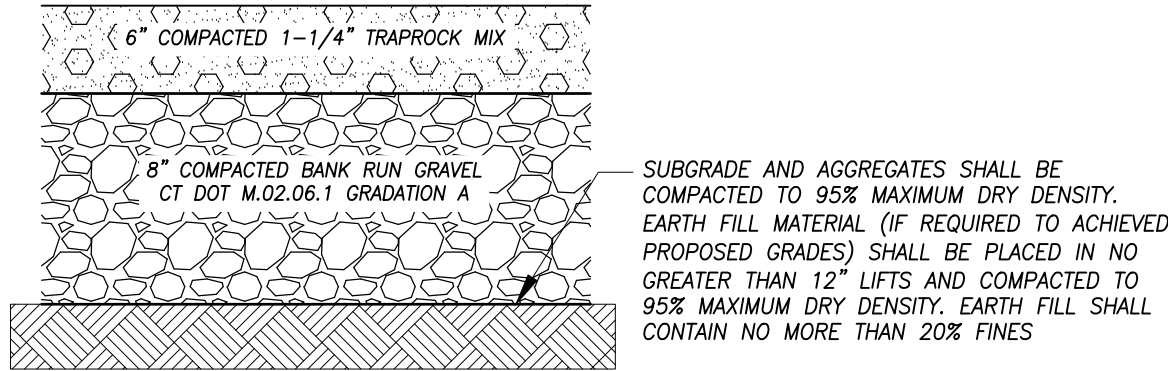


\\192.168.2.3\PROJECTS\CIVIL 3D PROJECTS\2021\22-3140 GATEWAY TERMINAL.DWG\DESIGN\DEPOT ROAD NOTES AND DETAILS.DWG



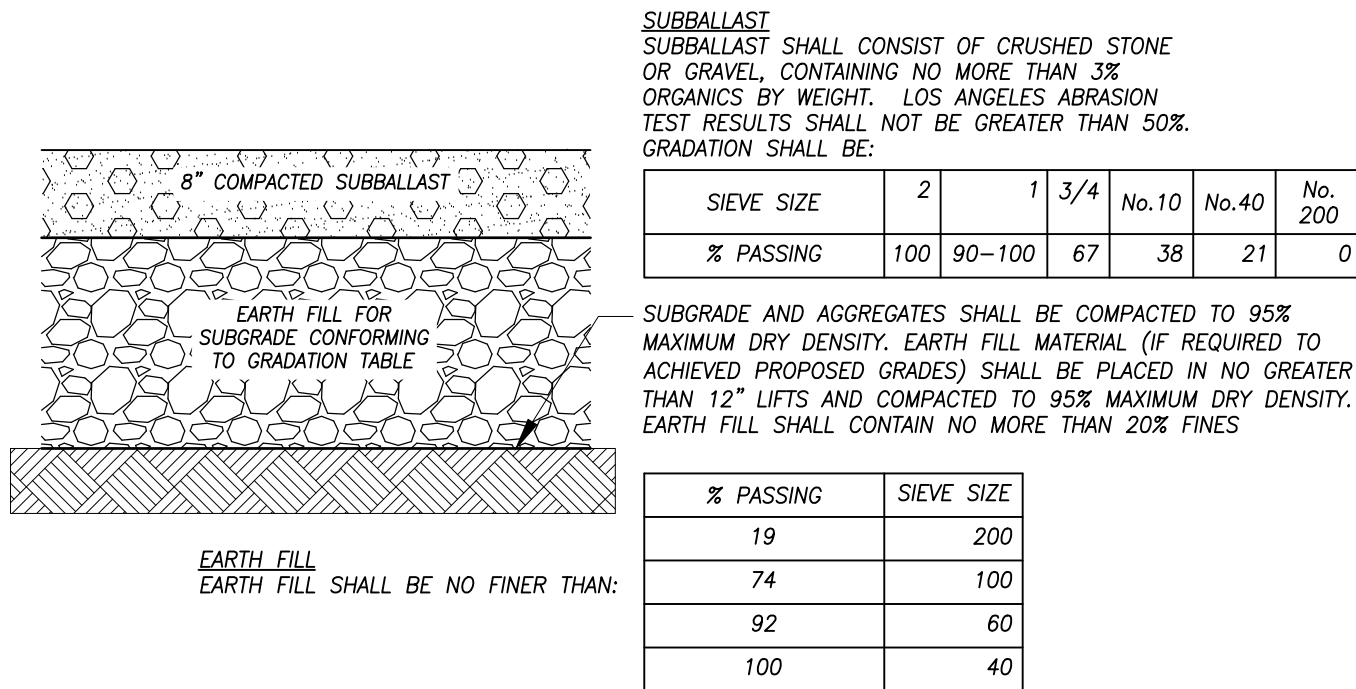
BITUMINOUS CONCRETE  
PAVEMENT DETAIL

NOT TO SCALE



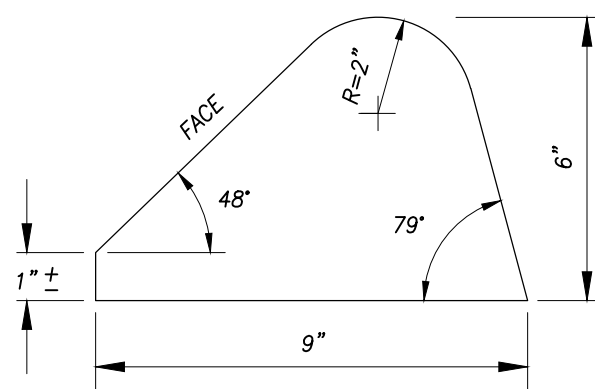
TRAFFIC BOUND GRAVEL  
SURFACE DETAIL

NOT TO SCALE



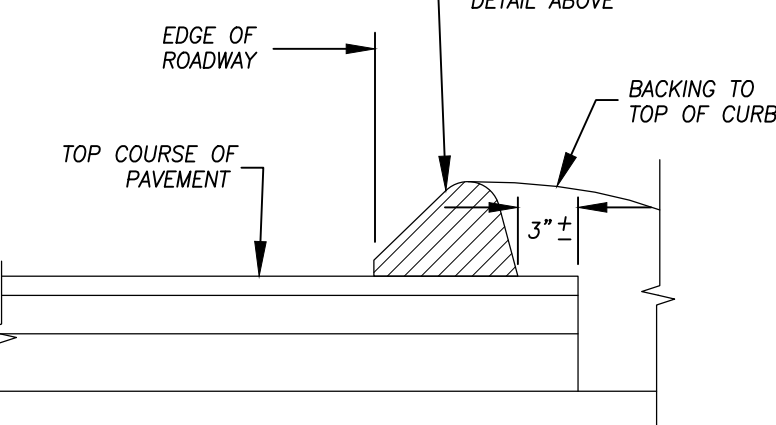
RAIL YARD CROSS SECTION

NOT TO SCALE



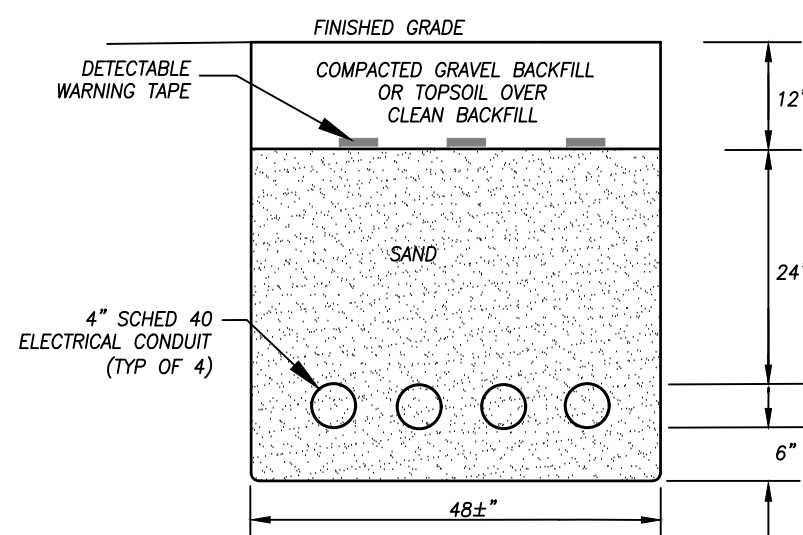
CURB DETAIL

CURB TO MEET CDOT STANDARDS



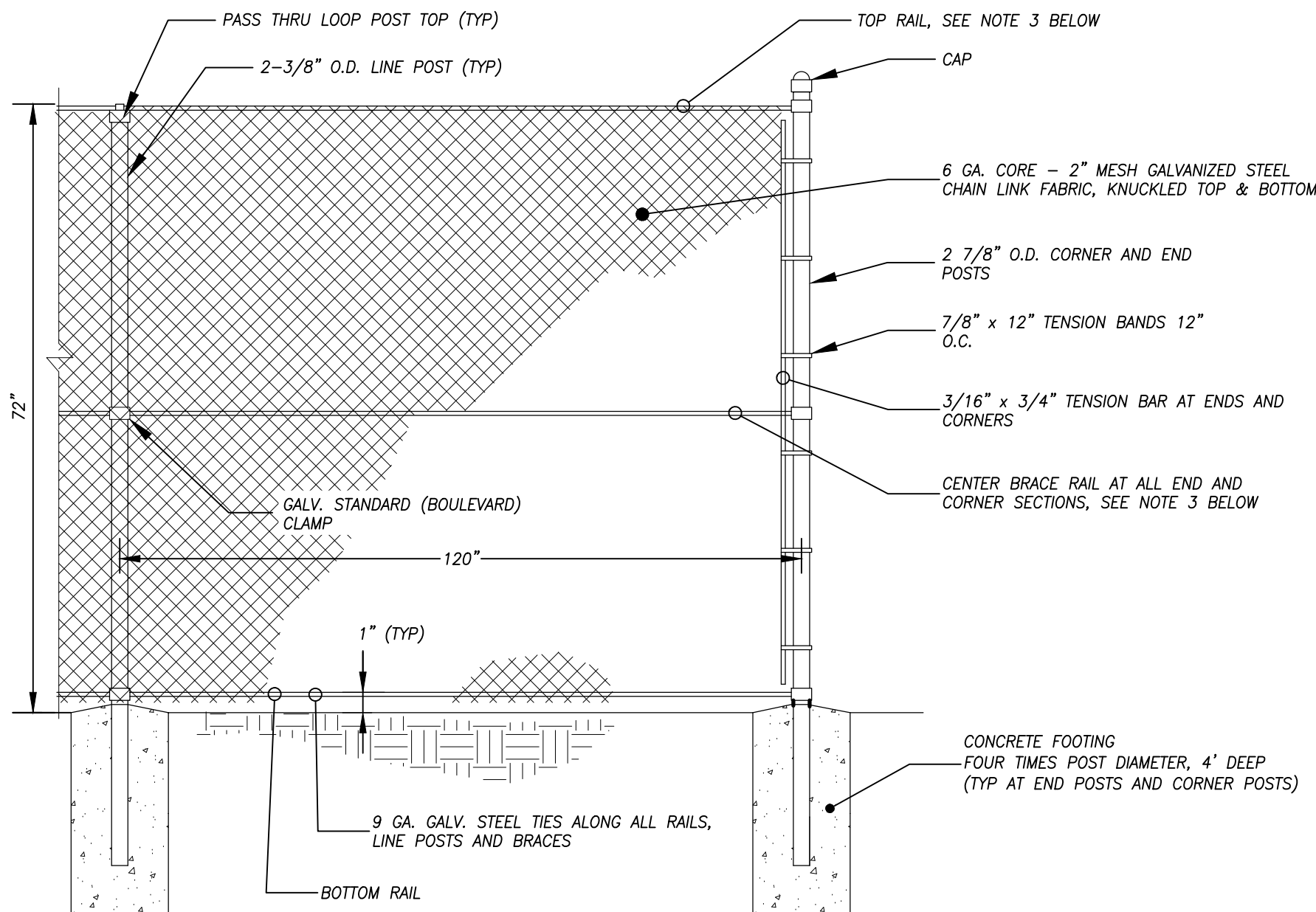
BITUMINOUS CONCRETE LIP CURB DETAIL

NOT TO SCALE



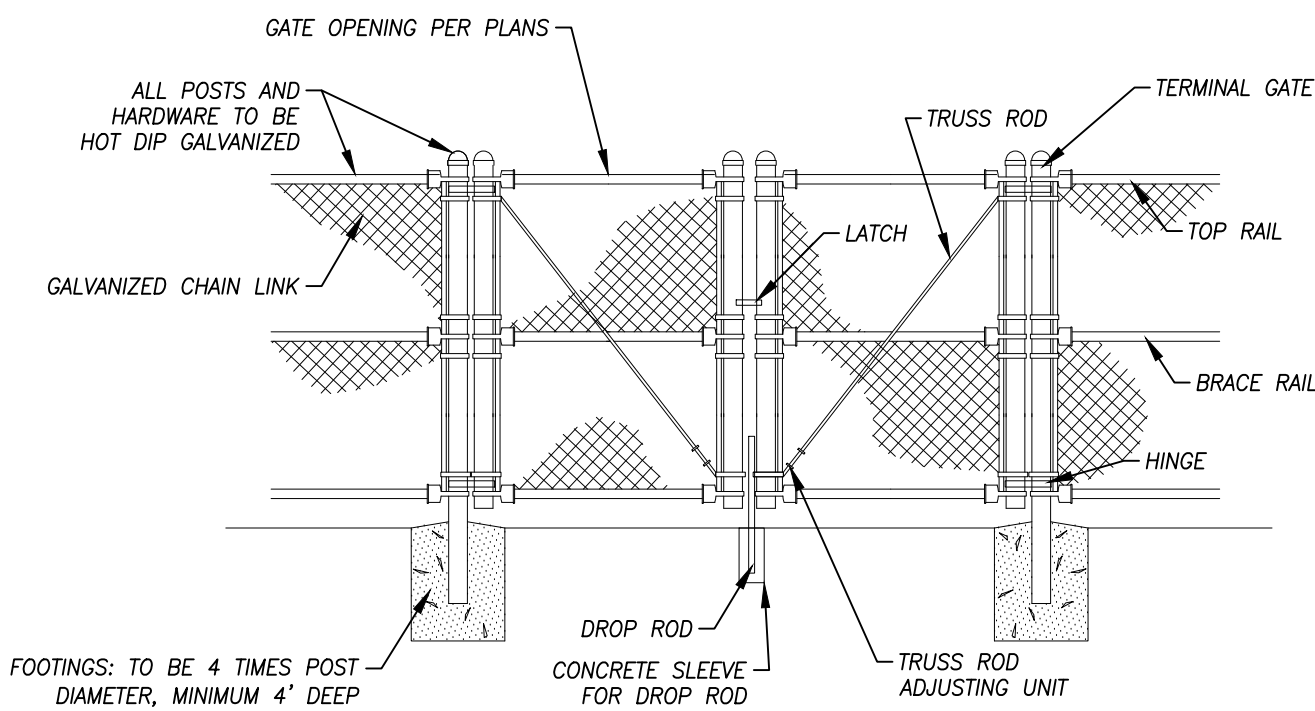
ELECTRIC DUCT BANK DETAIL

NOT TO SCALE



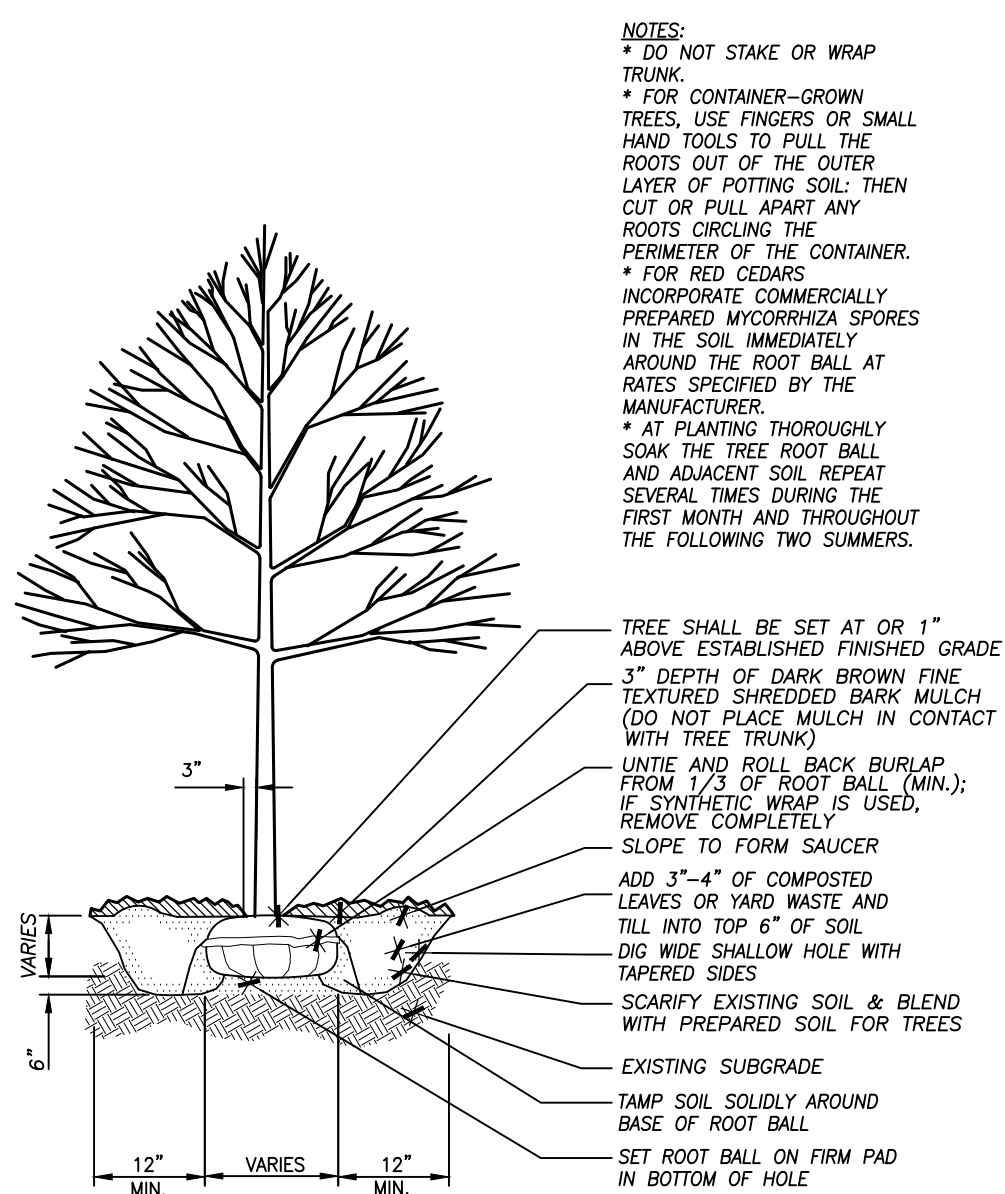
CHAIN LINK FENCE DETAIL

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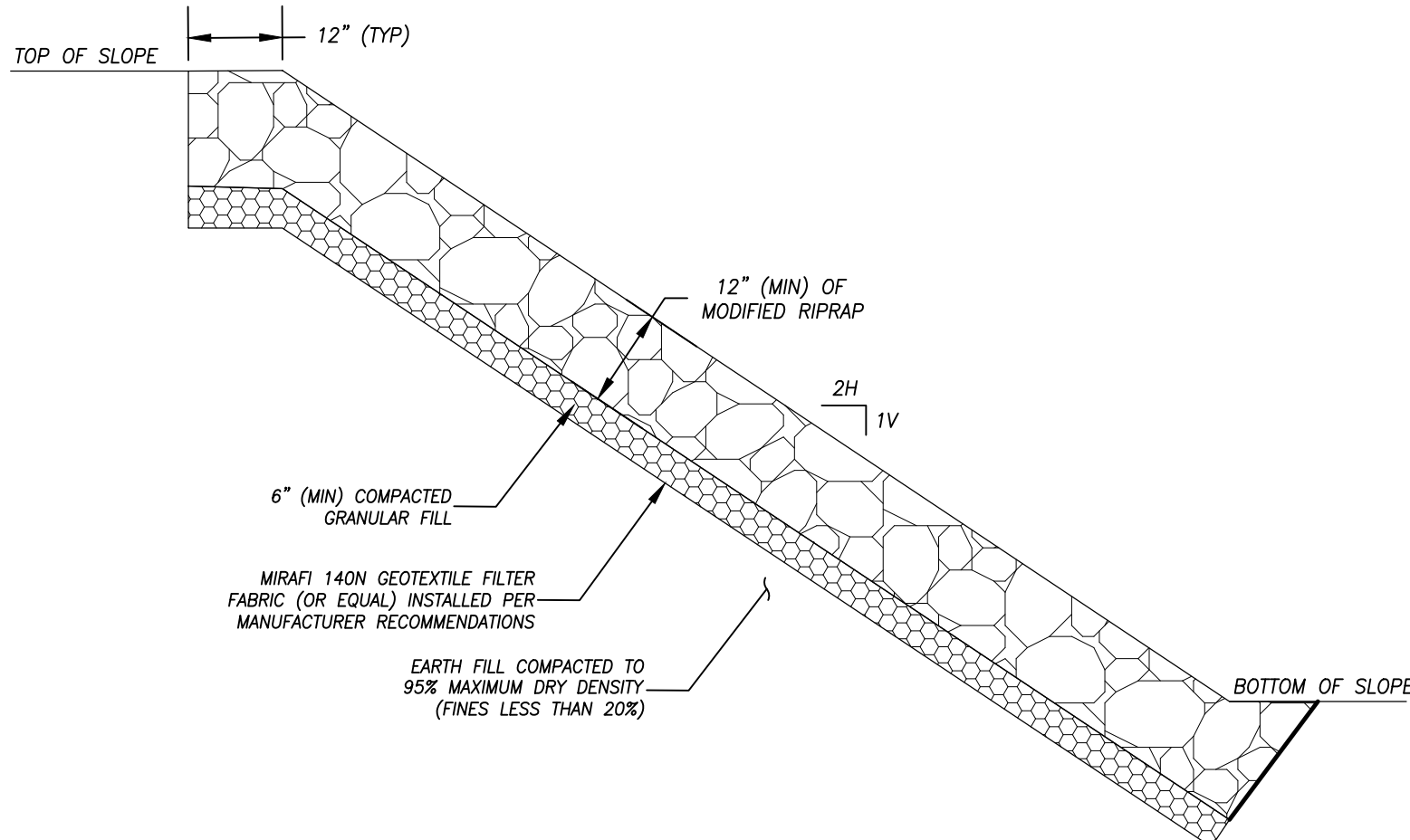
6' HIGH SWING GATE DETAIL

NOT TO SCALE



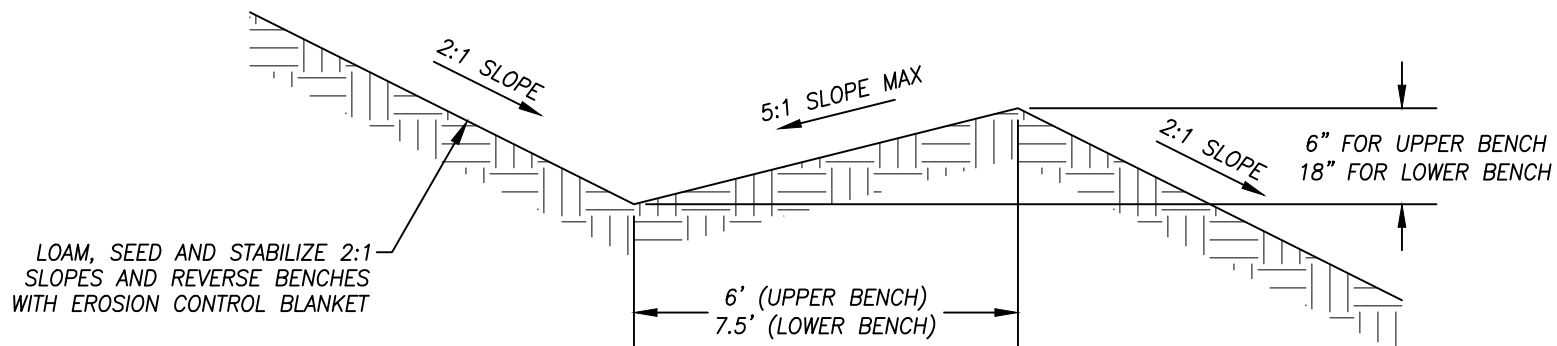
TREE PLANTING DETAIL

NOT TO SCALE



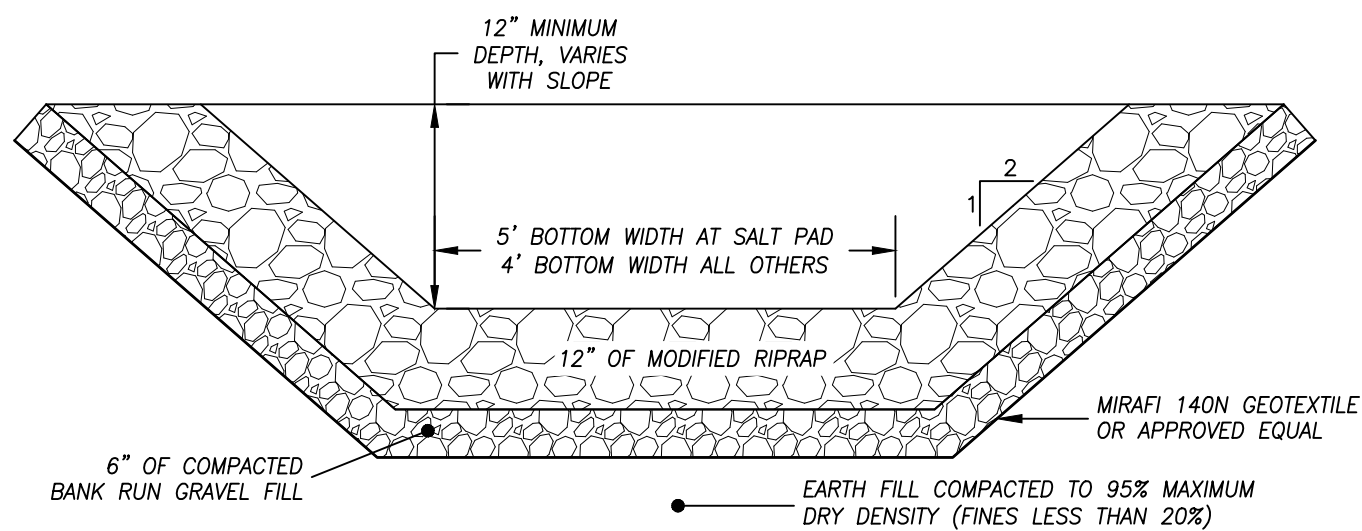
STONE SLOPE STABILIZATION DETAIL

NOT TO SCALE



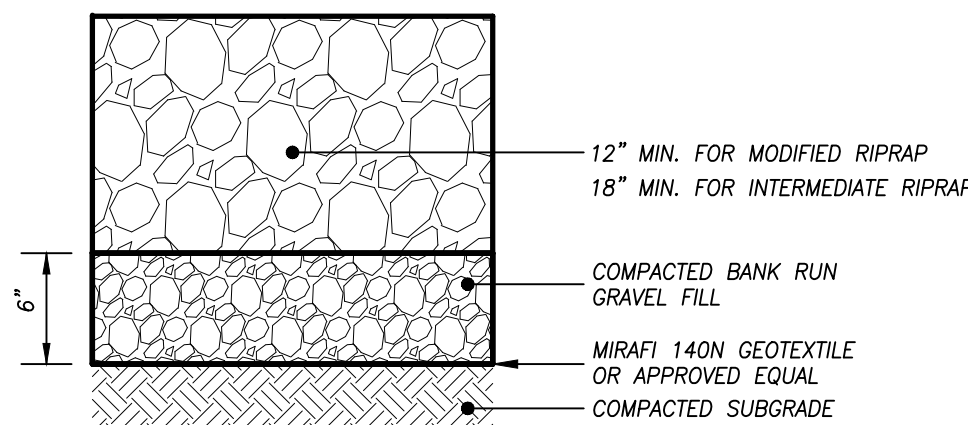
REVERSE SLOPE BENCH DETAIL

NOT TO SCALE



MODIFIED RIP RAP SWALE DETAIL

NOT TO SCALE



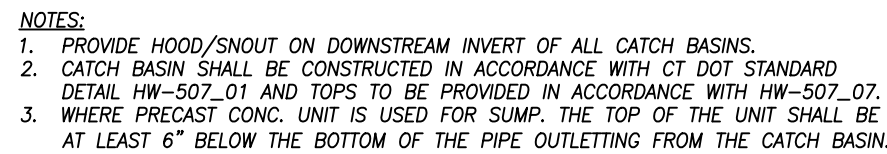
TYPICAL RIPRAP SECTION

NOT TO SCALE



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**PLAN**

7'-10 1/2"

4'-8"

1/4"

54 X 95 (GALVANIZED)

2L 3 1/2" X 2 1/2" X 1/2" (GALVANIZED)

DETAIL "A"

PRECAST TYPE II TOP (TYPE "C" OR "CL") CONFORMING TO FORM S144

SEE DETAIL "A"

5'-10 1/2"

12"

4"

8"

4'-0" MIN.

6'-6 1/2"

7'-10 1/2"

2'-0"

VARIES

18" SUMP

6"

6"

3/4" CRUSHED STONE

PRECAST CONCRETE REDUCER OR CORBEL (12" MAX.) 8" CONC. UNITS

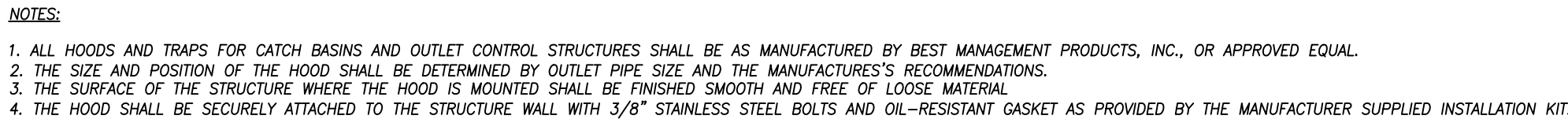
PRECAST RISER OR 8" CONCRETE UNITS

GUTTER LINE

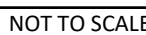
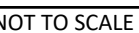
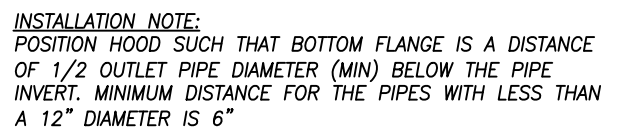
A

- NOTES:
1. PROVIDE HOOD/SNOUT ON DOWNSTREAM INVERT OF CATCH BASIN.
  2. CATCH BASIN TO BE CONSTRUCTED IN ACCORDANCE WITH CT DOT STANDARD DETAIL HW-507.03 AND TOPS TO BE PROVIDED IN ACCORDANCE WITH HW-507.07.
  3. WHERE PRECAST CONC. UNIT IS USED FOR SUMP, THE TOP OF THE UNIT SHALL BE AT LEAST 6" BELOW THE BOTTOM OF THE PIPE OUTLETTING FROM THE CATCH BASIN.

**NOTE:**  
THE CONTRACTOR SHALL MAINTAIN A MINIMUM  
15' WIDE TRAVEL WAY AT ROAD CROSSINGS  
AT ALL TIMES DURING CONSTRUCTION.



NOT TO SCALE



- GENERAL NOTES:**
1. CDS WATER QUALITY STRUCTURE BY CONTECH, OR EQUAL, SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
  2. STRUCTURE SHALL MEET AASHTO H220 AND CASTINGS SHALL MEET AASHTO M306 LOG RATING, ASSUMING GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE ELEVATION.
  3. PVC HYDRAULIC SHEAR PLATE IS PLACED ON SLEEVES AT BOTTOM OF SCREEN CYCLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.
- INSTALLATION NOTES:**
1. CONTRACTOR TO ADD JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS, AND ASSEMBLE STRUCTURE.
  2. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN ON PLAN.
  3. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT TO FLOWING WATER TO FLOWING INVERT MINIMUM. ALL JOINTS BELOW PIPE INVERTS SHALL BE GROUTED.

NOTE:  
EACH STORMWATER TREATMENT SYSTEM SHALL BE DESIGNED TO REMOVE A MINIMUM OF 50% OF THE TOTAL SUSPENDED SOLIDS FROM THE WATER QUALITY FLOW FOR EACH STRUCTURE AND SHALL BE LISTED ON THE CT DOT QUALIFIED PRODUCTS LIST. THE STORMWATER TREATMENT DEVICE SHALL NOT RESUSPEND SEDIMENT FOR FLOWS LESS THAN THE INLET PIPE RUNNING FULL. SHOP DRAWINGS OF THE PROPOSED TREATMENT SYSTEM SHALL FIRST BE APPROVED BY THE DESIGN ENGINEER PRIOR TO FABRICATION.

SHOP DRAWING SUBMITTALS SHALL INCLUDE:

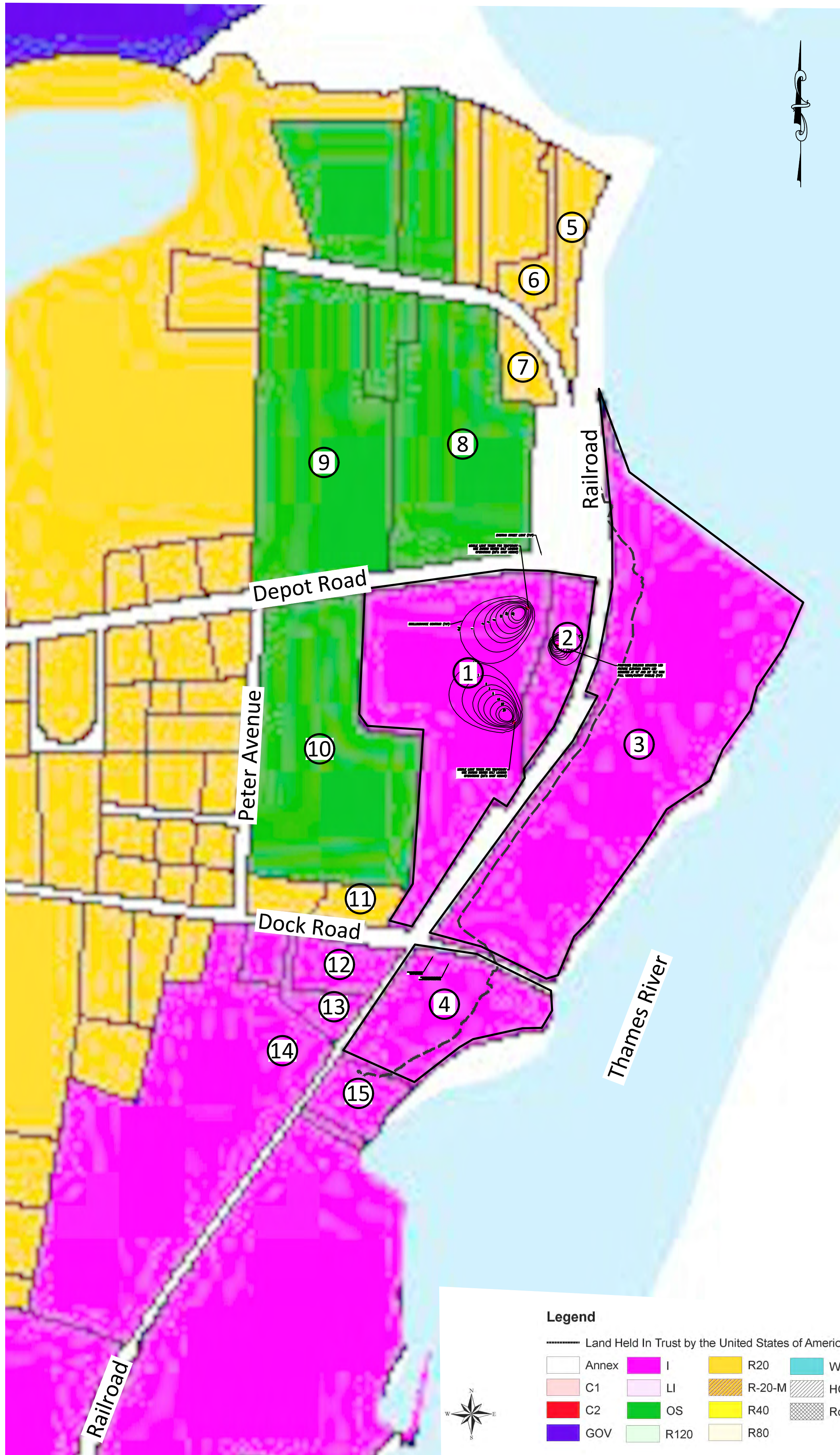
1. "TREATED" FLOW FOR THE SPECIFIED SYSTEM AND MODEL, WHICH SHALL EQUAL OR EXCEED THE WATER QUALITY FLOW.
2. PEAK FLOW CAPACITY WITHOUT RE-SUSPENDING SOLIDS.
3. CALCULATIONS OR DOCUMENTATION VERIFYING THAT 50% (MIN.) OF THE AVERAGE ANNUAL TOTAL SUSPENDED SOLIDS WILL BE REMOVED FROM THE WATER QUALITY FLOW.
4. ORIENTATION OF THE SYSTEM IN PLAN VIEW WITH RESPECT TO THE APPROVED PLANS (IF DIFFERENT THAN SHOWN ON THE APPROVED PLANS)

## CONTECH CDS HYDRODYNAMIC SEPARATOR DETAIL





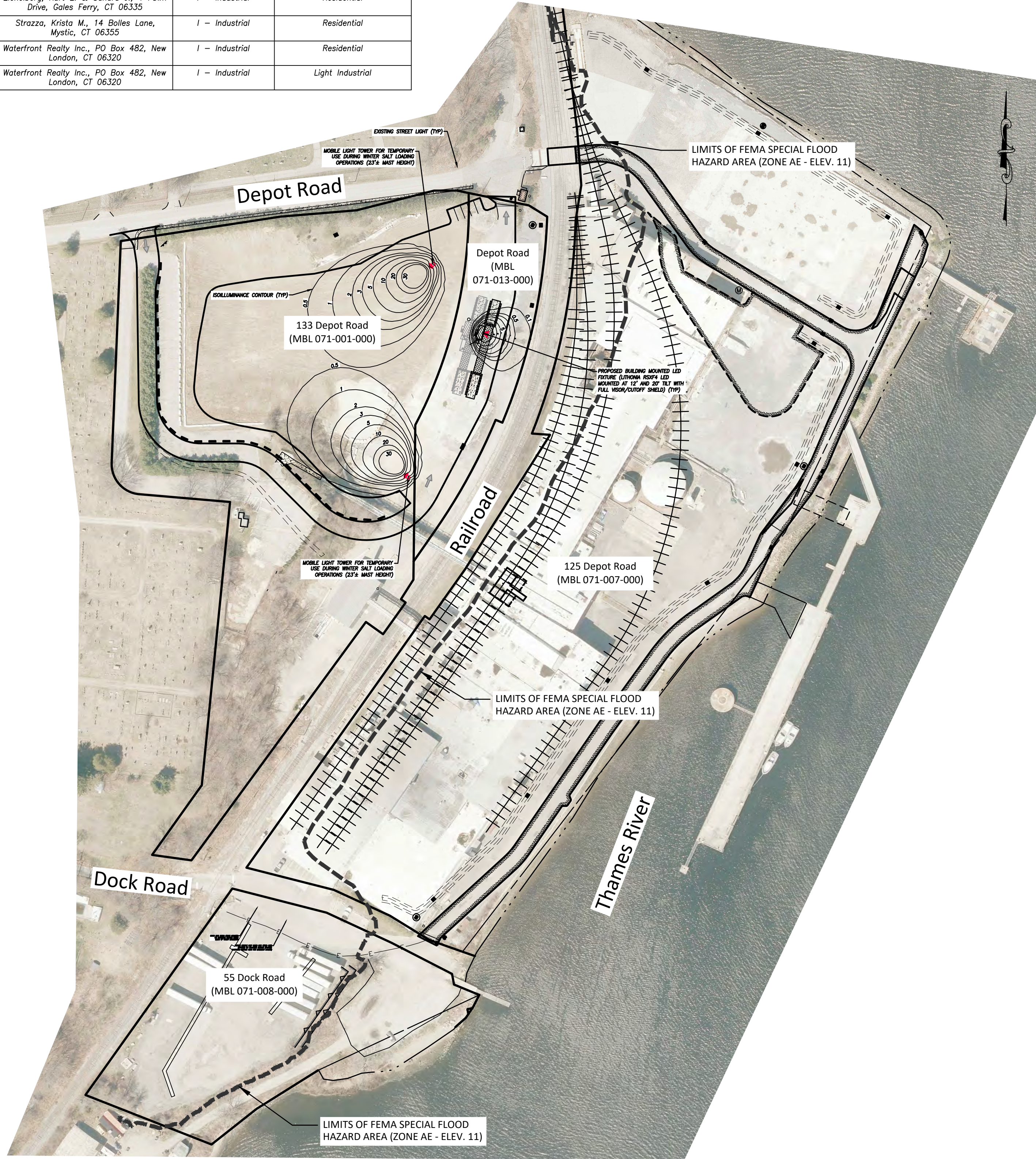
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Zoning Map

Scale: 1" = 200'±

125/133 Depot Road and 55 Dock Road Abutting Properties					
Identification	Address	Map, Block, Lot	Owner Address	Zoning Designation	Property Use
1	133 Depot Road	071-001-000	Uncasville LLC, 1515 Des Peres Road, St. Louis, MO 63131	I - Industrial	Subject Property - Industrial
2	Depot Road	071-013-000	Uncasville LLC, 1515 Des Peres Road, St. Louis, MO 63131	I - Industrial	Subject Property - Industrial
3	125 Depot Road	071-007-000	Uncasville LLC, 1515 Des Peres Road, St. Louis, MO 63131	I - Industrial	Subject Property - Industrial
4	55 Dock Road	071-008-000	Uncasville LLC, 1515 Des Peres Road, St. Louis, MO 63131	I - Industrial	Subject Property - Industrial
5	Depot Road Extension	075-006-000	Uncasville LLC, 1515 Des Peres Road, St. Louis, MO 63131	R20 - Residential 20	Vacant Land
6	173 Depot Road Extension	075-005-000	Stauffer-Johnson, Joanne J., 173 Depot Road Extension, Uncasville, CT 06382	R20 - Residential 20	Residential
7	170 Depot Road Extension	075-002-000	Archer, Ryan M., 170 Depot Road Ext., Uncasville, CT 06382	R20 - Residential 20	Residential
8	120 Depot Road	075-001-000	St. Patrick Cemetery, 815 Boswell Avenue, Norwich, CT 06360	OS - Open Space	Cemetery
9	114 Depot Road	075-026-000	Comstock Cemetery, PO Box 108, Montville, CT 06353	OS - Open Space	Cemetery
10	14 Peter Avenue	071-004-000	Comstock Cemetery, PO Box 108, Montville, CT 06353	OS - Open Space	Cemetery
11	48 Dock Road	071-006-000	Perkins, Frederick H. & Eleanor M., 48 Dock Road, Uncasville, CT 06382	R20 - Residential 20	Vacant Land
12	49 Dock Road	071-011-000	Eichelberg, Kurt E. & Sandra J., 4 Fawn Drive, Gales Ferry, CT 06355	I - Industrial	Residential
13	45 Dock Road	071-012-000	Strazza, Krista M., 14 Bolles Lane, Mystic, CT 06355	I - Industrial	Residential
14	39 Dock Road	070-094-000	Waterfront Realty Inc., PO Box 482, New London, CT 06320	I - Industrial	Residential
15	61 Dock Road	071-009-000	Waterfront Realty Inc., PO Box 482, New London, CT 06320	I - Industrial	Light Industrial



Site Operations/Development Plan  
"Adjacent Properties List, Zoning Map and Overall Aerial Figure"

Prepared for  
Gateway Montville, LLC  
125 Depot Rd (M/B/L 071-007-000), 133 Depot Rd (M/B/L 071-001-000), Depot Rd (M/B/L 071-013-000) and 55 Dock Rd (M/B/L 071-008-000) - Uncasville, Connecticut

SCALE: As Noted  
DATE: May 2022  
JOB I.D. NO. 22-3140  
Revisions  
Rev. A - Per Town Staff  
Review - 6/28/22  
Rev. B - Per Town Staff  
Review - 7/7/22

SHEET NO.

23

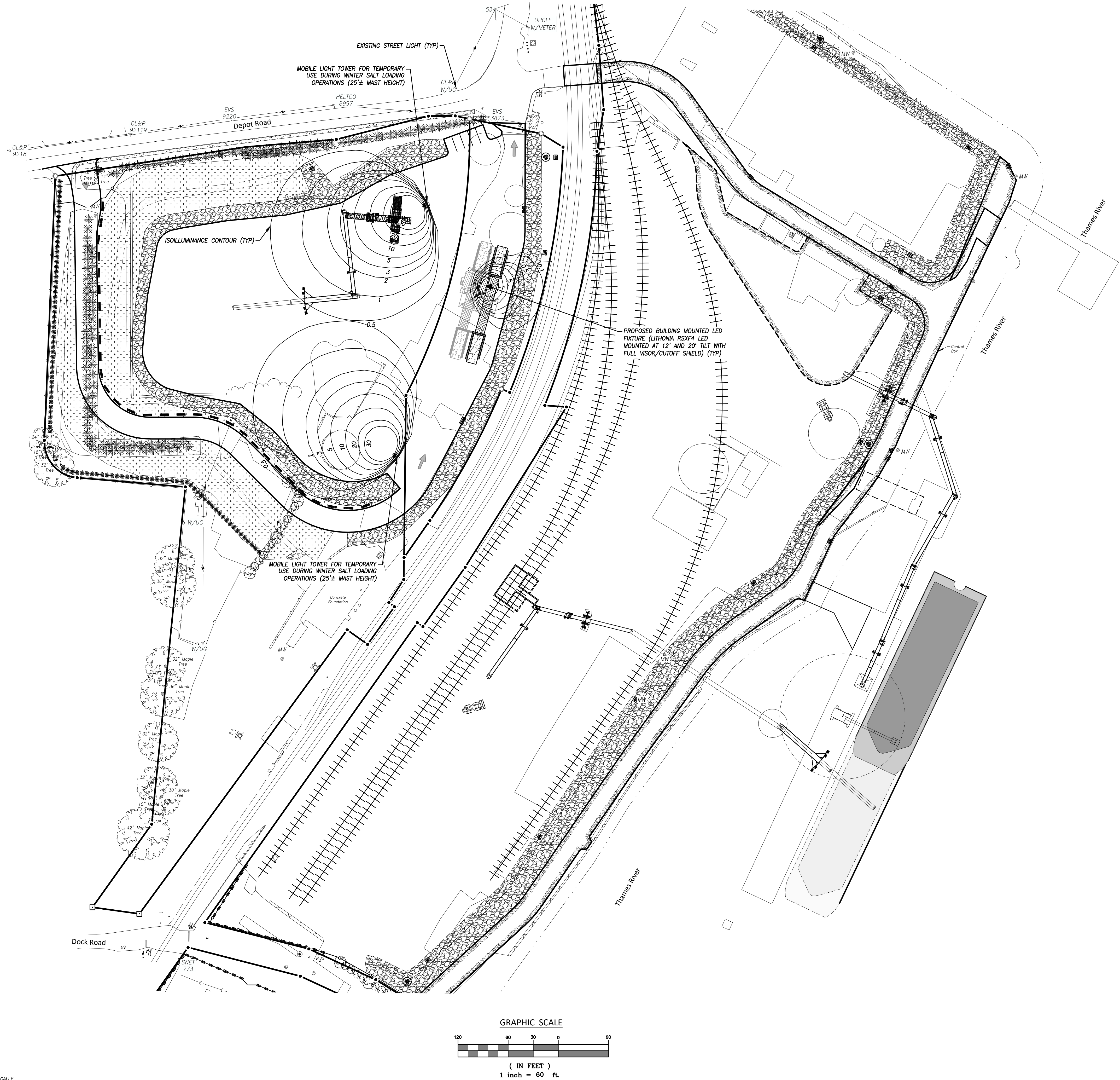
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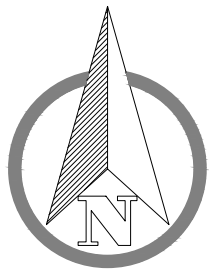


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# Site Operations/Development Plan "Site Lighting Plan"

Prepared for  
Gateway Montville, LLC  
125 Depot Rd (M/B/L 071-007-000), 133 Depot Rd (M/B/L 071-001-000), Depot Rd  
(M/B/L 071-013-000) and 55 Dock Rd (M/B/L 071-008-000) - Uncasville, Connecticut



SCALE: 1" = 60'  
DATE: May 2022  
JOB I.D. NO. 22-3140

Revisions  
Rev. A - Per Town Staff  
Review - 6/28/22  
Rev. B - Per Town Staff  
Review - 7/7/22

SHEET NO.

24

24