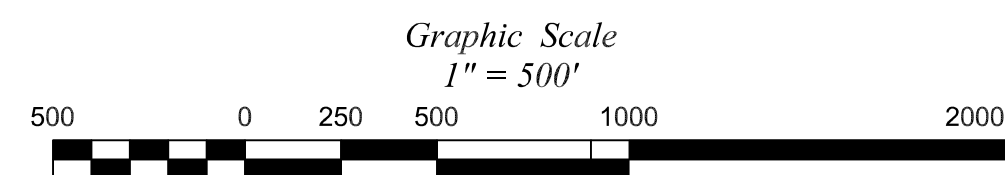
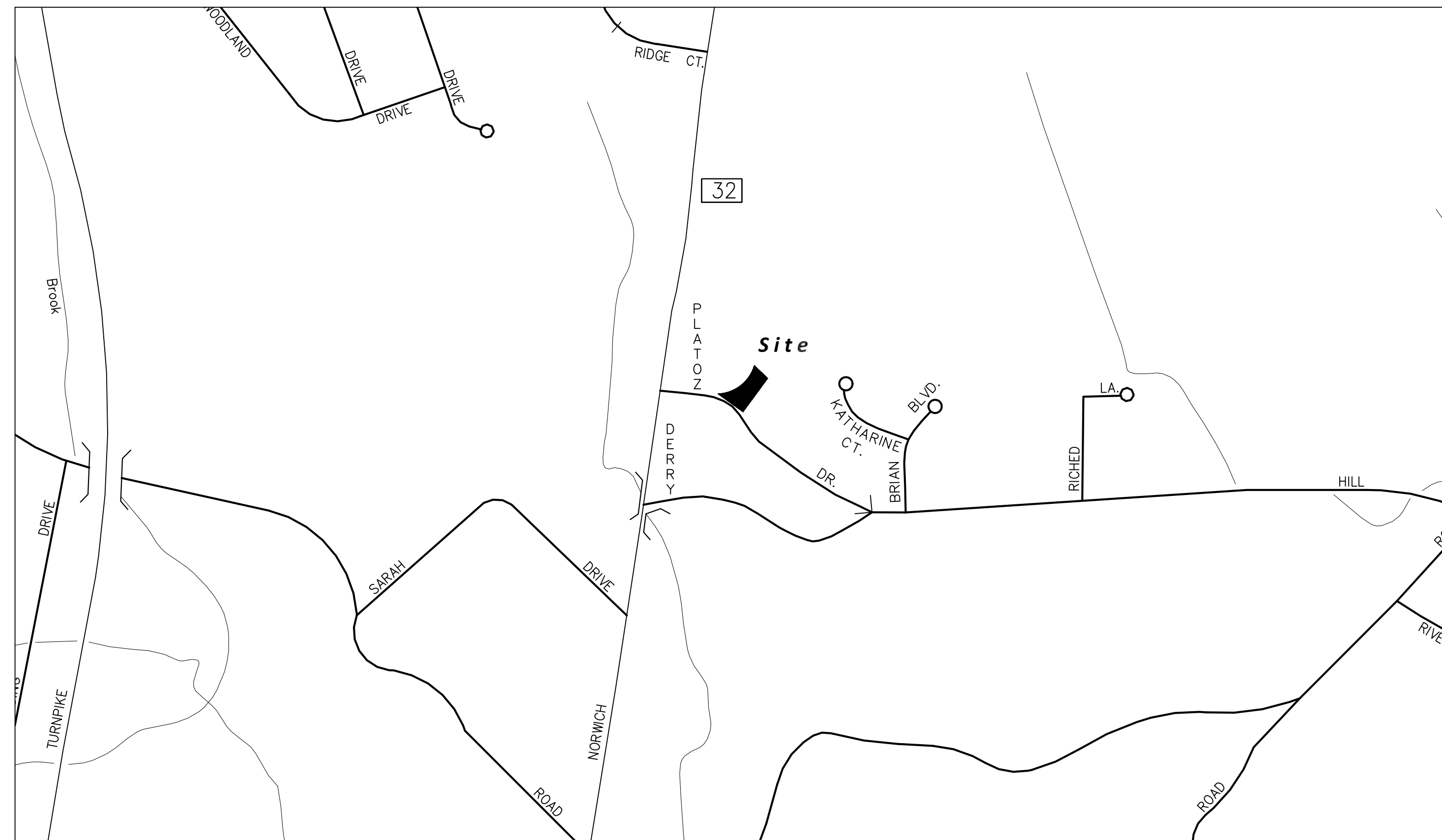


Mandes Multi-Family Home

26 Platoz Drive, Montville, Connecticut

GENERAL NOTES:

- Reference is made to the following plans:
- "Site Development Plan, Zoning District R-20, Prepared for Artemis Mandes, Platoz Drive, Montville, Connecticut, Date: May 27, 1994, Scale: 1"=20'; Rev. October 3, 1998." Plan Surveyed and Mapped by Chandler, Palmer & King. Plan filed in the Town of Montville Land Records.
 - "Plan Showing Property Of Derry Hill Associates L.L.C., Platoz Drive and Katherine Court, Montville, Connecticut, Scale: 1"=40', September 2003" Plan Surveyed and Mapped by Dieter, Gardner & Mereen, Inc. Plan filed as Map #1910 in the Town of Montville Land Records.
 - "As-Built Location Survey Prepared For John Mandes, #36 Platoz Drive, Montville, Connecticut, Scale: 1"=20', Date: 9/26/16". Plan Surveyed and Mapped by Advanced Surveys, LLC. Plan filed in the Town of Montville Land Records.
- North orientation and elevation is based on a GPS / RTK observation using a Carlson BRx6+ in December 2022 utilizing the Acorn Network.
 - Reference is made to the following deed filed in the Town of Montville Clerk's Office, Volume 141 Page 474.
 - The word certify as used is understood to be an expression of professional opinion by the surveyor. It is a declaratory statement which is based on the surveyor's best knowledge, information and belief. As such it constitutes neither a guarantee nor warranty, expressed or implied, of any information contained hereon.
 - Not all underground utilities maybe shown on the plan. Call before you dig (CBYD) is recommended prior to any construction.
 - The removal or destruction of survey monumentation, whether set or found, as shown on this survey plan may be subject to Connecticut Statute 47-34a.

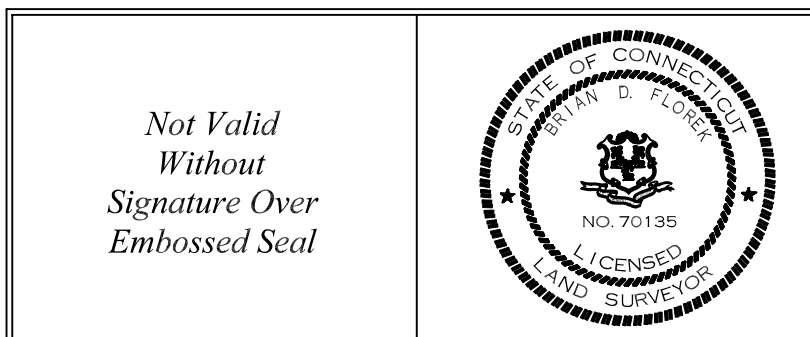


SURVEY NOTES:

- This survey has been prepared pursuant to the regulations of the Connecticut State Agencies, Sections 20-300b-1 through 20-300b-20 and the "Standards for surveys and maps in the State of Connecticut" Prepared and Adapted by the Connecticut Association of Land Surveyors, Inc. on August 29, 2019. This survey type is a SITE IMPROVEMENT SURVEY based on a RESURVEY as shown in GENERAL NOTES MAP REFERENCE 1a-C. It is intended to show a PROPOSED BUILDING AND PARKING LOT.
- This survey conforms to Class A-2 / T-2 / V-3

To the best of my knowledge and belief this map is substantially correct as noted thereon.

Brian D. Florek LS CFS
Brian D. Florek, LS, CFS #70135 / NCFS-026 Date:
Managing Member, Florek Surveying, LLC
239 Shore Road, Waterford, CT 06385
bflorek@floreksurveyingllc.com (860) 271.6006



Applicant: Artemis G. Mandes
Mailing Address: 11 Devonshire Road, Waterford, CT
Phone: 860.287.4075

Date of Completion of All Work -

Approved by the Montville Planning and Zoning Commission:

Planning and Zoning Chairman or Secretary Date

Passive Solar Energy Techniques as Prescribed by Law Have Been Considered in Development of this Plan

Developer Date

Engineer Date

Erosion and Sediment Control Plan - Certified by the Montville Planning and Zoning Commission

Planning and Zoning Chairman or Secretary Date

Date of completion for all work:

TABLE OF CONTENTS:

Sheet 2: Property Survey

Sheet 3: Existing Conditions

Sheet 4: Site Development Plan

Sheet 5: Erosion & Control Plan

May Engineering LLC

Civil Engineering and Site Planning

1297 RT 163 Oakdale, CT 06370

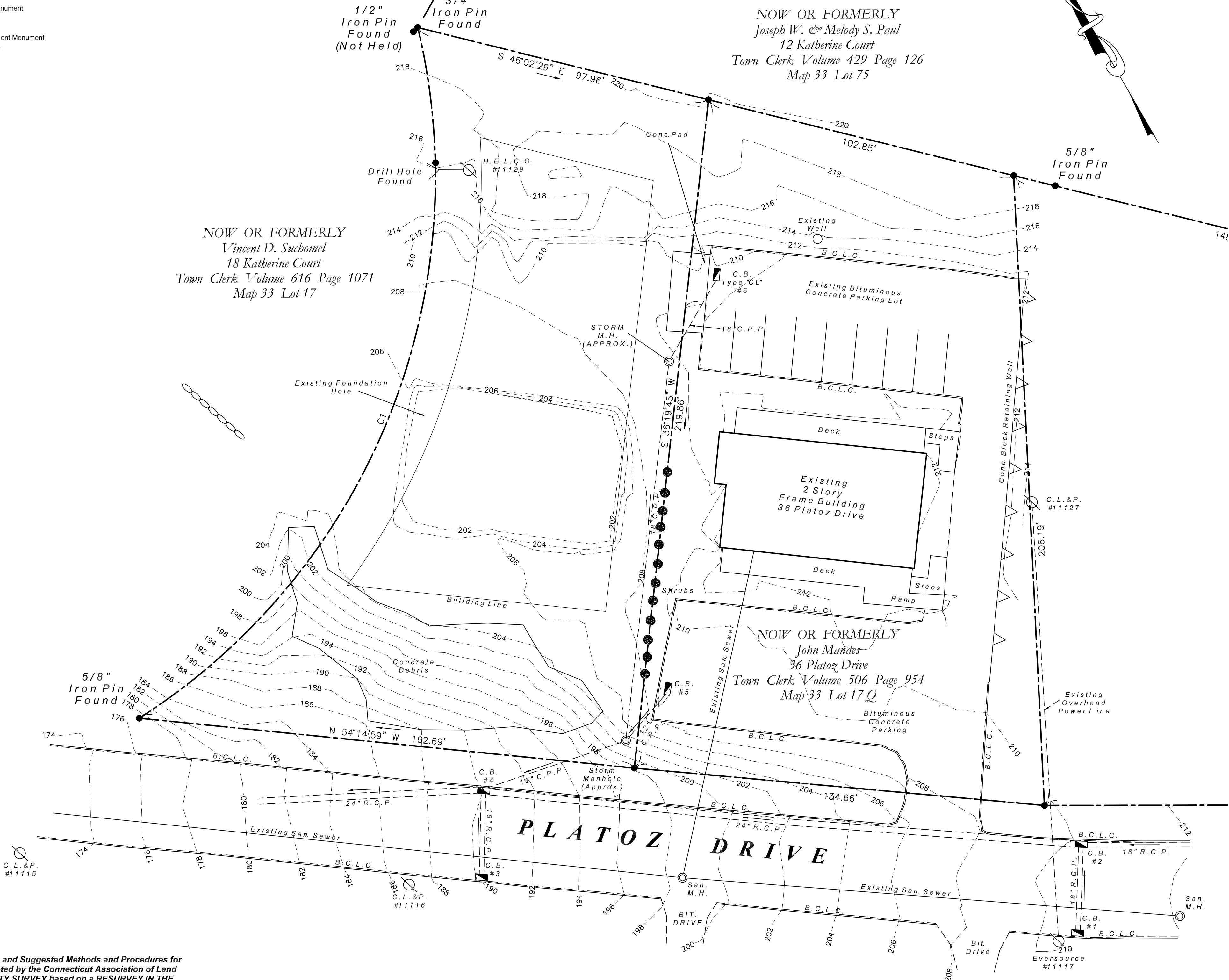
860 884-9671

LEGEND

These standard symbols may be found in the drawing.		CB	Catch Basin
★	Light Pole	SMH	Sewer Manhole
CONC.	Concrete	I.P.S.	5/8" Iron Pin Set
BIT.	Bituminous	RR SPIKE FOUND	Railroad Spike Found
U	Utility Pole	D.H.F.	Drill Hole Found
WV	Water Valve	D.H.S.	Drill Hole Set
GV	Gas Valve	WLF 2	Wetland Flag
X X	Chain Link Fence	GMS	Granite Merestone
---	Boundary Line	EX. CONC. MON.	Existing Concrete Monument
---	Edge of Road / Drive	TBS	To Be Set
---	Stone Wall	CHD	CT Highway Department Monument
		---	Existing Contour Line

Curve Chart:

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	210.00'	259.75'	243.50'	N 51°57'26" E	70°52'07"



Drainage Data:

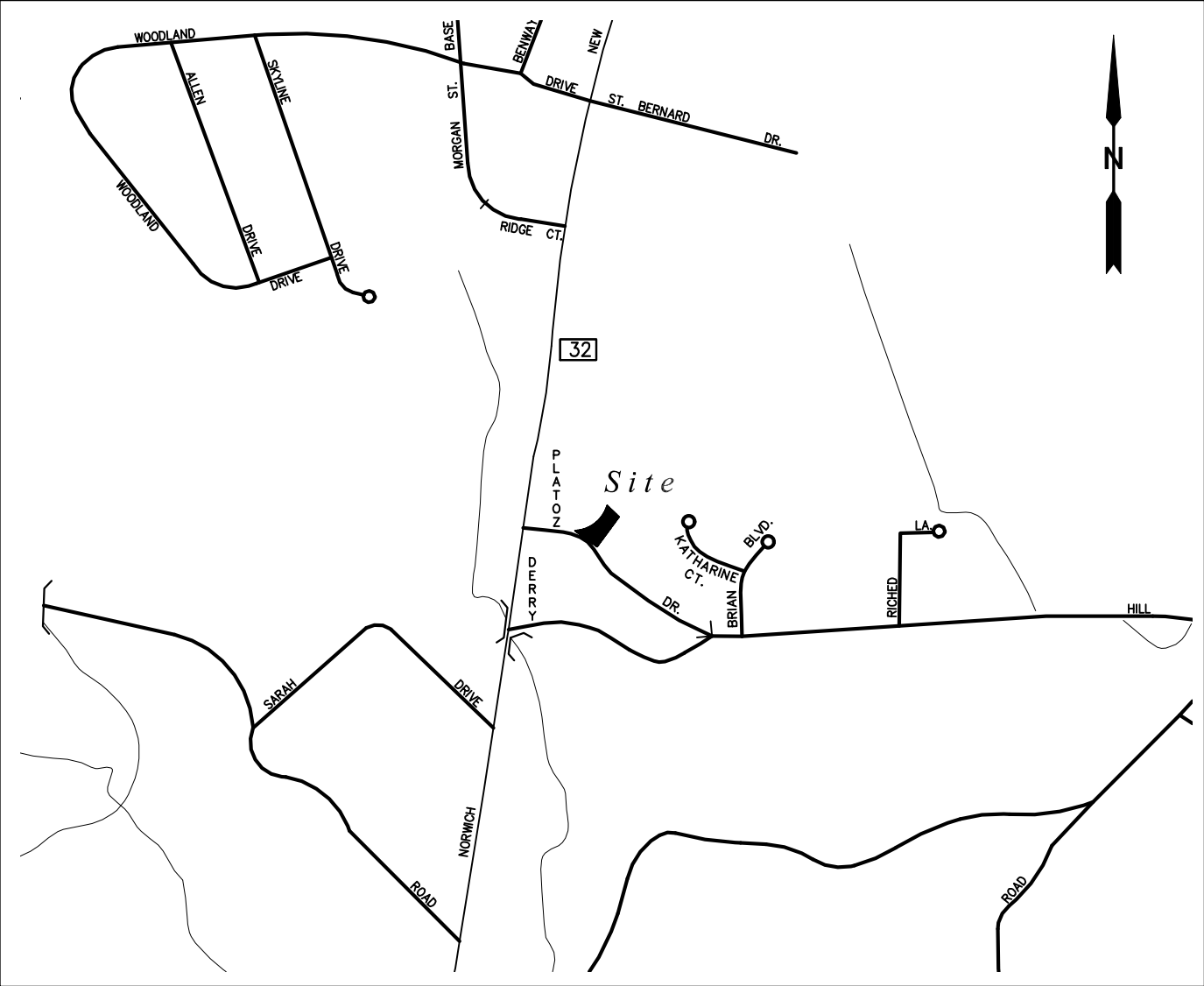
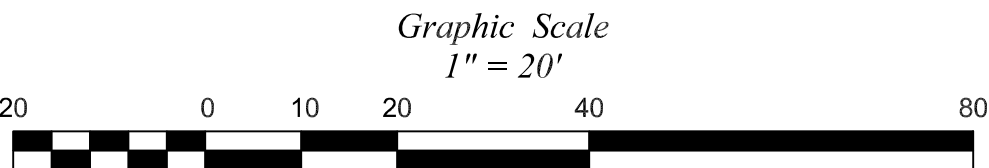
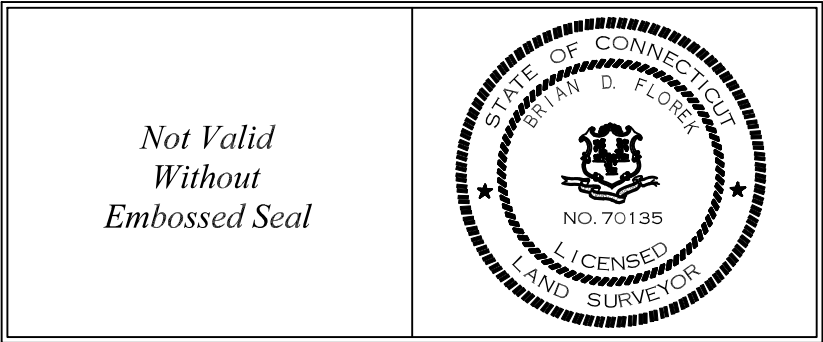
- C.B. #1
T.F. = 210.31'
F.L. = 206.71'
- C.B. #2
T.F. = 210.21'
F.L. 18°R.C.P. (S) = 206.01'
F.L. 12°C.P.P. = 199.41'
F.L. 18°R.C.P. (E) = 205.41'
- C.B. #3
T.F. = 190.19'
F.L. = 186.09'
- C.B. #4
T.F. = 190.01'
F.L. 24°R.C.P. (W) = 185.41'
F.L. 24°R.C.P. (E) = 184.01'
F.L. 18°R.C.P. = 185.01'
F.L. 12°C.P.P. = 187.31'
- C.B. #5
T.F. = 207.94'
F.L. = 205.24'
- C.B. #6
T.F. = 209.77'
F.L. = 207.07'

SURVEY NOTES:

- This survey has been prepared in accordance with "The Standards and Suggested Methods and Procedures for Surveys and Maps in the State of Connecticut" Prepared and Adopted by the Connecticut Association of Land Surveyors, Inc. on August 29, 2019. This survey type is a PROPERTY SURVEY based on a RESURVEY IN THE GENERAL NOTES. It is intended to show EXISTING CONDITIONS.
- This survey conforms to Class A-2 / T-2

To the best of my knowledge and belief this map is substantially correct as noted thereon.

Brian D. Florek, LS, CFS
Managing Member, Florek Surveying, LLC
239 Shore Road, Waterford, CT 06385
bflorek@floreksurveyingllc.com (860) 271.6006



Location Map

Graphic Scale

1" = 1000'



GENERAL NOTES:

- Reference is made to the following plans:
- "Site Development Plan, Zoning District R-20, Prepared for Artemis Mandes, Platoz Drive, Montville, Connecticut, Date: May 27, 1994, Scale: 1"=20'; Rev. October 3, 1998." Plan Surveyed and Mapped by Chandler, Palmer & King. Plan filed in the Town of Montville Land Records.
 - "Plan Showing Property Of Derry Hill Associates L.L.C., Platoz Drive and Katherine Court, Montville, Connecticut, Scale: 1"=40', September 2003" Plan Surveyed and Mapped by Dieter, Gardner & Merein, Inc. Plan filed as Map #1910 in the Town of Montville Land Records.
 - "As-Built Location Survey Prepared For John Mandes, #36 Platoz Drive, Montville, Connecticut, Scale: 1"=20', Date: 9/26/16". Plan Surveyed and Mapped by Advanced Surveys, LLC. Plan filed in the Town of Montville Land Records.
- North orientation and elevation is based on a GPS / RTK observation using a Carlson BRx6+ in December 2022 utilizing the Acorn Network.
 - Reference is made to the following deed filed in the Town of Montville Clerk's Office, Volume 141 Page 474.
 - The word certify as used is understood to be an expression of professional opinion by the surveyor. It is a declaratory statement which is based on the surveyor's best knowledge, information and belief. As such it constitutes neither a guarantee nor warranty, expressed or implied, of any information contained hereon.
 - Not all underground utilities maybe shown on the plan. Call before you dig (CBYD) is recommended prior to any construction.
 - The removal or destruction of survey monumentation, whether set or found, as shown on this survey plan may be subject to Connecticut Statute 47-34a.

PROPERTY SURVEY

EXISTING CONDITIONS
LAND BELONGING TO:

ARTEMIS G. MANDES
26 PLATOZ DRIVE
MONTVILLE, CONNECTICUT

SCALE: 1" = 20'
DECEMBER 30, 2023
SHEET 2 OF 5

LEGEND

These standard symbols may be found in the drawing.

★	Light Pole	CB	Catch Basin
CONC.	Concrete	SMH	Sewer Manhole
BIT.	Bituminous	I.P.S.	5/8" Iron Pin Set
⌀	Utility Pole	RR SPIKE FOUND	Railroad Spike Found
WV	Water Valve	D.H.F.	Drill Hole Found
GV	Gas Valve	D.H.S.	Drill Hole Set
Chain Link Fence		WLF 2	Wetland Flag
Boundary Line		GMS	Granite Merestone
Edge of Road / Drive		EX. CONC. MON.	Existing Concrete Monument
Stone Wall		TBS	To Be Set
			Tree line
		CHD	CT Highway Department Monument
			Existing Contour Line

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	210.00'	259.75'	243.50'	N 51°57'26" E	70°52'07"

NOW OR FORMERLY
Vincent D. Suchomel
18 Katherine Court
Town Clerk Volume 616 Page 1071
Map 33 Lot 17

NOW OR FORMERLY
Joseph W. & Melody S. Paul
12 Katherine Court
Town Clerk Volume 429 Page 126
Map 33 Lot 75

Drainage Data:

C. B. #1
T. F. = 210.31'
F. L. = 206.71'

C. B. #2
T. F. = 210.21'
F. L. 18" R. C. P. (S) = 206.01'
F. L. 12" C. P. P. = 199.41'
F. L. 18" R. C. P. (E) = 205.41'

C. B. #3
T. F. = 190.19'
F. L. = 186.09'

C. B. #4
T. F. = 190.01'
F. L. 24" R. C. P. (W) = 185.41'
F. L. 24" R. C. P. (E) = 184.01'
F. L. 18" R. C. P. = 185.01'
F. L. 12" C. P. P. = 187.31'

C. B. #5
T. F. = 207.94'
F. L. = 205.24'

C. B. #6
T. F. = 209.77'
F. L. = 207.07'

GENERAL NOTES:

Reference is made to the following plans:

- "Site Development Plan, Zoning District R-20, Prepared for Artemis Mandes, Platoz Drive, Montville, Connecticut, Date: May 27, 1994, Scale: 1"=20'; Rev. October 3, 1998." Plan Surveyed and Mapped by Chandler, Palmer & King. Plan filed in the Town of Montville Land Records.
- "Plan Showing Property Of Derry Hill Associates L.L.C., Platoz Drive and Katherine Court, Montville, Connecticut, Scale: 1"=40', September 2003" Plan Surveyed and Mapped by Dieter, Gardner & Mereen, Inc. Plan filed as Map #1910 in the Town of Montville Land Records.
- "As-Built Location Survey Prepared For John Mandes, #36 Platoz Drive, Montville, Connecticut, Scale: 1"=20', Date: 9/26/16". Plan Surveyed and Mapped by Advanced Surveys, LLC. Plan filed in the Town of Montville Land Records.

- North orientation is based on a GPS / RTK observation using a Carlson BRx6+ in December 2022 utilizing the Acorn Network.
- Reference is made to the following deed filed in the Town of Montville Clerk's Office, Volume 141 Page 474.
- The word certify as used is understood to be an expression of professional opinion by the surveyor. It is a declaratory statement which is based on the surveyor's best knowledge, information and belief. As such it constitutes neither a guarantee nor warranty, expressed or implied, of any information contained hereon.
- Not all underground utilities may be shown on the plan. Call before you dig (CBYD) is recommended prior to any construction.
- The removal or destruction of survey monumentation, whether set or found, as shown on this survey plan may be subject to Connecticut Statute 47-34a.

May Engineering LLC

Civil Engineering and Site Planning
1297 RT 163 Oakdale, CT 06370
860 884-9671

SITE DEVELOPMENT PLAN

SCALE: 1' = 20' & as noted

DATE 20 Dec 2023

JOB NUMBER

SHEET

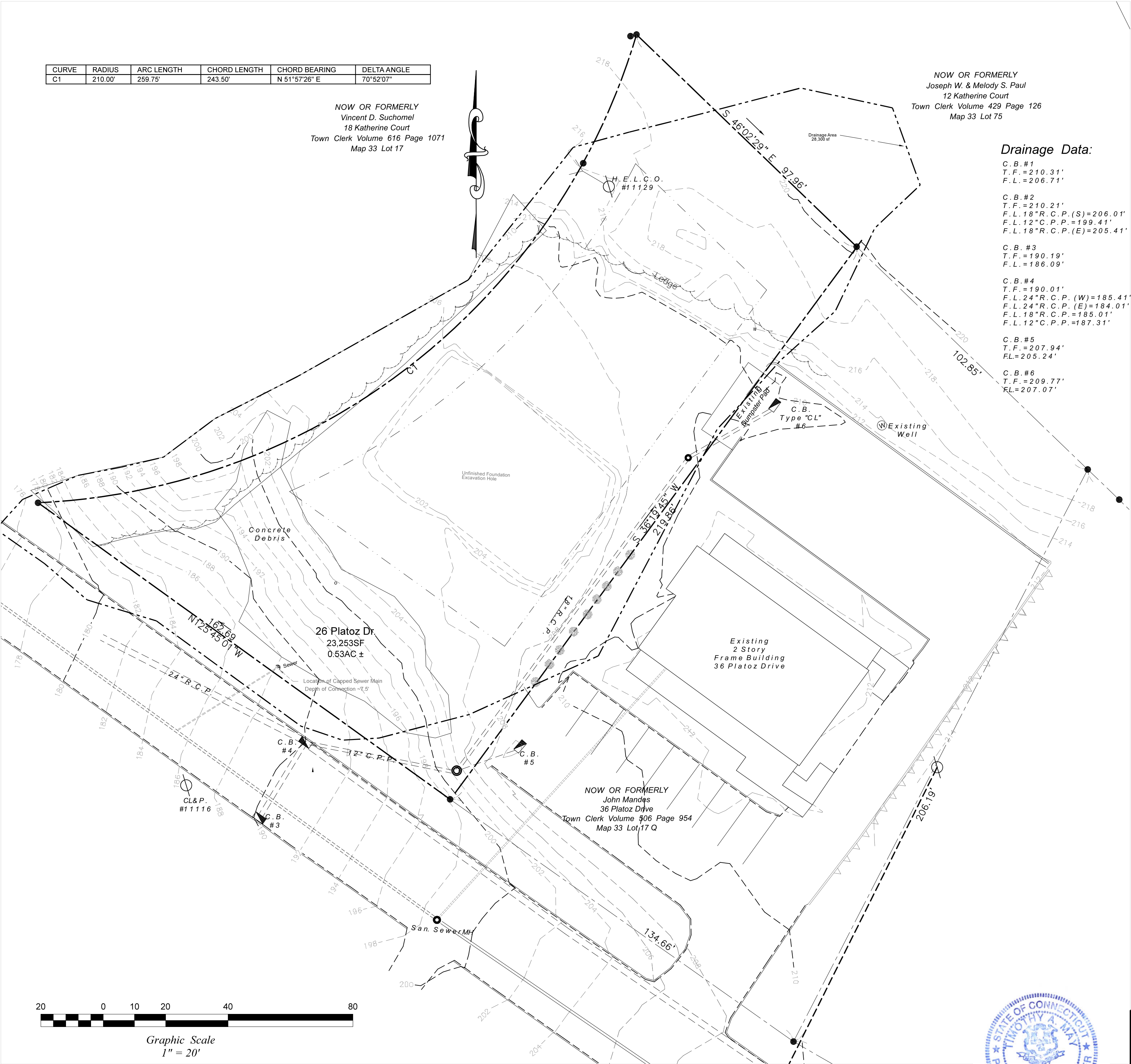
3 of 5

LAND BELONGING TO:

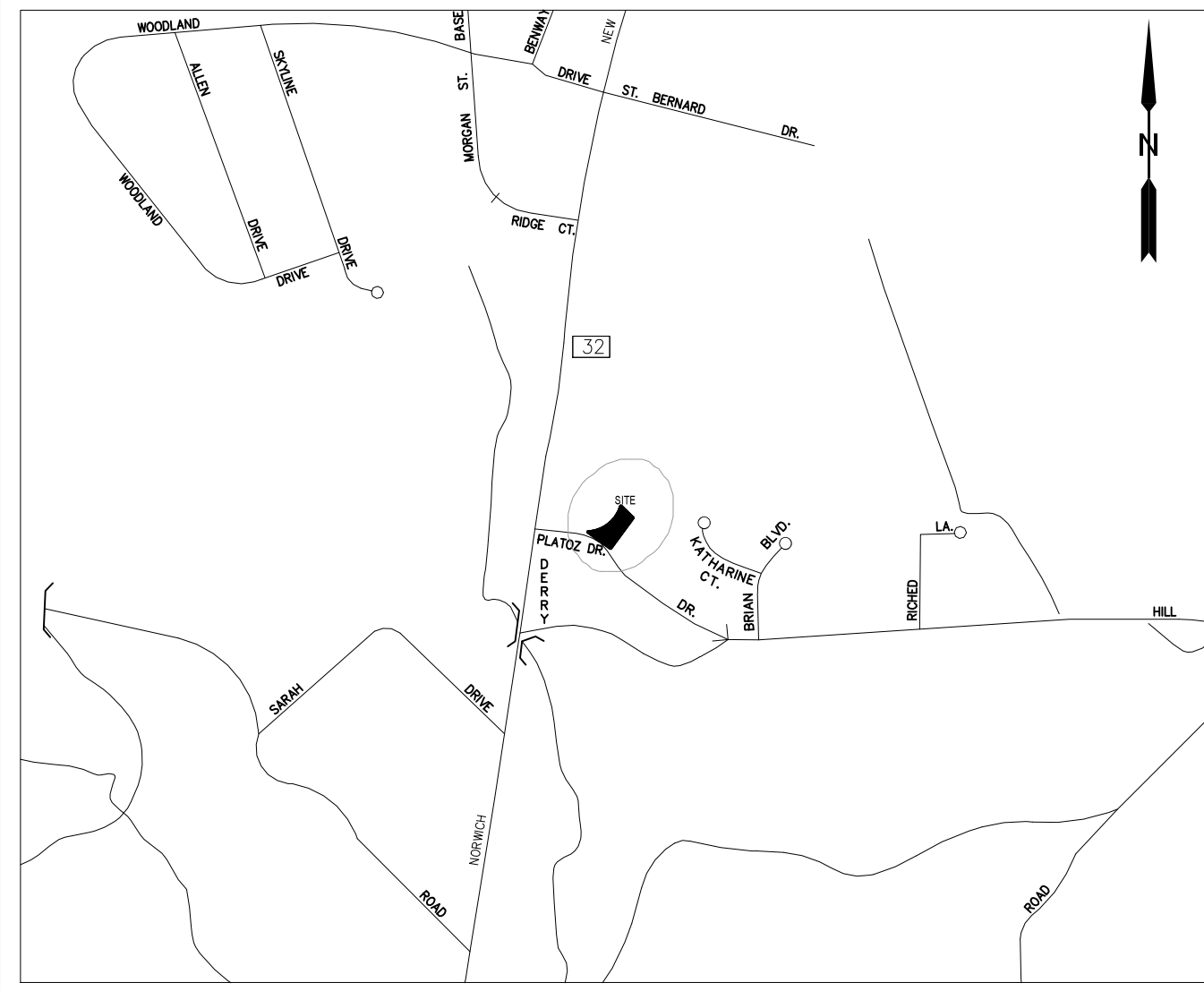
ARTEMIS G. MANDES
26 PLATOZ DRIVE
MONTVILLE, CONNECTICUT

DESCRIPTION:

EXISTING CONDITIONS PLAN

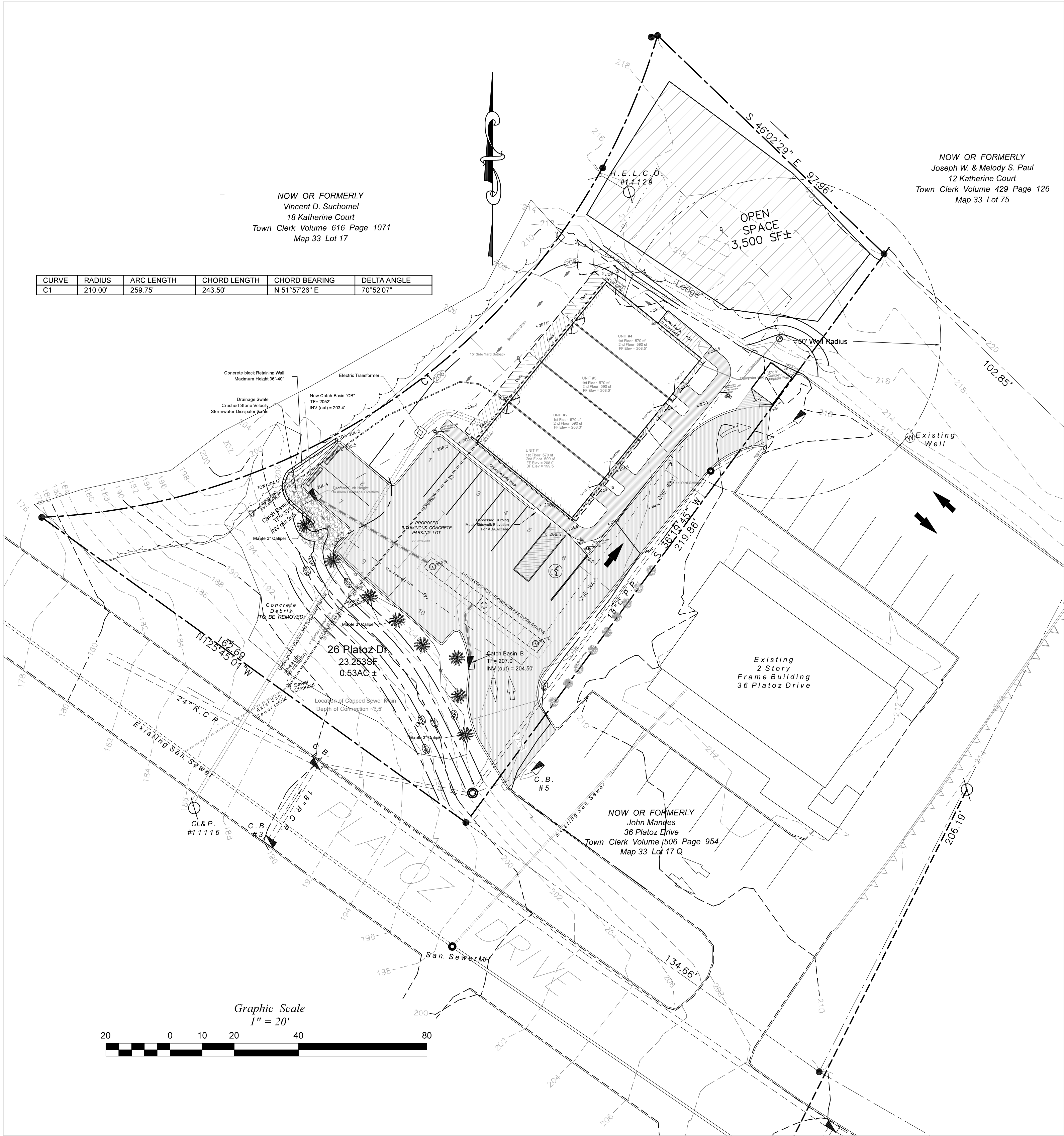


Graphic Scale
1" = 20'

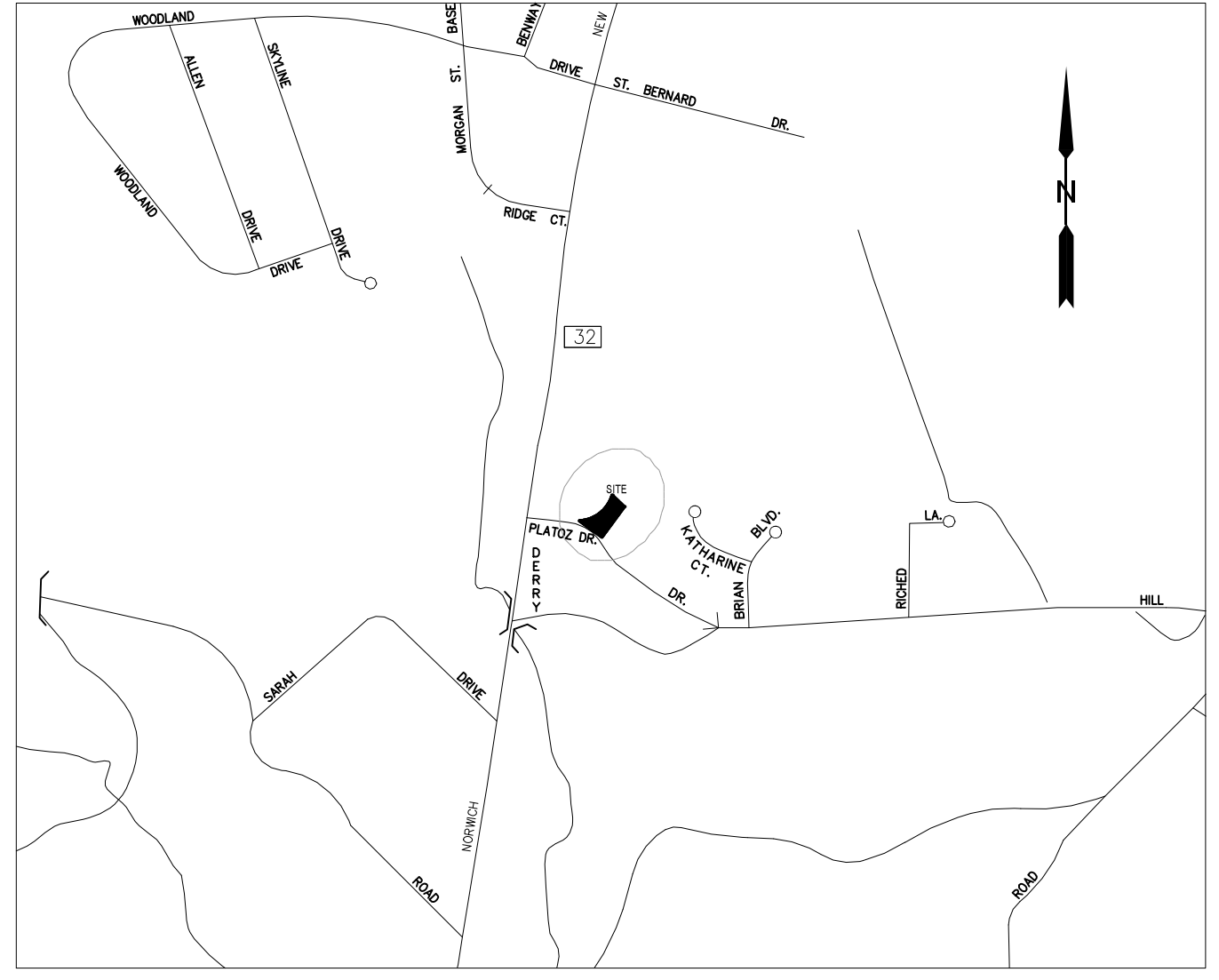


Location Map

Graphic Scale
1" = 1000'



Zoning Compliance Chart		
Zone =R-20M		
	Required	Proposed
Minimum Lot Area	20,000 SF	23,253 SF
Minimum Lot Frontage	80'	163.3'
Minimum Front Yard Setback from Road	50'	96.6'
Minimum Side Yard	15'	15' / 25.2'
Minimum Rear Yard Setback	30'	103.8'
Maximum Building Height	45 Feet 5 Stories	<30' 2 Stories
Minimum Open Space	15%	15%
Off Street Parking	2-1/2 spaces per unit	10



Location Map
Graphic Scale
1" = 1000'

GENERAL NOTES:

Reference is made to the following plans:

- "Site Development Plan, Zoning District R-20, Prepared for Artemis Mandes, Platoz Drive, Montville, Connecticut, Date: May 27, 1994, Scale: 1"=20'; Rev. October 3, 1998." Plan Surveyed and Mapped by Chandler, Palmer & King. Plan filed in the Town of Montville Land Records.
- "Plan Showing Property Of Derry Hill Associates L.L.C., Platoz Drive and Katherine Court, Montville, Connecticut, Scale: 1"=40', September 2003" Plan Surveyed and Mapped by Dieter, Gardner & Meehan, Inc. Plan filed as Map #1910 in the Town of Montville Land Records.
- "As-Built Location Survey Prepared For John Mandes, #36 Platoz Drive, Montville, Connecticut, Scale: 1"=20', Date: 9/26/16". Plan Surveyed and Mapped by Advanced Surveys, LLC. Plan filed in the Town of Montville Land Records.

- There shall be no outside storage.
- Dumpster shall be screened from view
- All utilities shall be underground
- Section 18 OFF-STREET PARKING REGULATIONS

18.8.9 Where topographic and other conditions are reasonably usable provisions shall be made for circulation driveway connections to adjoining lots of similar existing or potential use; (1) when such driveway connection will facilitate fire protection services as approved by the Town Fire Marshal and / or; (2) when such driveway will enable the public to travel between two existing or potential uses, open to the public generally, without need to travel upon a street.

18.10 PROPERTY MAINTENANCE

The owner of property used for parking and / or loading shall maintain such area and all required sidewalks and buffer areas in good conditions without holes and free of all dust, trash, and other debris.

18.13 MARKING All required parking spaces and fire lanes shall be marked by painted lines, maintained in good condition, curbs, or other means to indicate individual spaces. Signs or markers painted or provided and maintained in good condition shall also be used as necessary to insure efficient traffic flow within all parking lots and between any such lot and the public street or right-of-way serving such lot.

The proposed site development plan is for a parcel located along the north side of Platoz Dr. Montville, CT. The 0.53 ac. parcel was previously cleared and excavated to make way for a previously approved multi family apartment. The site is also partially wooded, primarily with mature hardwood trees. The site mostly has a gentle slope of 2-7% that slopes downward from north to south. The downslope increases on the southern side to 8-10%. The soils on this site are characterized as a well drained Charlton-Chaffield complex, Hydrologic Soil Group: B fine to medium sandy loam.

The proposed site development is for a single 64' x 40' building for (4) apartment units, a paved parking area for (8) parking spaces and associated underground utilities. The parcel is serviced by municipal sanitary sewer and onsite well for potable water. The percent impervious areas (roofs, sidewalks and paved parking) for the proposed development is 28%. There are no wetlands or water courses on this site

Stormwater management has been evaluated and planned for the proposed site. The potential sources of stormwater pollution have been identified as soil erosion during construction activities, homeowner residential activities and winter deicing snow removal activities.

Stormwater will be managed during construction with a soil and erosion control plan using best management practices (BMP's) from the ConnDOT Drainage Manual and the Connecticut Stormwater Quality Manual. Stormwater will also be managed by treatment controls for stormwater discharges. These will include capturing roof discharges and paved parking areas to mitigate water quality volumes (WQV) for the 1" rain fall event. Designed devices such as stormwater collection systems will have catch basins with deep sumps for paved streets and overland flows to capture soils. The catch basin will discharge into an infiltration trench with (11) 4x4 concrete galleys. The storage capacity required to meet 1" WQV is 0.013 ac-ft. or 4,235 gal. of storage. The proposed infiltration stone lined trench with (11) 4x4 galleys has 7,235 gal. of storage capacity. The stormwater infiltration trench also will reduce the water quality flows (WQF) by capturing stormwater flows up to the Q10 storm event.

May Engineering LLC

Civil Engineering and Site Planning
1297 RT 163 Oakdale, CT 06370
860 884-9671

SITE DEVELOPMENT PLAN

SCALE: 1' = 20' & as noted

DATE 20 Dec 2023

JOB NUMBER

SHEET

4 of 5

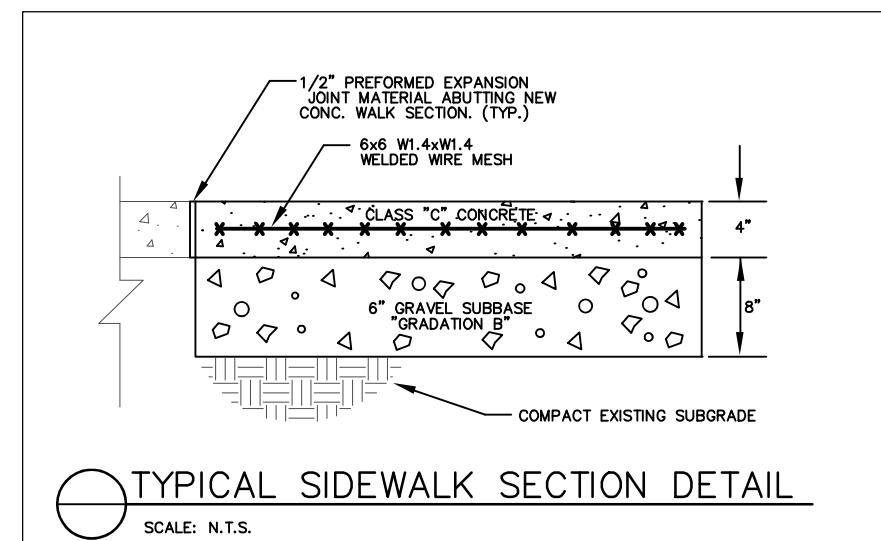
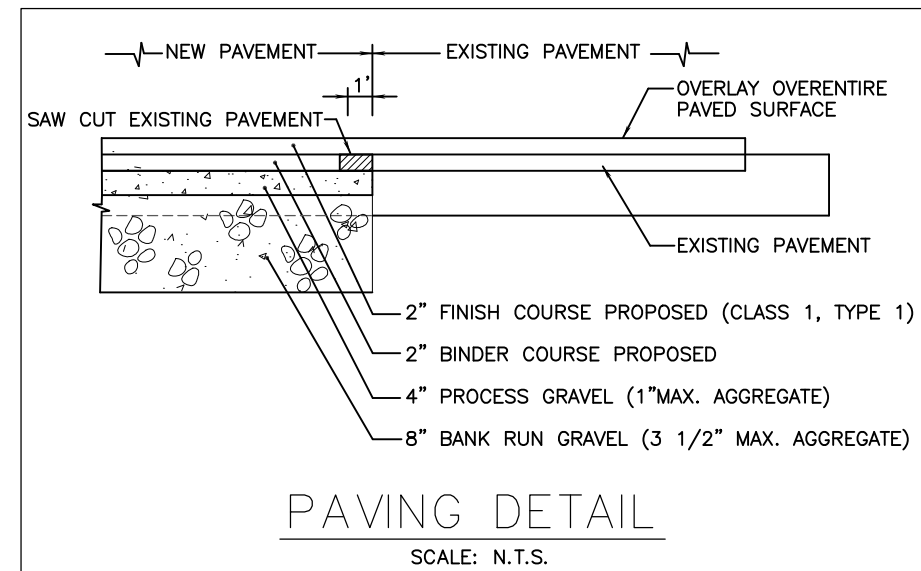
LAND BELONGING TO:

ARTEMIS G. MANDES
26 PLATOZ DRIVE
MONTVILLE, CONNECTICUT

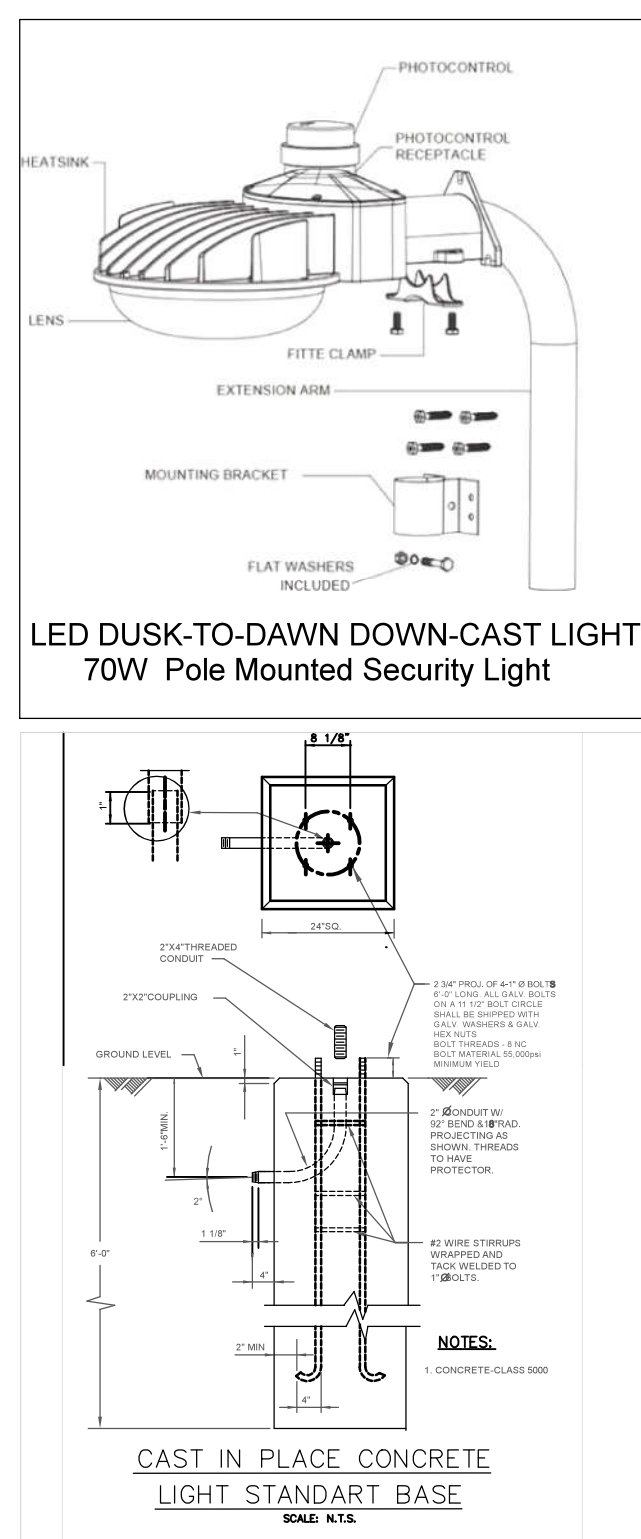
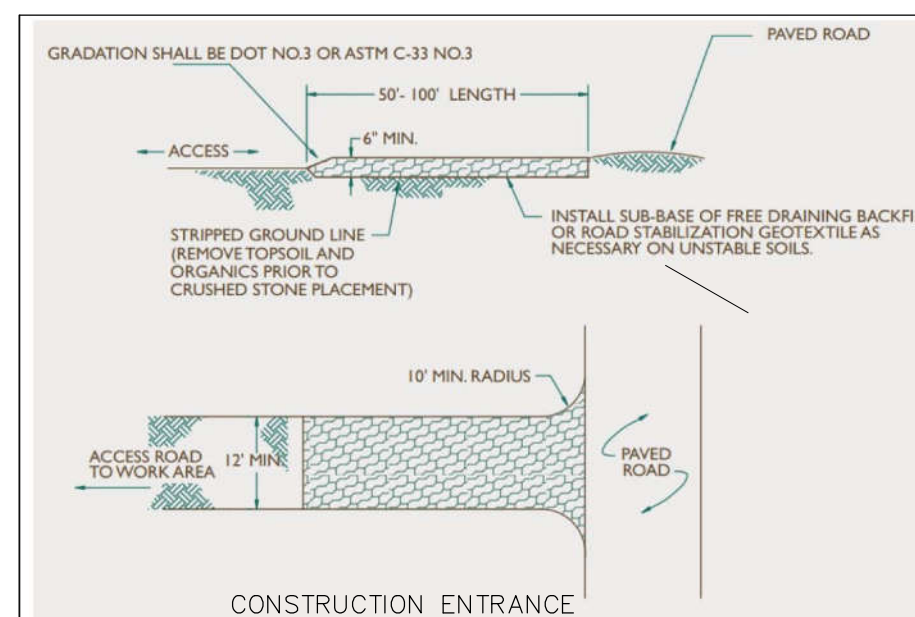
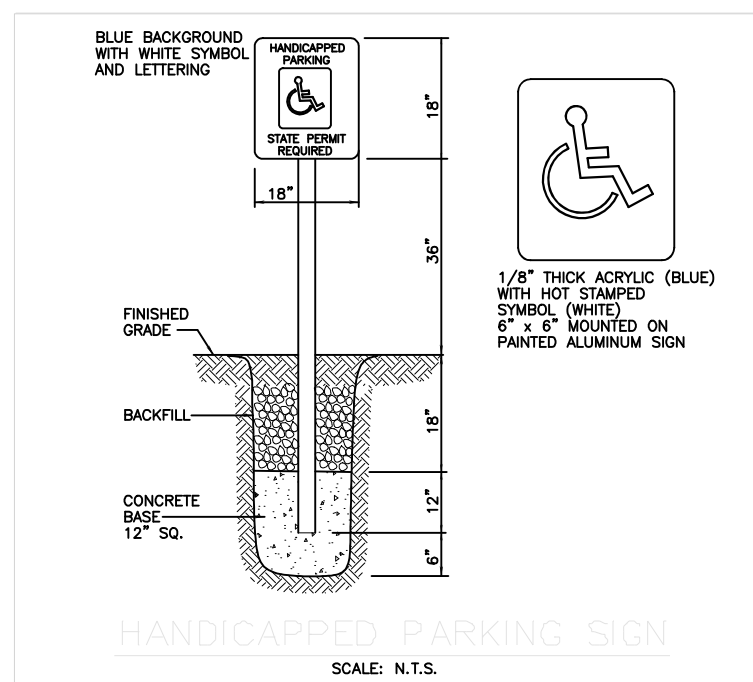
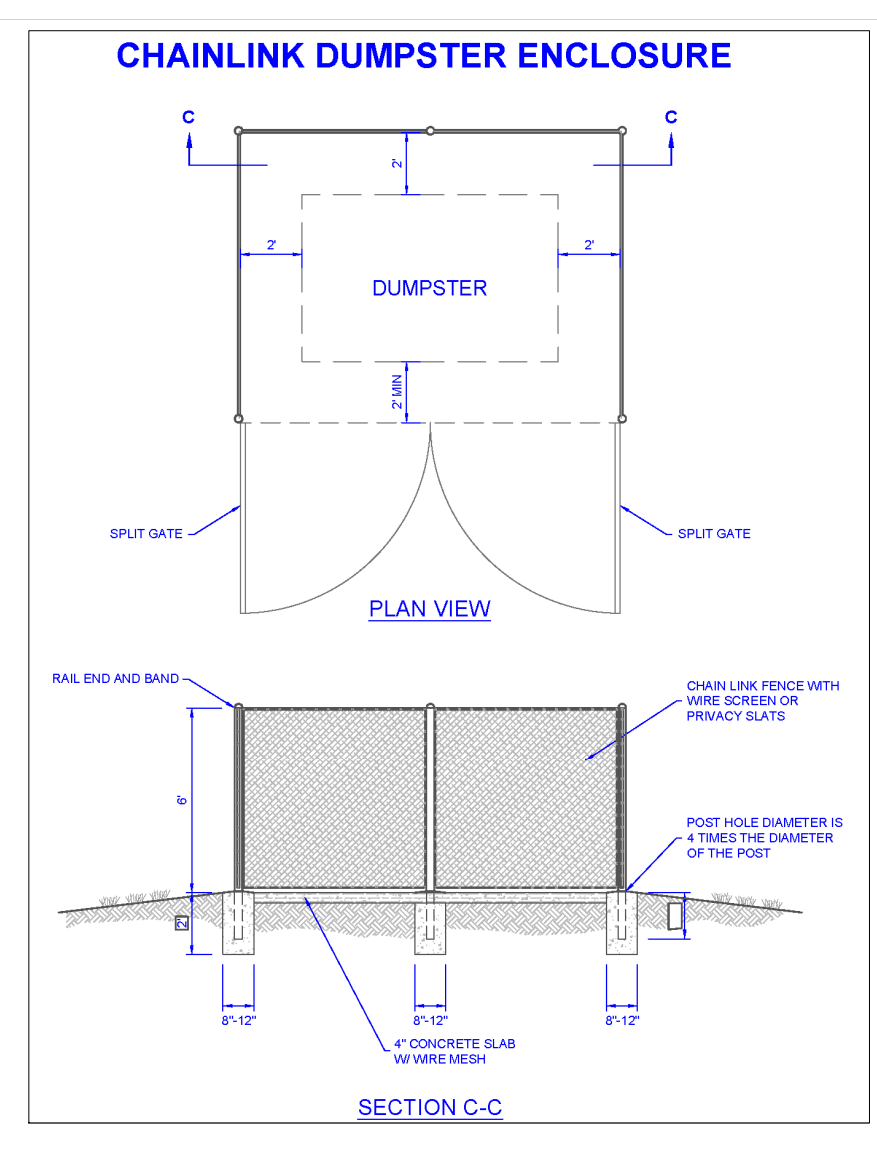
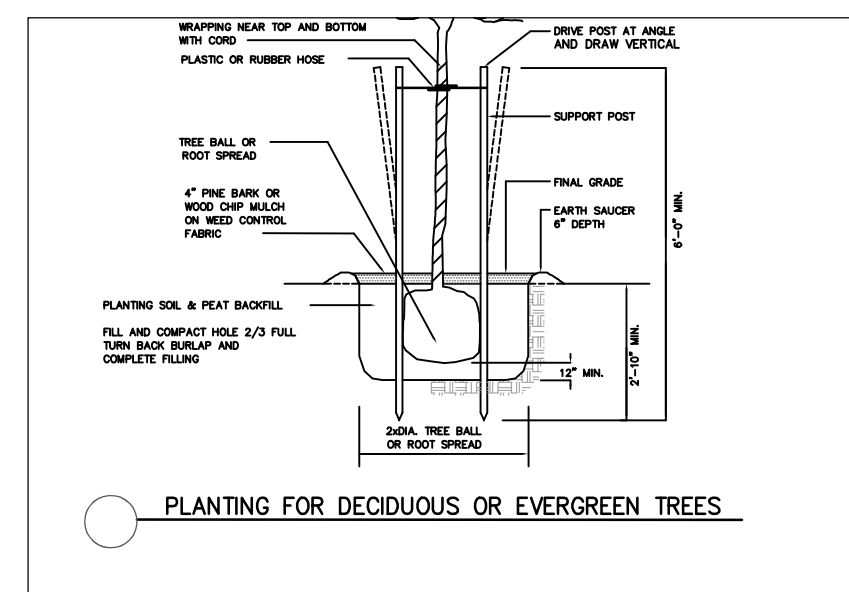
DESCRIPTION:

PLAN OF DEVELOPMENT



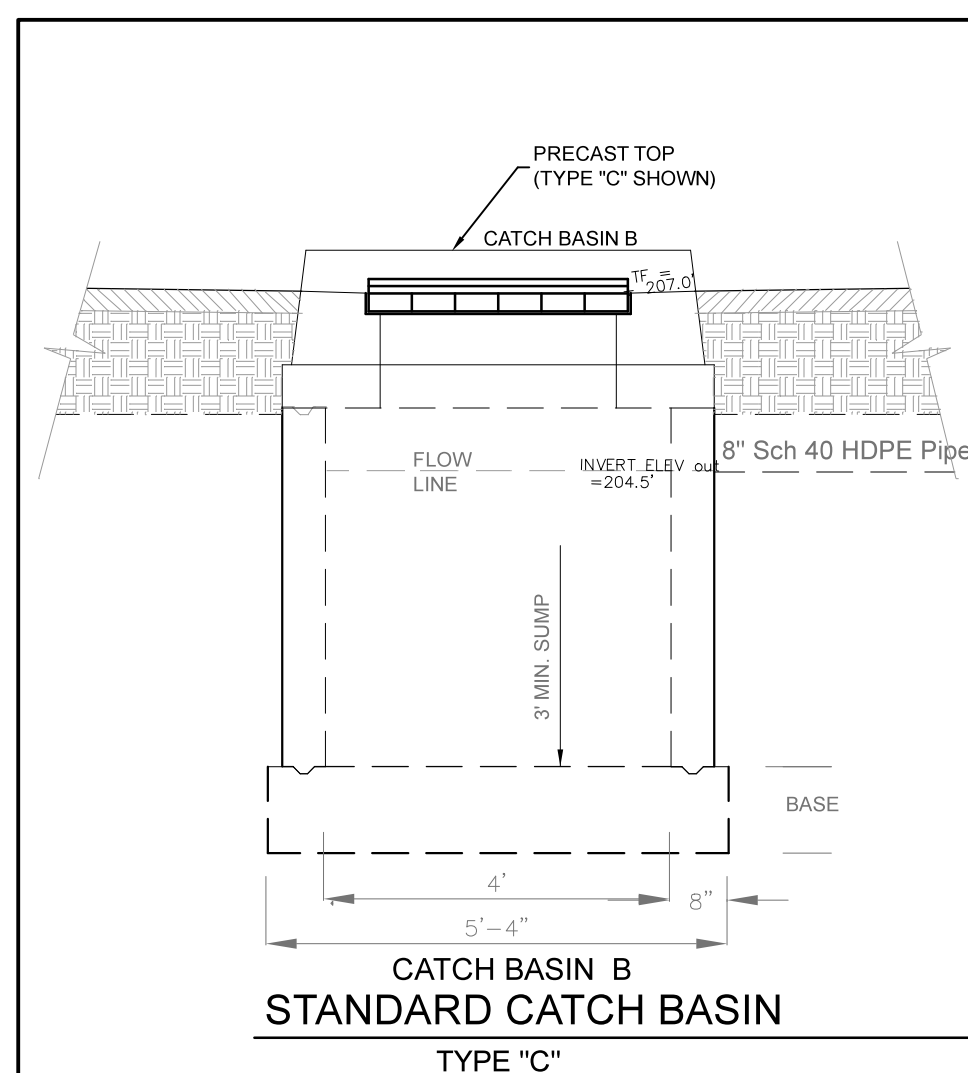
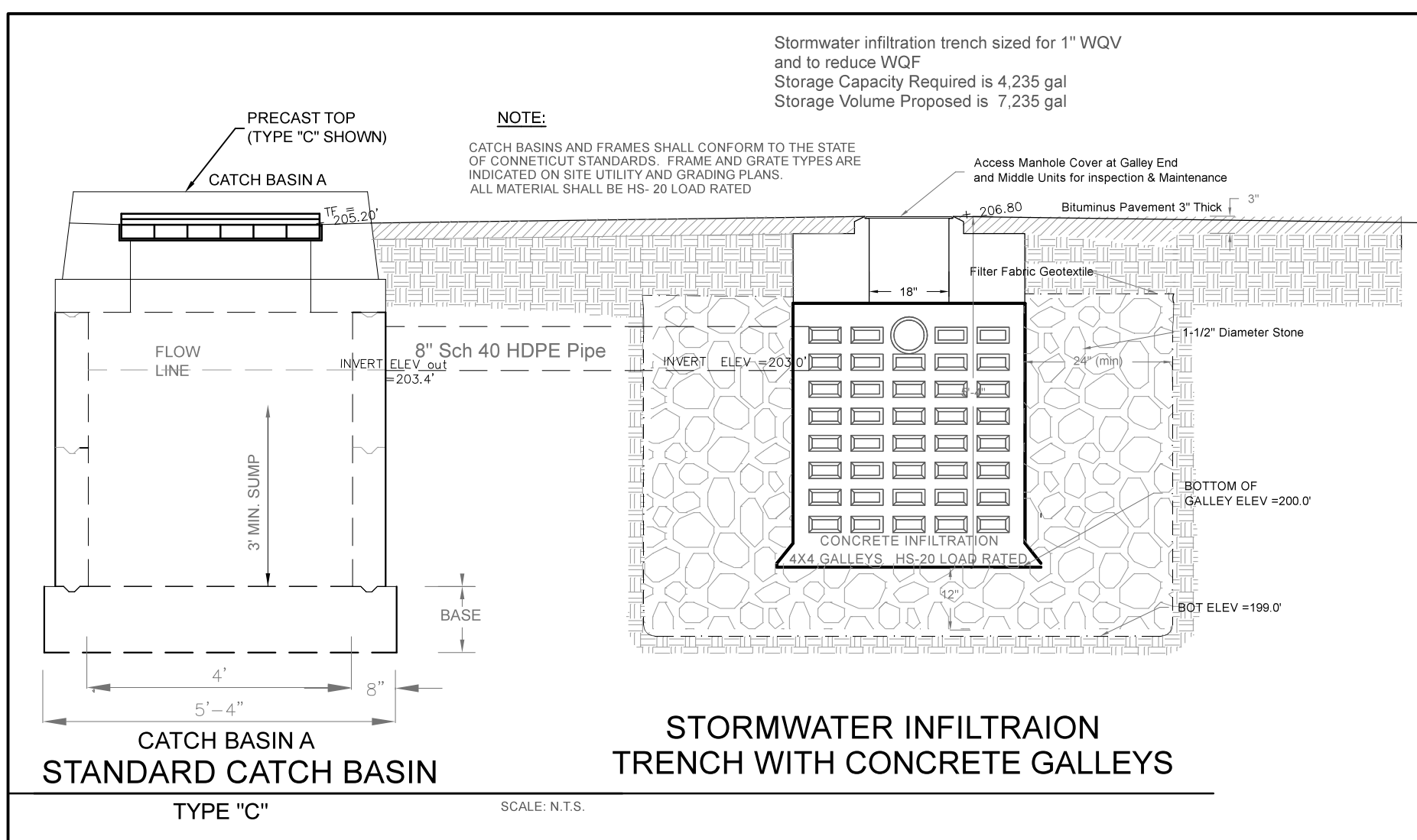
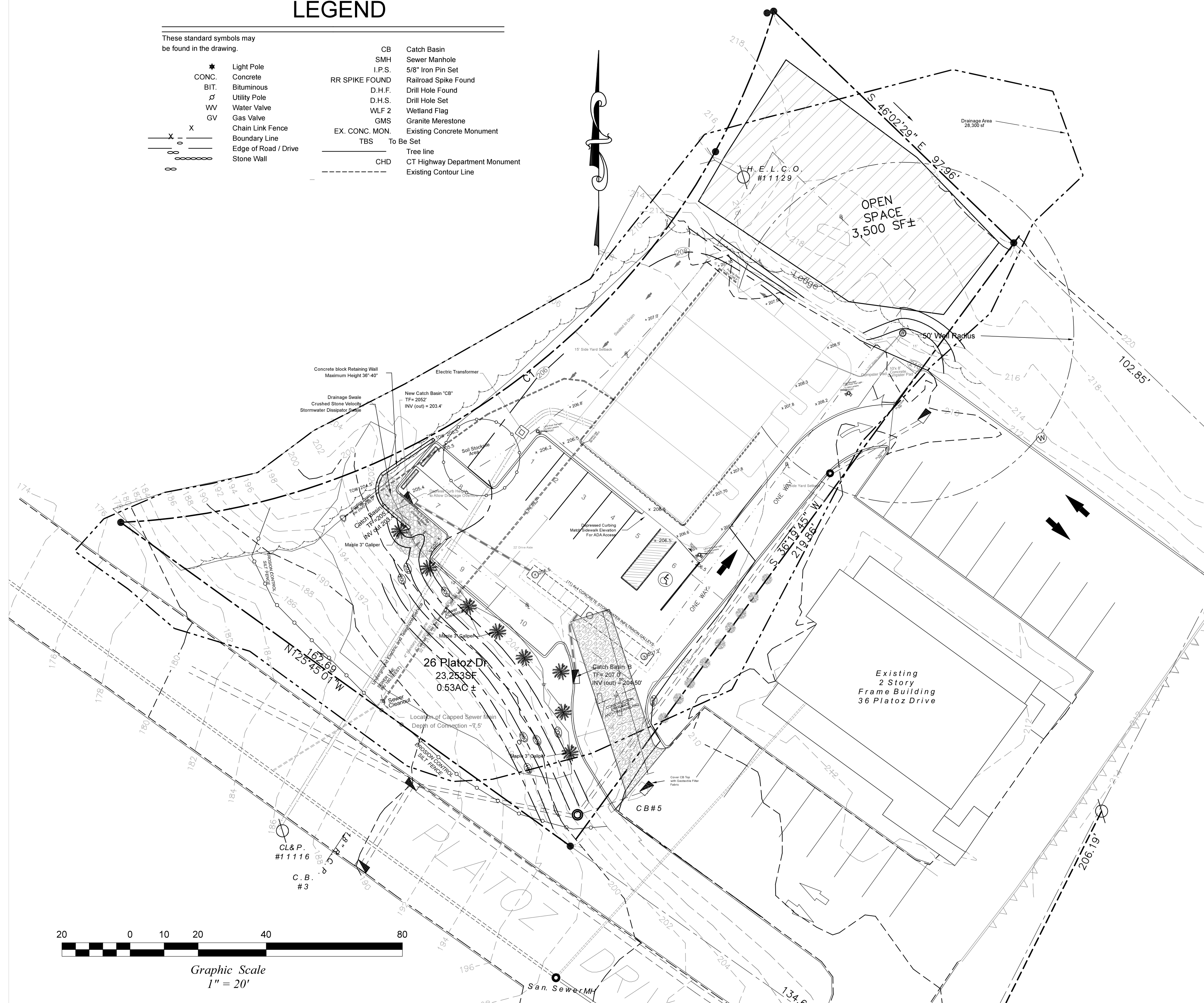


- NOTES:
1. SIDEWALKS TO BE INSTALLED TO THE MOTHS AS SHOWN ON THE SITE LAYOUT. GRADING AND UTILITY PLANS CONTRACTOR TO PROVIDE NEW JOINTS, FILL, WOOD, GRAVEL SUBBASE, WIRE REINFORCEMENT, AND CONCRETE MATERIALS AS SPECIFIED.
 2. CONCRETE TO BE 3000 P.S.I. MIX, SURFACE TO BE FINISHED WITH A WOOD FLOAT OR OTHER APPROVED MEANS.
 3. CONTRACTOR TO SLOPE NEWLY INSTALLED CONC. SIDEWALK SECTIONS TOWARD ADJACENT ROAD 1/4" FT. WHERE FIELD CONDITIONS ALLOW.
 4. MINIMUM COVER ON REINFORCED SHALL BE 2" TYP.
 5. CONCRETE SHALL BE CLASS SHOWN AND CONFORM TO STATE OF CONNECTICUT STANDARDS.



These standard symbols may be found in the drawing.

- | | | | |
|-------|----------------------|----------------|--------------------------------|
| ★ | Light Pole | I.P.S. | 5/8" Iron Pin Set |
| CONC. | Concrete | RR SPIKE FOUND | Railroad Spike Found |
| BIT. | Bituminous | D.H.F. | Drill Hole Found |
| U | Utility Pole | D.H.S. | Drill Hole Set |
| WV | Water Valve | WLF 2 | Wetland Flag |
| | Gas Valve | GMS | Granite Merestone |
| X | Chain Link Fence | EX. CONC. MON. | Existing Concrete Monument |
| | Boundary Line | TBS | To Be Set |
| | Edge of Road / Drive | | Tree Line |
| | Stone Wall | CHD | CT Highway Department Monument |
| | | | Existing Concrete Monument |



SOIL EROSION & SEDIMENTATION CONTROL NOTES:

E & S plan is based on Connecticut Guidelines for Soil Erosion and Sediment Control¹¹

Install Erosion Control silt fence as depicted on this plan.
All disturbed areas shall have erosion control installed down gradient to stop soil migration. After each rainfall event, erosion control shall be inspected and repaired to ensure silt fence integrity to stop silt migration off site.

Unnecessary clearing of any vegetation or ground cover will be avoided. Any disturbed area left unvegetated will be covered with a hay or straw mulch to minimize erosion.

Following final grading, all disturbed areas shall be covered with 6" loam and seeded as described below. If final grading occurs past October 15, disturbed areas will be seeded

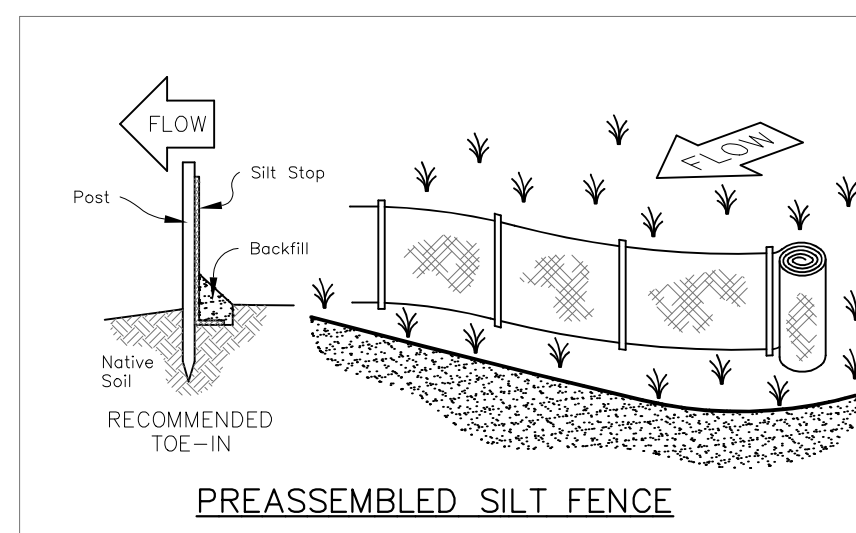
Seed Mixture Seeding Rate	% by Wt. Lbs./Ac.
Red Fescue	75-100
Colonial Bentgrass-Exeter	5
Perennial Ryegrass	5
Birdsfoot Trefoil-Empire	15

Any proposed vegetation which has not survived one growing season will be replaced.

All suitable material excavated for roadway construction shall be used elsewhere on site. Unsuitable material will be removed from the site and deposited in a suitable location.

All construction activity shall occur between March 15 and October 15 to avoid adverse impacts on downstream flows.

Less than 1/2 of an acre of disturbance is proposed for this site plan.



LAND BELONGING TO:
ARTEMIS G. MANDES
26 PLATOZ DRIVE
MONTVILLE, CONNECTICUT

DESCRIPTION: PLAN OF DEVELOPMENT EROSION CONTROL, DRAINAGE

May Engineering LLC

Civil Engineering and Site Planning
1297 RT 163 Oakdale, CT 06370
860 884-9671

SITE DEVELOPMENT PLAN

SCALE: 1" = 20' & as noted

DATE 20 Dec 2023

JOB NUMBER	SHEET
------------	-------

5 of 5