

A&B EXCAVATION

69 FITCH HILL RD & LEFFINGWELL RD

UNCASVILLE, CT

INDEX TO DRAWINGS

ZONING COMPLIANCE CHART

ZONING DISTRICT: LI

ITEM	REQUIRED	PROPOSED			
LOT AREA	40,000 SF	1,482,199 SF			
LOT FRONTAGE	100 FT	201.25 FT			
			BUILDING 1	BUILDING 2	BUILDING 3
FRONT YARD SETBACK	50 FT	—	—	—	50 FT
SIDE YARD SETBACK	30 FT	104 FT	62 FT	200 FT	34 FT
REAR YARD SETBACK	30 FT	705 FT	1,145 FT	995 FT	160 FT
BUILDING HEIGHT	N/A	N/A	N/A	N/A	N/A

PARKING CALCULATIONS

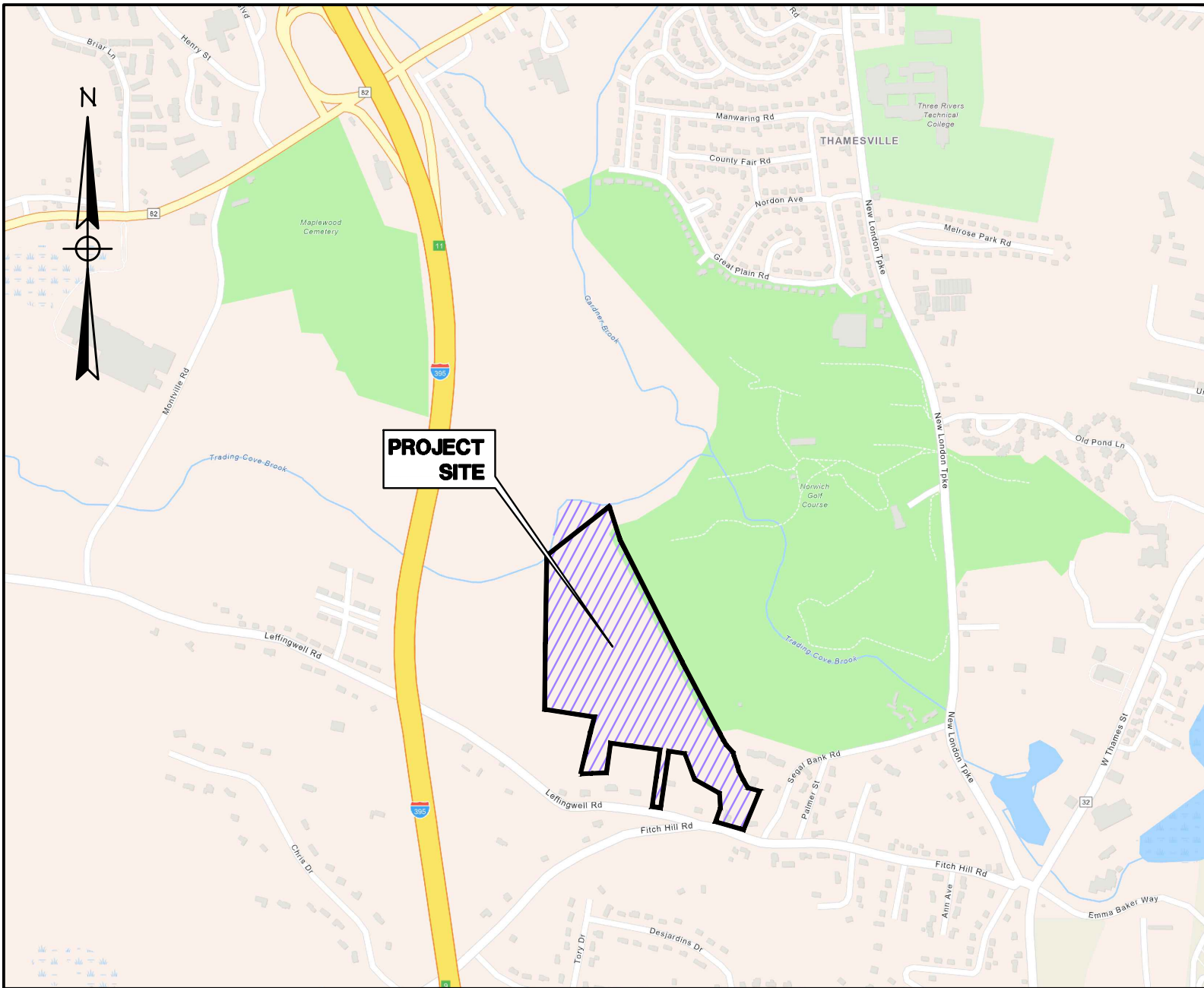
BUILDING 1
6,000 SF @ 1 SPACE/1,000 SF = 6 SPACES
6 SPACES PROVIDED

BUILDING 2
19,920 SF @ 1 SPACE/1,000 SF = 20 SPACES
22 SPACES PROVIDED

BUILDING 3
19,920 SF @ 1 SPACE/1,000 SF = 20 SPACES
22 SPACES PROVIDED

FRONT OFFICE BUILDING
4,566 SF OFFICE SPACE
@ 1 SPACE/250 SF = 18 SPACES

1,916 SF STORAGE/WAREHOUSE
@ 1 SPACE/1000 SF = 2 SPACES
20 SPACES PROVIDED



LOCATION MAP
SCALE: 1"= 1000'

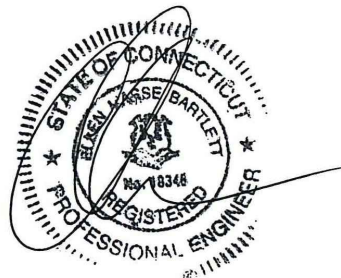
DRAWING NO.	DESCRIPTION OF DRAWINGS
1	COVER
2-3	BOUNDARY SURVEY
4	OVERALL SITE PLAN
4A	SITE PLAN : PHASE IA & IB
4B	SITE PLAN : PHASE II & III
5-6	SITE PLAN - 40 SCALE
7-8	GRADING/UTILITY/E&S PLAN
9	SEPTIC PLAN
9A	SEPTIC PLAN
10	SITE DETAILS
11	SEPTIC DETAILS
12	E&S DETAILS
13	PLANTING PLAN
13A	PLANTING PLAN
14	WATER & ROAD DETAILS

JULY 25, 2023
JULY 12, 2023
JUNE 22, 2023
MAY 25, 2023
MAY 5, 2023
APRIL 2023
FEBRUARY 15, 2023

OWNER/APPLICANT:
ANDREW PETROWSKI
37 COVE RD
UNCASVILLE, CT 06382

ADDRESS:
69 FITCH HILL RD & LEFFINGWELL RD
UNCASVILLE, CT

PARCEL ID:
#062-036-000



GREEN SITE
DESIGN
— LLC —
317 Main Street Norwich, Connecticut
(860) 892-1380 Fax (860) 886-9165

APPROVED BY THE PLANNING & ZONING COMMISSION ON _____

CHAIRMAN OR SECRETARY OF THE COMMISSION _____ DATE _____

EXPIRATION DATE: _____

EROSION & SEDIMENT CONTROL PLAN CERTIFIED BY THE AFFIRMATIVE VOTE OF THE COMMISSION.

LEGEND

— — — — —	PROPERTY LINE
— D — — — — —	EDGE OF PAVEMENT
— W — — — — —	DRAINAGE
— S — — — — —	WATER
— — — — —	SEWER
— — — — —	GAS
— E — E — E —	ELECTRIC
— 21 — — — — —	CONTOUR
— — — — —	TREE LINE
— — — — —	GUIDERAIL
— — — — —	SIGNS
— — — — —	CATCH BASIN
— — — — —	IRON PIN, IRON PIPE
— — — — —	FIRE HYDRANT
— — — — —	ELECTRIC MANHOLE
— — — — —	SEWER MANHOLE
— — — — —	GAS GATE, WATER GATE
— — — — —	LAMP

JAMES BERNARDO
LAND SURVEYING, LLC
102A SPITHEAD ROAD
WATERFORD, CONNECTICUT 06385
(860) 447-0236
WWW.JBSURVEY.COM



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LTR	DESCRIPTION	DATE
B	DRAINAGE EASEMENT ADDED	7-10-2023
A	FLOOD ZONE LINES ADDED AND NOTE 5 REVISED	7-14-2022

	REVISIONS
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BOUNDARY & TOPOGRAPHIC SURVEY

PROPERTY OF
ANDREW PETROWSKI

FOR PROPERTY LOCATED AT
**69 FITCH HILL ROAD
& LEFFINGWELL ROAD**

& LEFFINGWELL ROAD

Sheet No.

S-01

SHEET 1 OF 1

Scale:

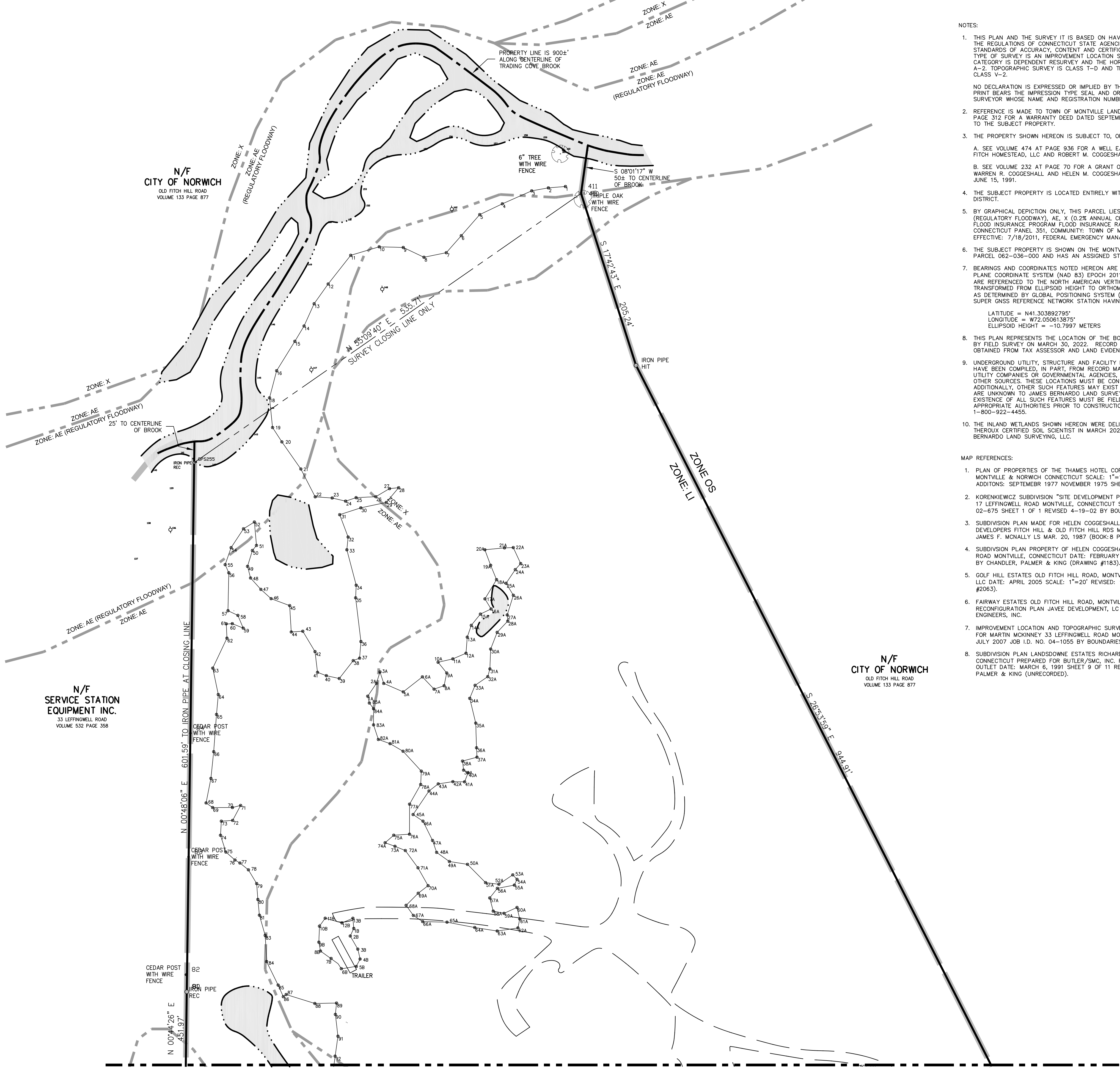
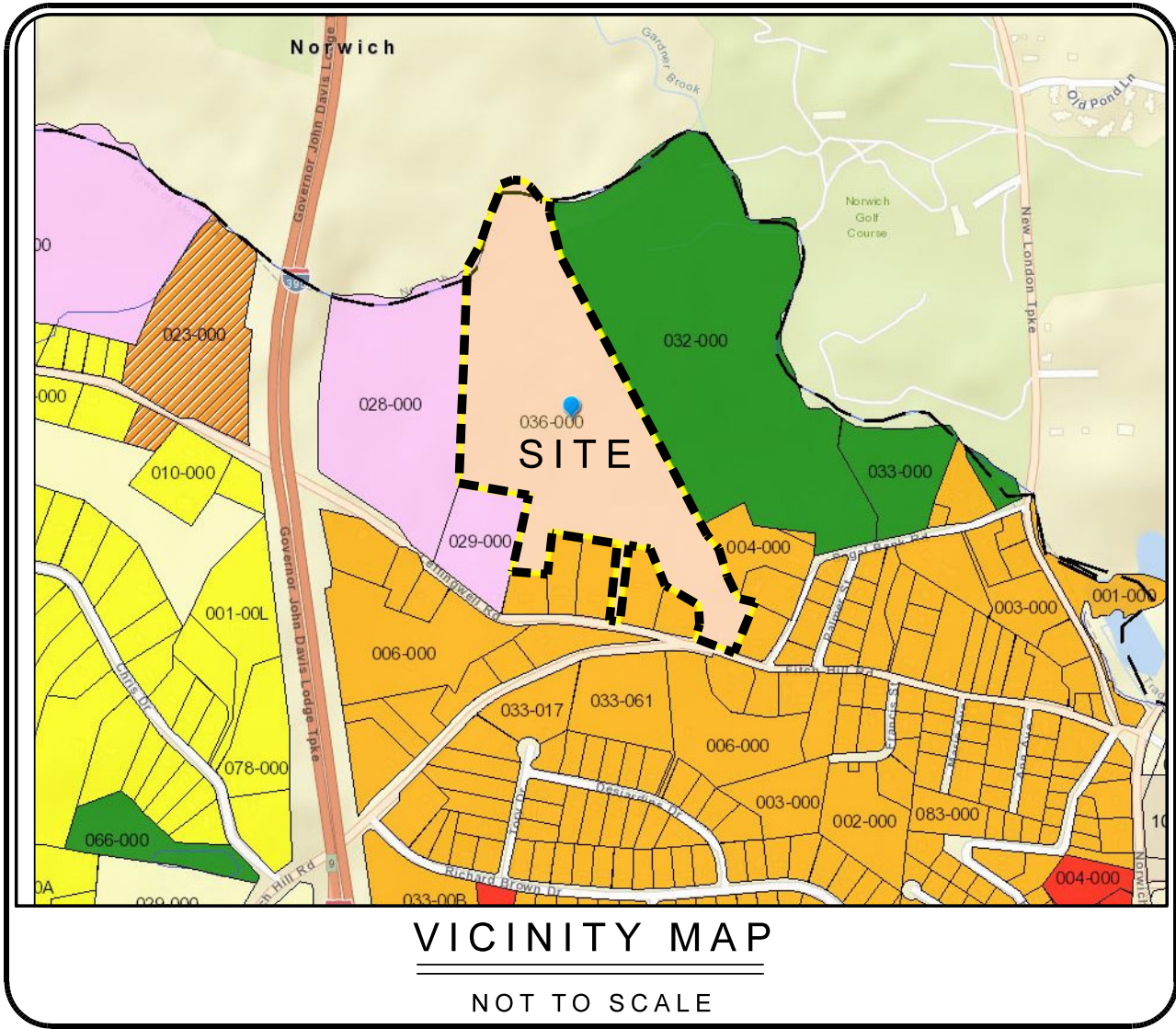
 $1^{\circ} = 60'$

Date

JULY 1, 2022

Project No.

21101-1



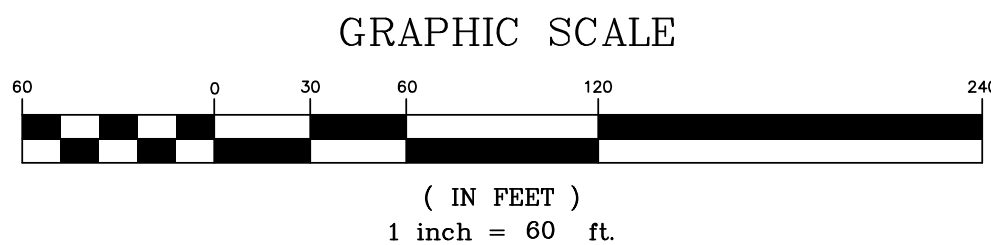
NOTES:

1. THIS PLAN AND THE SURVEY IT IS BASED ON HAVE BEEN PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES. SECTIONS 20-3008 MINIMUM STANDARDS OF ACCURACY, CONTENT AND CERTIFICATION FOR SURVEYS AND MAPS. THE TYPE OF SURVEY IS AN IMPROVEMENT LOCATION SURVEY. THE BOUNDARY DETERMINATION CATEGORY IS DEPENDENT RESURVEY AND THE HORIZONTAL ACCURACY CONFORMS TO CLASS A-2. TOPOGRAPHIC SURVEY IS CLASS T-D AND THE VERTICAL ACCURACY CONFORMS TO CLASS V-2.
2. NO DECLARATION IS EXPRESSED OR IMPLIED BY THIS MAP OR COPIES THEREOF UNLESS THE PRINT BEARS THE IMPRESSION TYPE SEAL AND ORIGINAL LINE SIGNATURE OF THE SURVEYOR WHOSE NAME AND REGISTRATION NUMBER APPEARS BELOW OR THEREON.
3. REFERENCE IS MADE TO TOWN OF MONTVILLE LAND EVIDENCE RECORDS VOLUME 675 AT PAGE 312 FOR A WARRANTY DEED DATED SEPTEMBER 30, 2021 REGARDING RECORD TITLE TO THE SUBJECT PROPERTY.
4. THE PROPERTY SHOWN HEREON IS SUBJECT TO, OR MAY BENEFITTED BY THE FOLLOWING:
 - A. SEE VOLUME 474 AT PAGE 936 FOR A WELL EASEMENT AGREEMENT BY AND BETWEEN FITCH HOMESTEAD, LLC AND ROBERT M. COGGESHALL DATED SEPTEMBER 9, 2005.
 - B. SEE VOLUME 232 AT PAGE 70 FOR A GRANT OF DRAINAGE EASEMENT CONVEYED BY WARREN R. COGGESHALL AND HELEN M. COGGESHALL TO BUTLER/SMC CORPORATION DATED JUNE 15, 1991.
5. THE SUBJECT PROPERTY IS LOCATED ENTIRELY WITHIN THE LIGHT INDUSTRIAL (LI) ZONE DISTRICT.
6. BY GRAPHICAL DEPICTION ONLY, THIS PARCEL LIES WITHIN FLOOD HAZARD ZONES: AE (REGULATORY FLOODWAY), AE, X (0.2% ANNUAL CHANCE) & X AS SHOWN ON "NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP NEW LONDON COUNTY, CONNECTICUT PANEL 351, COMMUNITY: TOWN OF MONTVILLE MAP NUMBER: 0001020213G MAP EFFECTIVE: 7/18/2011, FEDERAL EMERGENCY MANAGEMENT AGENCY".
7. THE SUBJECT PROPERTY IS SHOWN ON THE MONTVILLE TAX ASSESSOR RECORDS AS PARCEL 062-036-000 AND HAS AN ASSIGNED STREET ADDRESS OF 69 FITCH HILL ROAD
8. BEARINGS AND COORDINATES NOTED HEREON ARE REFERENCED TO THE CONNECTICUT STATE PLANE COORDINATE SYSTEM (NAD 83) EPOCH 2011 (2010.0). ELEVATIONS DEPICTED HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88) TRANSFORMED FROM ELLIPSOID HEIGHT TO ORTHOMETRIC HEIGHT UTILIZING NGS2018 GEOID. AS DETERMINED BY GLOBAL POSITIONING SYSTEM (GPS) OBSERVATIONS UTILIZING THE SUPER GNSS REFERENCE NETWORK STATION HAVING THE FOLLOWING VALUES:
LATITUDE = N41.303892798°
LONGITUDE = W72.050813875°
ELLIPSOID HEIGHT = -10.7997 METERS
9. THIS PLAN REPRESENTS THE LOCATION OF THE BOUNDS AND SITE CONDITIONS DETERMINED BY FIELD SURVEY ON MARCH 30, 2022. RECORD TITLE AND ADJOINER INFORMATION WAS OBTAINED FROM TAX ASSESSOR AND LAND EVIDENCE RECORDS ON MAY 3, 2022.
10. UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROLE TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO JAMES BERNARDO LAND SURVEYING, LLC. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.
11. THE INLAND WETLANDS SHOWN HEREON WERE DELINEATED IN THE FIELD BY JOSEPH R. THEROUX CERTIFIED SOIL SCIENTIST IN MARCH 2022 AND FIELD LOCATED BY JAMES BERNARDO LAND SURVEYING, LLC.

MAP REFERENCES:

1. PLAN OF PROPERTIES OF THE THAMES HOTEL CORPORATION AND JOHN S. DAWSON MONTVILLE & NORWICH CONNECTICUT SCALE: 1"=100' CHANDLER, PALMER & KING ADDITIONS: SEPTEMBER 1977 NOVEMBER 1975 SHEET 2 OF 2 (BOOK: 5 PAGE: 37).
2. KORENKIEWCZ SUBDIVISION "SITE DEVELOPMENT PLAN" PREPARED FOR KAREN COMEROSKI 17 LEFFINGWELL ROAD MONTVILLE, CONNECTICUT SCALE: 1"=30' APRIL, 2002 I.D. NO. 02-675 SHEET 1 OF 1 REVISED 4-19-02 BY BOUNDARIES LLC (DRAWING #1806).
3. SUBDIVISION PLAN MADE FOR HELEN COGGESHALL & WARREN COGGESHALL OWNERS & DEVELOPERS FITCH HILL & OLD FITCH HILL RDs MONTVILLE, CONN. SCALE: 1"=20' BY JAMES F. MCNALLY L.S. MAR. 20, 1987 (BOOK: 8 PAGE: 89).
4. SUBDIVISION PLAN PROPERTY OF HELEN COGGESHALL FITCH HILL ROAD & LEFFINGWELL ROAD MONTVILLE, CONNECTICUT DATE: FEBRUARY 16, 1980 SCALE: 1"=40' SHEET 1 OF 1 BY CHANDLER, PALMER & KING (DRAWING #1183).
5. GOLF HILL ESTATES OLD FITCH HILL ROAD, MONTVILLE, CT SITE PLAN JAVEE DEVELOPMENT, LLC DATE: APRIL 2005 SCALE: 1"=20' REVISED: 9/5/05 BY CLA ENGINEERS, INC. (FILE #2063).
6. FAIRWAY ESTATES OLD FITCH HILL ROAD, MONTVILLE, CT. SURVEY/LOT LINE RECONFIGURATION PLAN JAVEE DEVELOPMENT, LC DATE: JAN. 2003 SCALE: 1"=40' BY CLA ENGINEERS, INC.
7. IMPROVEMENT LOCATION AND TOPOGRAPHIC SURVEY "LOT LINE REVISION PLAN" PREPARED FOR MARTIN MCINNEY 33 LEFFINGWELL ROAD MONTVILLE, CONNECTICUT SCALE: 1"=40' JULY 2007 JOB I.D. NO. 04-1055 BY BOUNDARIES, LLC. (DRAWING #2322).
8. SUBDIVISION PLAN LANDSDOWNE ESTATES RICHARD BROWN DRIVE & TORY DRIVE MONTVILLE, CONNECTICUT PREPARED FOR BUTLER/SMC, INC. PLAN & PROFILE PROPOSED STORM OUTLET DATE: MARCH 6, 1991 SHEET 9 OF 11 REVISED JUNE 13, 1991 BY CHANDLER, PALMER & KING (UNRECORDED).

LEGEND			
THE FOLLOWING SYMBOLS/ABBREVIATIONS MAY APPEAR ON THIS DRAWING			
AC	ACRES	HTB	HIGH TIDE BUSH
BF	BASEMENT FLOOR	SP	SPARTINA PATENS
BIT	BITUMINOUS	SA	SPARTINA ALTERNAFLORA
BCLC	BITUMINOUS CONCRETE LIP CURBING	TBR	TO BE REMOVED
CONC	CONCRETE	TYP	TYPICAL
DIA	DIAMETER	P-5	SOIL PERC TEST LOCATION
DB	DISTRIBUTION BOX	THS	SOIL DEEP TEST LOCATION
EOP	EDGE OF PAVEMENT	W	WELL
ELEV	ELEVATION	HYD	HYDRANT
FF	FINISHED FIRST FLOOR	T	TREE
LF	LINEAR FOOT	BS	BUILDING SETBACK LINE
(MIN)	MINIMUM	CL	CLEARING LIMIT LINE
M/L	MORE OR LESS	ET	EXISTING TREELINE
N/F	NOW OR FORMERLY	EC	EXISTING CONTOUR
PVC	POLY VINYL CHLORIDE	NC	NEW CONTOUR
SCH40	SCHEDULE 40	SF	SEDIMENT FENCE
5.4x	SPOT ELEVATION	SD	STORM DRAIN PIPE
SF	SQUARE FEET	SW	STONE WALL
TR	TO REMAIN	S	SANITARY SEWER
		W	WATER



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LTR	DESCRIPTION	DATE
B	NOTES 3B, 6 & 10 REVISED	7-10-2023
A	FLOOD ZONE LINES ADDED AND NOTE 5 REVISED	7-14-2022

REVISIONS

BOUNDARY & TOPOGRAPHIC SURVEY
PROPERTY OF
ANDREW PETROWSKI
FOR PROPERTY LOCATED AT
**69 FITCH HILL ROAD
& LEFFINGWELL ROAD**
TOWN OF MONTVILLE - COUNTY OF NEW LONDON - CONNECTICUT

Sheet No.
S-02
SHEET 2 OF 2
Scale:
1" = 60'
Date
JULY 1, 2022
Project No.
21101-1

DESIGNATED WASHOUT AREAS - CONCRETE WASHOUT

BMP DESCRIPTION

1. A DESIGNATED TEMPORARY, ABOVE-GRADE CONCRETE WASHOUT AREA SHALL BE PROVIDED. THE TEMPORARY CONCRETE WASHOUT AREA SHALL BE CONSTRUCTED, WITH A RECOMMENDED MINIMUM LENGTH AND MINIMUM WIDTH OF 10 FEET, BUT WITH SUFFICIENT QUANTITY AND VOLUME TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS.
2. THE WASHOUT AREA SHALL BE LINED WITH PLASTIC SHEETING AT LEAST 10 MILS THICK AND FREE OF HOLES OR TEARS. SIGNS SHALL BE POSTED MARKING THE LOCATION OF THE WASHOUT AREA TO ENSURE THAT CONCRETE EQUIPMENT OPERATORS USE THE PROPER FACILITY.
3. CONCRETE POURS SHALL NOT BE CONDUCTED DURING OR BEFORE AN ANTICIPATED STORM EVENT.
4. CONCRETE MIXER TRUCKS AND CHUTES SHALL BE WASHED IN THE DESIGNATED AREA OR CONCRETE WASTES SHALL BE PROPERLY DISPOSED OF OFF-SITE. WHEN THE TEMPORARY WASHOUT AREA IS NO LONGER NEEDED FOR THE CONSTRUCTION PROJECT, THE HARDENED CONCRETE AND MATERIALS USED TO CONSTRUCT THE AREA SHALL BE REMOVED AND DISPOSED OF ACCORDING TO THE MAINTENANCE SECTION BELOW, AND THE AREA SHALL BE STABILIZED.

INSTALLATION SCHEDULE

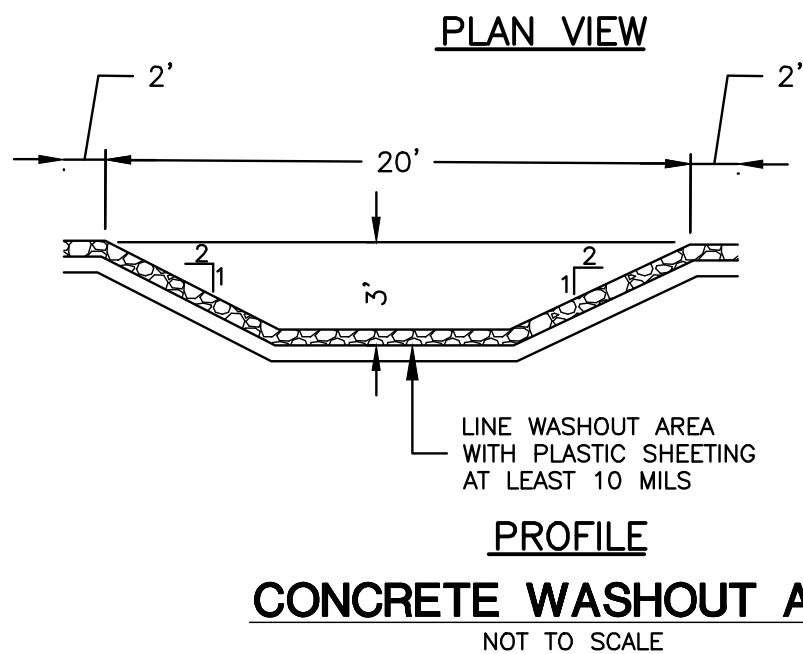
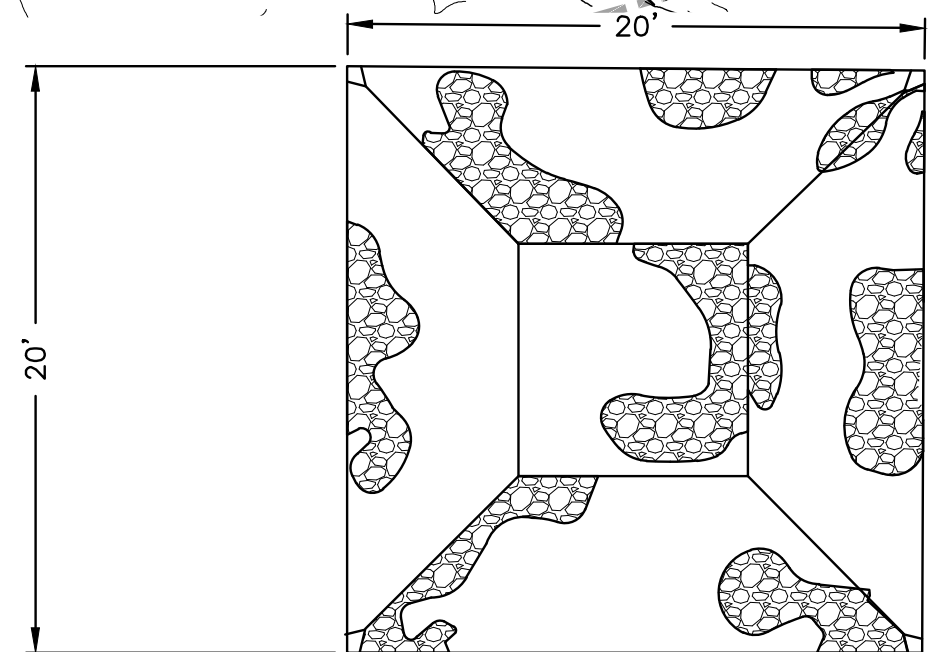
THE WASHOUT AREA SHALL BE CONSTRUCTED BEFORE CONCRETE POURS OCCUR AT THE SITE.

INSTALLATION SCHEDULE

THE WASHOUT AREAS SHALL BE INSPECTED WEEKLY AND EACH DAY OF USE TO ENSURE THAT ALL CONCRETE WASHING IS BEING DISCHARGED INTO THE WASHOUT AREA, NO LEAKS OR TEARS ARE PRESENT, AND TO IDENTIFY WHEN CONCRETE WASTES NEED TO BE REMOVED. THE WASHOUT AREAS SHALL BE CLEANED OUT ONCE THE AREA IS FILLED TO 75 PERCENT OF THE HOLDING CAPACITY. ONCE THE AREA'S HOLDING CAPACITY HAS BEEN REACHED THE CONCRETE WASTES SHALL BE ALLOWED TO HARDEN; THE CONCRETE SHALL BE BROKEN UP, REMOVED, AND TAKEN TO THE APPROPRIATE LANDFILL FOR DISPOSAL. THE PLASTIC SHEETING SHALL BE REPLACED IF TEARS OCCUR DURING REMOVAL OF CONCRETE WASTES FROM THE WASHOUT AREA.

TO MY KNOWLEDGE AND BELIEF THIS PLAN IS SUBSTANTIALLY CORRECT AS NOTED OR DEPICTED HEREON.

RYAN J. CHEVERIE, L.L.S. #70454 DATE

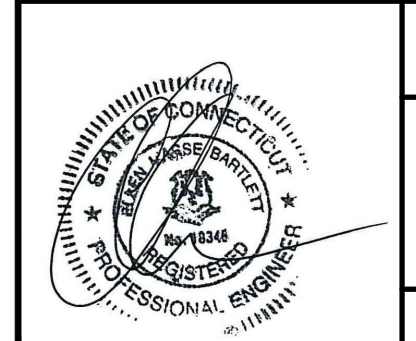


LOT AREA	REQUIRED	PROPOSED
	40,000 SF	1,482,199 SF
		= 34.0 ACRES

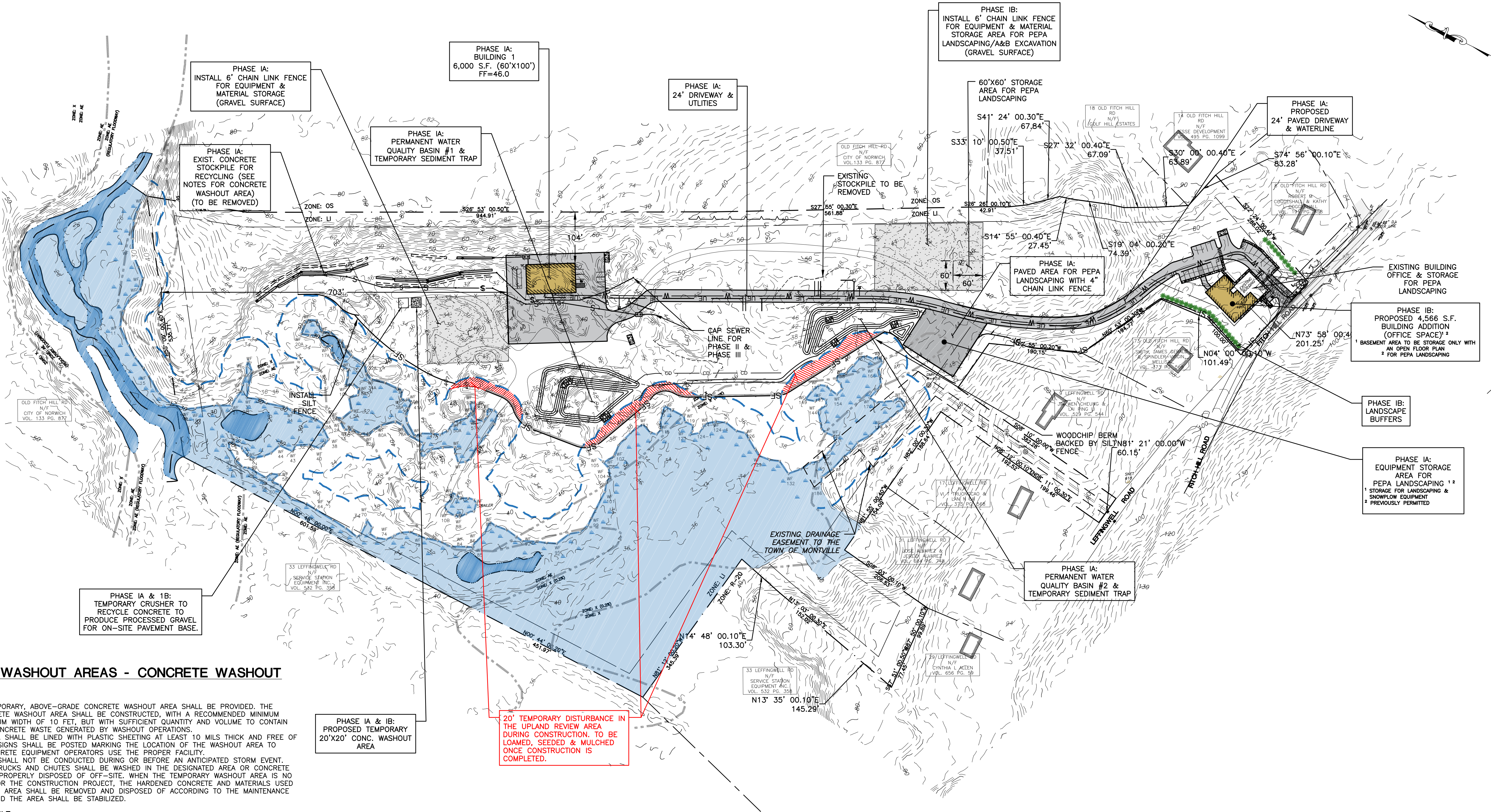
100' 0 100' 200'
SCALE: 1"=100'

5	7/25/23	REVIEW COMMENTS
4	7/12/23	REVIEW COMMENTS
3	6/21/23	REVIEW COMMENTS P&Z
2	5/25/23	REVIEW COMMENTS
1	5/5/23	REVIEW COMMENTS
No.	DATE	REVISION

GREEN SITE DESIGN LLC
317 Main Street Norwich, Connecticut
(860) 892-1380 Fax (860) 886-9165



MONTVILLE, CT		Project No. GSD-68
69 FITCH HILL RD & LEFFINGWELL RD		Proj. Engineer E.M.B.
OVERALL SITE PLAN		Date: 2/15/23
		Sheet No. 4



DESIGNATED WASHOUT AREAS - CONCRETE WASHOUT

BMP DESCRIPTION

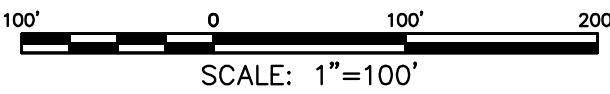
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2. THE WASHOUT AREA SHALL BE LINED WITH PLASTIC SHEETING AT LEAST 10 MILS THICK AND FREE OF HOLES OR TEARS. SIGNS SHALL BE POSTED MARKING THE LOCATION OF THE WASHOUT AREA TO ENSURE THAT CONCRETE EQUIPMENT OPERATORS USE THE PROPER FACILITY.
3. CONCRETE POURS SHALL NOT BE CONDUCTED DURING OR BEFORE AN ANTICIPATED STORM EVENT.
4. CONCRETE MIXER TRUCKS AND CHUTES SHALL BE WASHED IN THE DESIGNATED AREA OR CONCRETE WASTES SHALL BE PROPERLY DISPOSED OF OFF-SITE. WHEN THE TEMPORARY WASHOUT AREA IS NO LONGER NEEDED FOR THE CONSTRUCTION PROJECT, THE HARDENED CONCRETE AND MATERIALS USED TO CONSTRUCT THE AREA SHALL BE REMOVED AND DISPOSED OF ACCORDING TO THE MAINTENANCE SECTION BELOW, AND THE AREA SHALL BE STABILIZED.

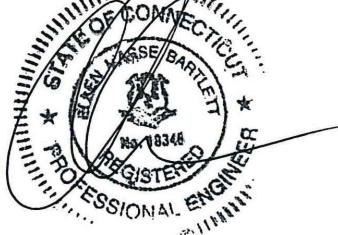
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			GREEN SITE DESIGN LLC 317 Main Street Norwich, Connecticut (860) 892-1380 Fax (860) 886-9165	
5	7/24/23	REVIEW COMMENTS		
4	7/12/23	REVIEW COMMENTS		
3	6/21/23	REVIEW COMMENTS P&Z		
2	5/25/23	REVIEW COMMENTS		
1	5/5/23	REVIEW COMMENTS		
No.	DATE	REVISION		
MONTVILLE, CT			Project No. GSD-68	
			Proj. Engineer E.M.B.	
			Date: 2/15/23	
			Sheet No.	
69 FITCH HILL RD & LEFFINGWELL RD			4A	
SITE PLAN : PHASE IA & IB				