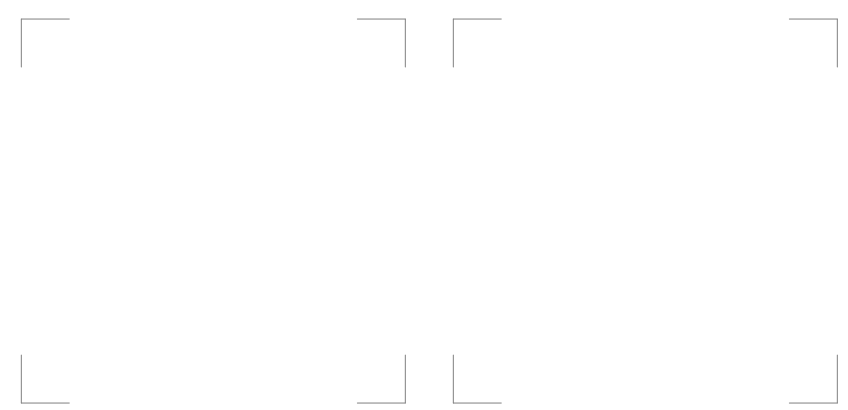


PROJECT TITLE: _____

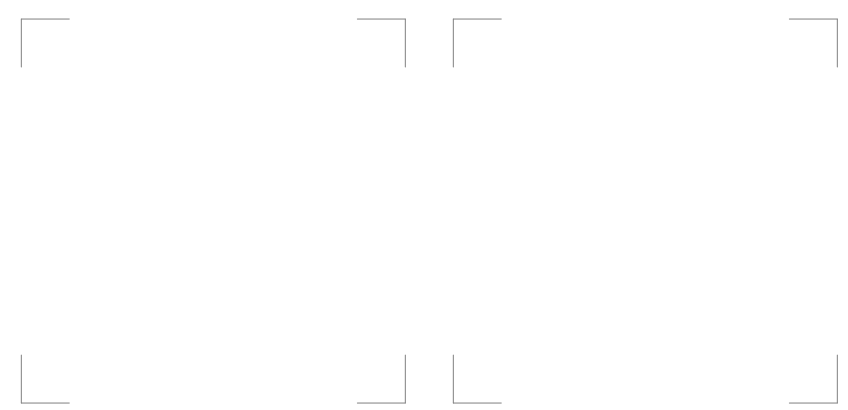
New Animal Facility at:

Montville Animal Shelter

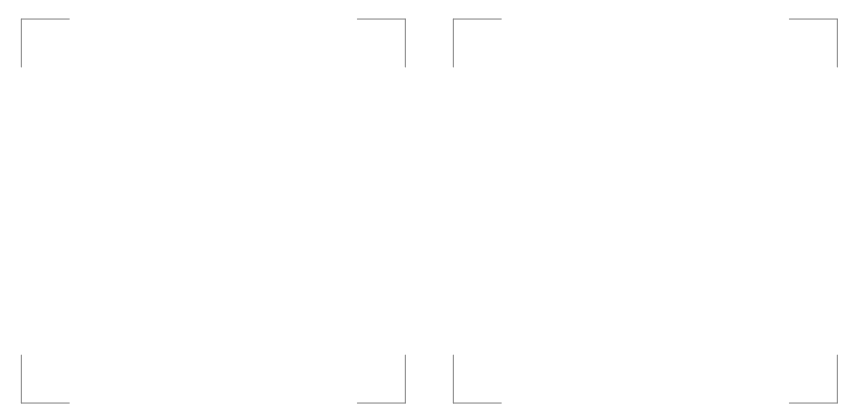
225 Maple Ave. Parcel ID: 077-041-000
Montville, CT



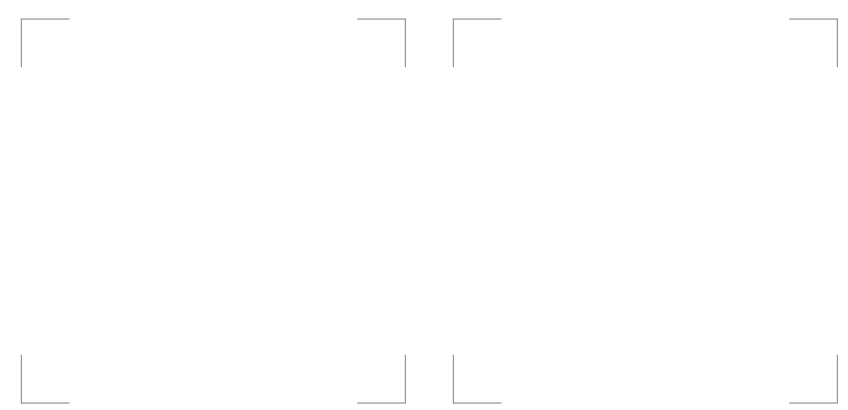
ARCHITECT
SILVER PETRUCELLI & ASSOC.
3190 WHITNEY AVENUE, HAMDEN CT 06518
311 STATE STREET NEW LONDON, CT 06320
PHONE 203 230 9007 silverpetrucelli.com



M/E/P/FP
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SILVER PETRUCELLI + ASSOCIATES

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311 STATE STREET NEW LONDON CT 06320
203 230 9007 silverpetrucelli.com

ISSUED FOR BID 09/27/2024



ABBREVIATIONS


A.C.T.	ADJUSTABLE CEILING TILE
ALUM.	ALUMINUM
A.S.	ANCHOR BOLT
APPROX.	APPROXIMATE
ARCH.	ARCHITECTURAL
C.P.	CEMENT PIPE
ASPH.	ASPHALT
AVG.	AVERAGE
B.S.M.T.	BASEMENT
BRG.	BEARING
B.T.	BITUMINOUS
BLK.	BLACK
BD.	BOARD
B.S.	BOTH SIDES
BRK.	BRICK
BLDG.	BUILDING
C.I.	CAST IRON
C.I.P.	CAST IN PLACE CONCRETE
C.B.	CATCH BASIN
C.B.R.	CATCH BASIN TO BE REMOVED
CLG.	CEILING
C.P.	CENTER LINE
C. BD.	CHALK BOARD
C.O.	CLEAN OUT
C.O.L.	COLLUM
CONC.	CONCRETE
C.M.U.	CONCRETE MASONRY UNIT
C.N.	CONTINUOUS
CONT.	CONTINUOUS, CONTINUE
CONTR.	CONTRACTOR
C.C.	CONTROL JOINT
C.C.	CURB CUT
DET.	DETAIL
DIA.	DIAMETER
DM.	DIMENSION
DR.	DOOR
DN.	DOWN
DWG.	DRAWING
E.A.	EACH
E.F. / E.W.	EACH FACE / EACH WAY
E.	EDUCATION
E / ELEV.	ELECTRICAL
ELEV.	ELEVATION
EMER.	EMERGENCY
ENCL.	ENCLOSURE
ENT.	ENTRANCE
E.P.	EPOXY PAINT
EQ.	EQUAL
EXAM.	EXAMINATION
EXIST.	EXISTING
EXP.	EXPANSION
E.J.	EXPANSION JOINT
EXT.	EXTERIOR
F.S.	FACE SIDE
FIN.	FINISH
F.F.	FINISHED FLOOR
FIXT.	FIXTURE
F.L.	FLOOR
F.P.	FOLDING PARTITION
FT.	FOOT
FTG.	FOOTING
FDN.	FOUNDATION
G.	GAUGE
GA.	GAS
GEN.	GENERAL
C.C.C.	GENERAL CONTRACTOR
GYP.	GYPSON
GYP. BD.	GYPSON BOARD
H.C.	HANDICAPPED
H.DWE.	HARDWARE
H.E.	HEAD
HGT.	HEIGHT
H.P.	HIGH POINT
H.M.	HOLLOW METAL
HORIZ.	HORIZONTAL, HORIZONTALLY
H.B.	HOSE BIB
H.R.	HOUR
HYD.	HYDRANT
INSUL.	INSULATION, INSULATED
INT.	INTERIOR
INV.	INVERTED
JAN.	JANITOR
K.P.	KICK PLATE
LAM.	LAMINATE
L.F.	LINEAR FOOT
LG.	LINE
LOC.	LOCATION
L.C.	LOW POINT
LTC.	LIGHTING
M.H.	MANHOLE
MAS.	MASONRY
M.O.	MASONRY OPENING
MAX.	MAXIMUM
MECH.	MECHANICAL
MIN.	MINIMUM
M.	MINUTE
MISC.	MISCELLANEOUS
M.T.	MOUNTED
N.D.	NEAR SIDE
NOM.	NOMINAL
N.A.	NOT APPLICABLE
N.I.C.	NOT IN CONTRACT
N.T.S.	NOT TO SCALE
N.O.	NUMBER
OCC.	OCCUPANT
O.C.	ON CENTER
OPNG.	OPENING
O.D.	OUTSIDE DIMENSION
P.D.	PAINTED
P.C.B.	PAINTED GYPSUM BLOCK
L.G.B.	PAINTED GYPSUM BOARD
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S.O.G.	SLAB ON GRADE
SPEC.	SPECIFICATIONS
SQ.	SQUARE
SQ. FT.	SQUARE FEET
STL.	STEEL
S.F.	STEP FOOTING
S.	STORM
STRUCT.	STRUCTURAL
SUSP.	SUSPENDED, SUSPENSION
TECH.	TECHNOLOGY
T	TELEPHONE
T&B	TOP AND BOTTOM
T.O.	TOP OF
T.O.F.	TOP OF FRAME
T/S	T/S SLAB
T.O.S.	TOP OF STEEL
T/W	TOP OF WALL
TYP.	TYPICAL
U.O.N.	UNLESS OTHERWISE NOTED

V.I.F.	VERIFY IN FIELD
VERT.	VERTICAL
V.B.	VINYL BASE
V.C.T.	VINYL COMPOSITE TILE
W.	WATER
W.C.J.	WALL CONTROL JOINT
W.W.F.	WELDED WIRE FABRIC
W.W.M.	WELDED WIRE MESH
W/	WITH
WD.	WOOD
@	AT
O	DIAMETER

GRAPHIC LEGEND

-  CONCRETE
-  CONCRETE MASONRY

 BRICK


 STONE



PLYWOOD



ACOUSTICAL TILE




WOOD FRAMING -
THROUGH MEMBER

WOOD FRAMING INTERRUPTED MEMBRANE

FINISHED WOOD

BATT INSULATION



RIGID INSULATION

© 2004 Blackwell Publishing Ltd *Journal of Internal Medicine* 255: 111–117

















GENERAL NOTES

1. CONTRACTOR SHALL FIELD VERIFY FABRICATION, FURNISHING AND INSTALLATION.
2. ALL MATERIALS & EQUIPMENT SHALL BE OTHERWISE NOTED.
3. ALL EXISTING UTILITIES & EQUIPMENT SHALL BE PROTECTED.




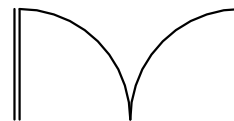





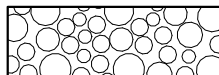
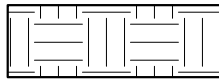
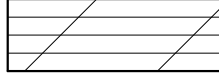

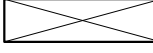
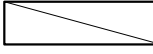
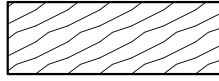
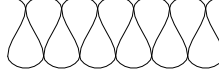
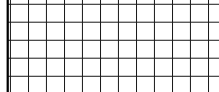

4. CONTRACTOR ASSUMES ALL RESIDUALS AND EQUIPMENT. ANY & ALL DAMAGE TO BE REPLACED AT NO ADDITIONAL COST TO THE CITY.
5. ALL RATED DOORS & DOORS FROM 1990 ONWARD UNLESS OTHERWISE INDICATED ON THE SPECIFICATIONS.
6. ALL DOORS LEADING TO HAZARDOUS AREAS SHALL BE RATED.

7. ALL DOORS EXITING 100 PERSONS
8. ALL HANDICAP ACCESSIBLE DOORS
AND ALL OTHER APPLICABLE CODES
9. ALL NEW EXPOSED/VISIBLE DECK
COMPONENTS SHALL BE PAINTED

SYMBOL LEGEND

	- DOOR NUMBER
	- WINDOW TYPE
	- ROOM NAME
	- ROOM NUMBER
	- PARTITION TYPE
	- CONSTRUCTION NOTE
	- GLAZING TYPE
	- EXTERIOR ELEVATION NUMBER
	- SHEET NUMBER
	- INTERIOR ELEVATION NUMBER
	- SHEET NUMBER
	- BUILDING SECTION NUMBER
	- SHEET NUMBER
	- WALL SECTION NUMBER
	- SHEET NUMBER
	- REFERENCE POINT
	- REVISION MARK

GRAPHIC LEGEND

	CONCRETE		- NEW SINGLE DOOR
	CONCRETE MASONRY UNITS		- NEW DOUBLE DOOR
	BRICK		- EXISTING DOOR TO REMAIN
	STONE		- REMOVE EXISTING DOOR
	METALS		
	COMPACTED GRAVEL		
	EARTH		
	PLYWOOD		
	ACOUSTICAL TILE		
	WOOD FRAMING - THROUGH MEMBER		
	WOOD FRAMING - INTERRUPTED MEMBER		
	FINISHED WOOD		
	BATT INSULATION		
	RIGID INSULATION		
	GYPSUM BOARD		

GENERAL NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS & DIMENSIONS PRIOR TO FABRICATION, FURNISHING AND INSTALLATION OF ANY MATERIALS, EQUIPMENT AND WORK.
2. ALL MATERIALS & EQUIPMENT SHOWN ARE NEW TO BE PROVIDED BY CONTRACTOR UNLESS OTHERWISE NOTED.
3. ALL EXISTING UTILITIES & EQUIPMENT LOCATIONS ARE APPROXIMATE - CONTRACTOR SHALL FIELD VERIFY AND/OR COORDINATE EXACT LOCATIONS.
4. CONTRACTOR ASSUMES ALL RESPONSIBILITY DURING CONSTRUCTION TO PROTECT MATERIALS AND EQUIPMENT - ANY & ALL DAMAGED ITEMS & EQUIPMENT DURING CONSTRUCTION SHALL BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.
5. ALL RATED DOORS & DOORS FRONTING A CORRIDOR SHALL HAVE POSITIVE LATCHING LOCKSETS UNLESS OTHERWISE INDICATED ON THE DOOR SCHEDULE.
6. ALL DOORS LEADING TO HAZARDOUS AREAS SHALL HAVE TACTILE WARNING.
7. ALL DOORS EXITING 100 PERSONS OR MORE SHALL HAVE PANIC EXIT DEVICES.
8. ALL HANDICAP ACCESSIBLE DOOR HARDWARE SHALL BE PROVIDED TO COMPLY WITH ADA, ANSI AND ALL OTHER APPLICABLE CODES.
9. ALL NEW EXPOSED/VISIBLE DECKING, BEAMS, COLUMNS, JOISTS AND OTHER STRUCTURAL COMPONENTS SHALL BE PAINTED UNLESS OTHERWISE NOTED.
10. IF A NOTE IS FOUND ON ARCHITECTURAL DRAWINGS READING - "SEE STRUCTURAL DRAWINGS" - AND SIZE AND DETAILING OF MEMBER(S) IS NOT FOUND, CONTRACTOR SHALL CONTACT THE ARCHITECT TO REQUEST MISSING INFORMATION. THESE ITEMS SHALL BE PART OF THE BASE BID AND STEEL SUBCONTRACTOR SHALL REVIEW STRUCTURAL AS WELL AS ARCHITECTURAL DRAWINGS PRIOR TO BIDDING.
11. ALL CONTRACTORS SHALL REVIEW DRAWINGS AND PROJECT MANUAL. IF THERE IS A DISCREPANCY BETWEEN THE TWO OR ANY OTHER PARTS OF THE DOCUMENTS, THE HIGHER VALUE (IN DOLLARS) SHALL PREVAIL AS THE SCOPE OF WORK THAT WILL BE PRICED UNLESS OTHERWISE DIRECTED IN WRITING BY THE ARCHITECT DURING THE BIDDING PERIOD.

LIST OF DRAWINGS

VOLUME 1

G000	DRAWING LIST
G001	BUILDING CODE PLANS & INFORMATION
G V1	COVER SHEET
	CIVIL DRAWINGS
C100	SITE PLAN
C200	EXISTING CONDITIONS & DEMOLITION PLAN
C300	GRADING, EROSION CONTROL & UTILITY PLAN
C400	DETAILS
	STRUCTURAL DRAWING
S000	ISOMETRIC VIEWS
S001	STRUCTURAL NOTES
S002	STRUCTURAL NOTES
S100	FOUNDATION PLAN
S101	ROOF FRAMING PLAN
S300	STRUCTURAL SECTIONS
S301	STRUCTURAL DETAILS
S301	STRUCTURAL DETAILS
	ARCHITECTURAL DRAWING
A110	FLOOR PLANS
A120	ATTIC PLAN
A130	ROOF PLAN
A210	REFLECTED CEILING PLAN
A300	EXTERIOR ELEVATIONS
A400	BUILDING SECTIONS
A420	WALL SECTIONS
A500	SECTION DETAILS
A610	ROOF DETAILS
A620	WINDOW ELEVATIONS & DETAILS
A700	ENLARGED TOILET PLANS AND INTERIOR ELEVATIONS
A800	PARTITION TYPES, DOOR SCHEDULE & DETAILS
A910	SIGNAGE DETAILS, FINISH SCHEDULE & CASEWORK DETAILS

PLUMBING DRAWINGS

P000	PLUMBING COVER SHEET
P110	PLUMBING DRAINAGE FLOOR PLAN
P111	PLUMBING SUPPLY FLOOR PLAN
P120	PLUMBING ATTIC PLAN
P200	PLUMBING RISER DIAGRAMS
P300	PLUMBING DETAILS
P301	PLUMBING DETAILS
P400	PLUMBING SCHEDULES

MECHANICAL DRAWINGS

M000	NOTES, LEGEND AND ABBREVIATIONS
M101	MAIN LEVEL PLAN
M102	ATTIC PLAN
M103	ROOF PLAN
M401	SECTIONS
M601	ISOMETRIC VIEWS
M701	SCHEMATIC FLOW DIAGRAM AND VRF DIAGRAM
M801	MECHANICAL DETAILS
M901	MECHANICAL SCHEDULE

ELECTRICAL DRAWINGS

E001	ELECTRICAL GENERAL NOTES AND LEGEND
E100	ELECTRICAL MAIN LEVEL LIGHTING PLAN
E101	ELECTRICAL ATTIC LIGHTING PLAN
E200	ELECTRICAL MAIN LEVEL POWER PLAN
E201	ELECTRICAL ATTIC POWER PLAN
E500	ELECTRICAL SCHEDULES
E600	ELECTRICAL RISER DIAGRAM
E601	ELECTRICAL DETAILS
E602	ELECTRICAL LIGHTING DETAILS
ES100	ELECTRICAL SITE PLAN

Project Title:

**NEW ANIMAL FACILITY AT:
MONTVILLE ANIMAL SHELTER**

225 Maple Ave. Parcel ID: 077-041-000
Montville, CT



SILVER PETRUCELLI + ASSOCIATES

3190 WHITNEY AVENUE HAMDEN CT 06518
311 STATE STREET NEW LONDON CT 06320
203 230 9007 silverpetrucelli.com

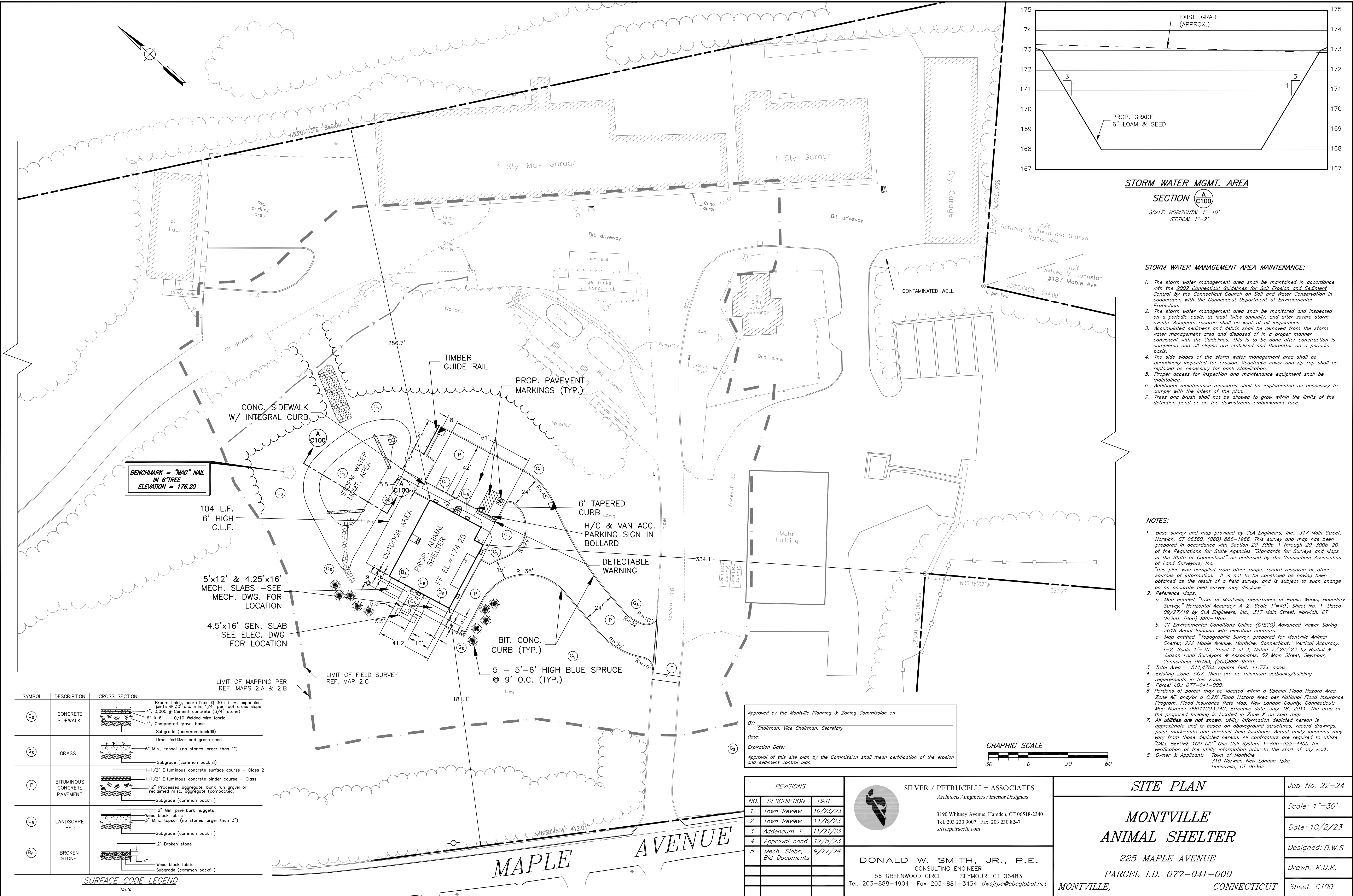
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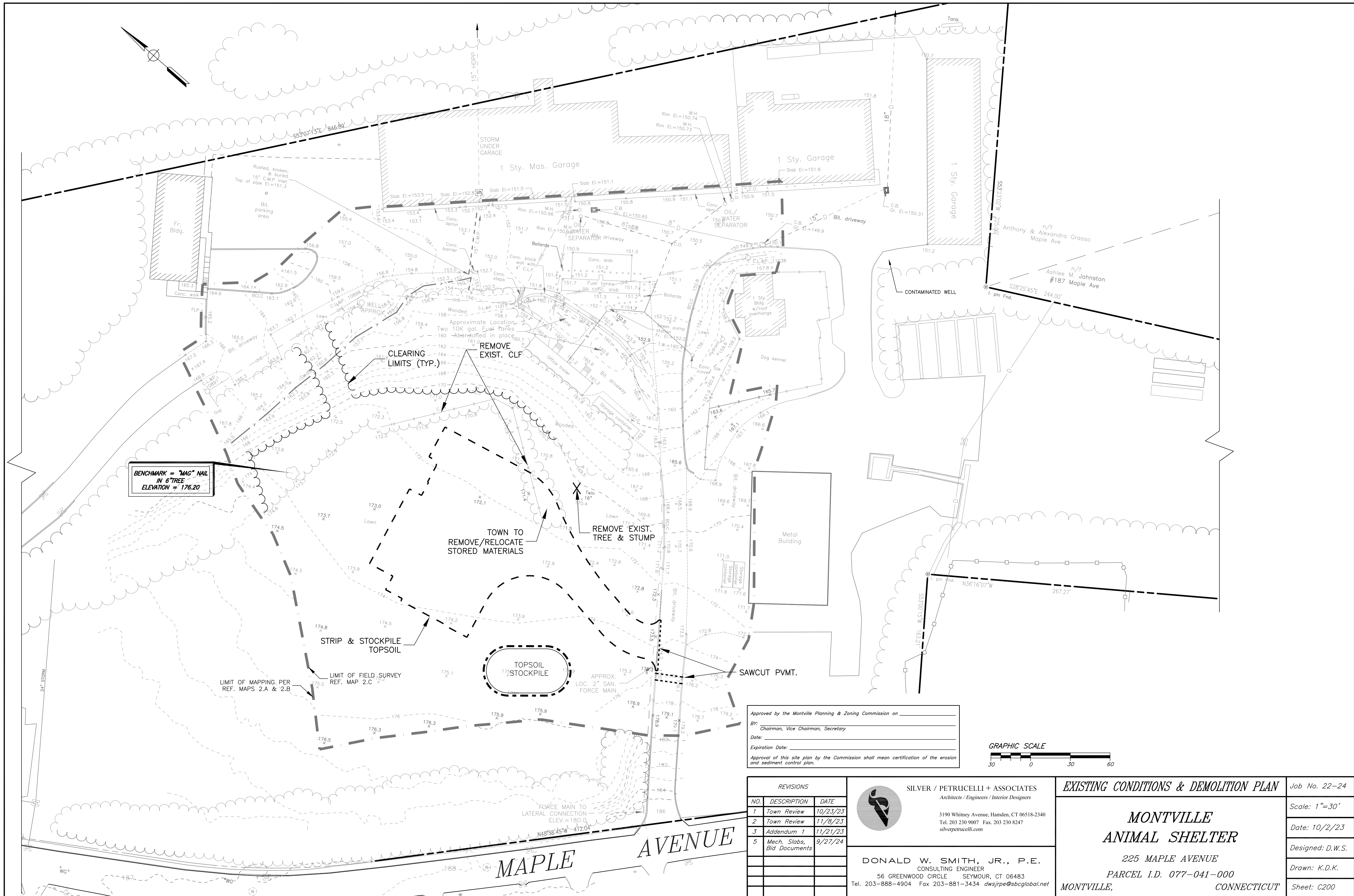
Drawing Title:

DRAWING LIST

Date: 09/27/2024
Drawing Number: G000
Scale: 1" = 1'-0"
Drawn By: MES
Project Number: 22.130

G000






Approved by the Montville Planning & Zoning Commission on _____
BY: _____
Chairman, Vice Chairman, Secretary
Date: _____
Expiration Date: _____
Approval of this site plan by the Commission shall mean certification of the erosion and sediment control plan.



REVISIONS		
NO.	DESCRIPTION	DATE
1	Town Review	10/23/23
2	Town Review	11/8/23
3	Addendum 1	11/21/23
5	Mech. Slabs, Bid Documents	9/27/24



SILVER / PETRUCCELLI + ASSOCIATES
Architects / Engineers / Interior Designers

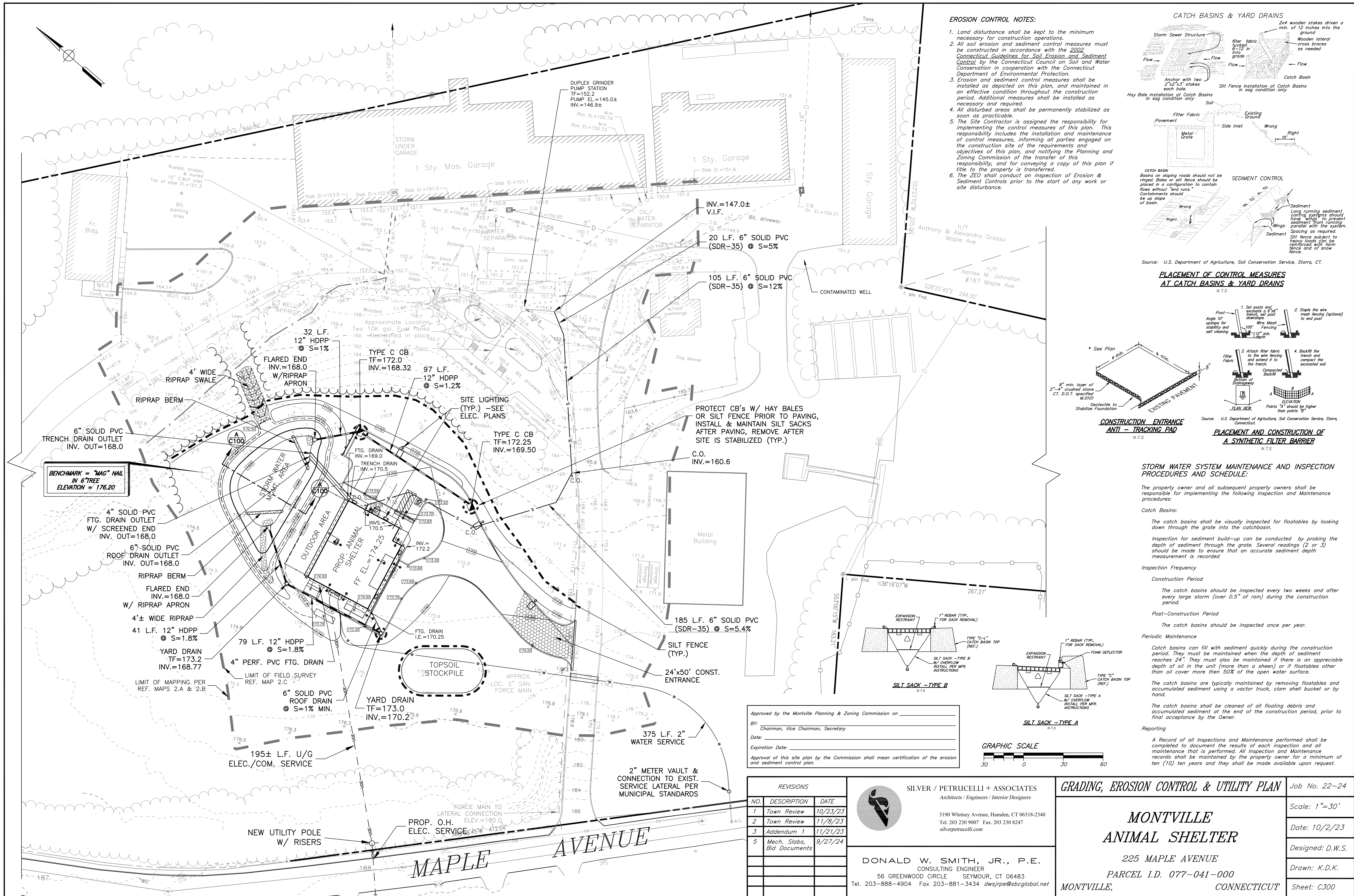
3190 Whitney Avenue, Hamden, CT 06518-2340
Tel. 203 230 9007 Fax. 203 230 8247
silverpetrucci.com

DONALD W. SMITH, JR., P.E.
CONSULTING ENGINEER
56 GREENWOOD CIRCLE SEYMOUR, CT 06483
Tel. 203-888-4904 Fax 203-881-3434 dwsjrpe@sbcglobal.net

EXISTING CONDITIONS & DEMOLITION PLANJob No. 22-24

MONTVILLE
ANIMAL SHELTER
225 MAPLE AVENUE
PARCEL I.D. 077-041-000
MONTVILLE, CONNECTICUT

Scale: 1"=30'
Date: 10/2/23
Designed: D.W.S.
Drawn: K.D.K.
Sheet: C200



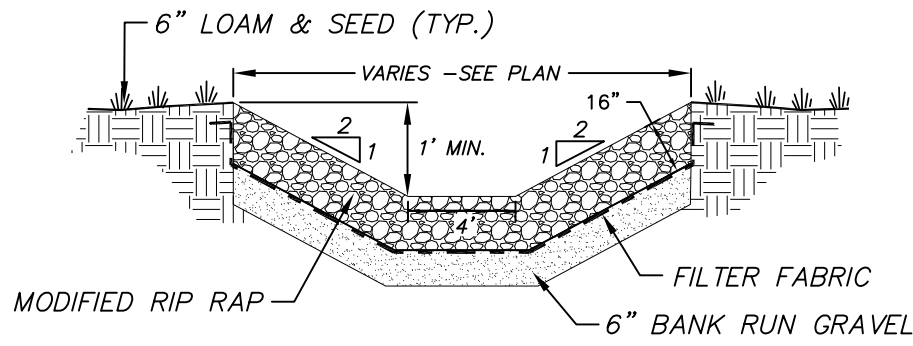
GENERAL CONSTRUCTION SEQUENCE:

The anticipated time of completion for all aspects of construction is ten (10) months from the initial start date.

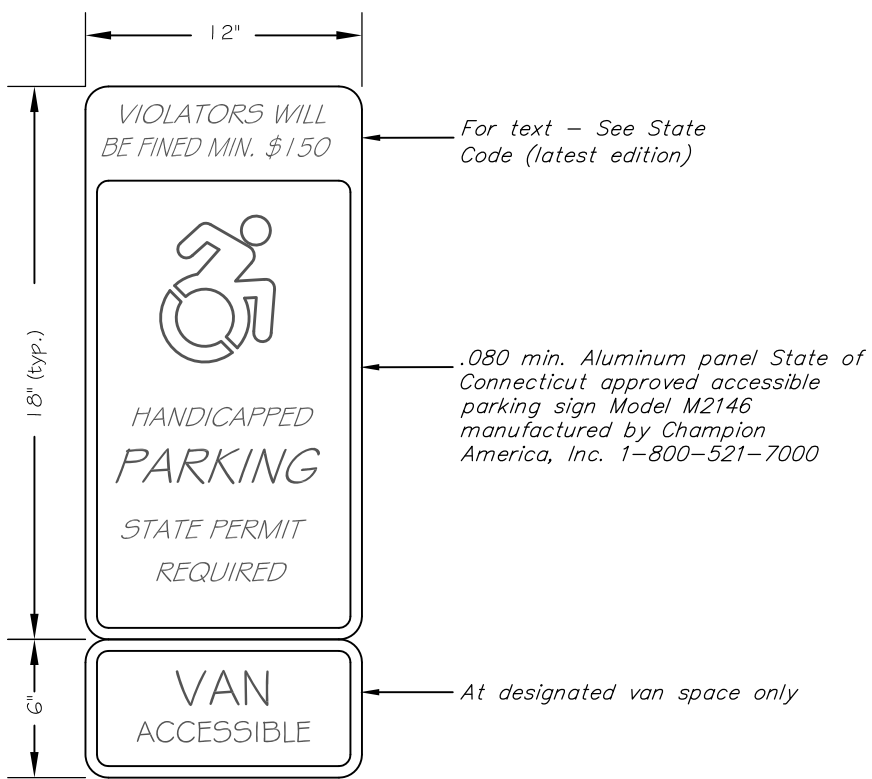
Prior to any on-site activity, the Contractor shall be responsible for holding a pre-construction meeting with the design team and appropriate Town of Montville officials and for notifying "Call Before You Dig" (1-800-922-4455) of the proposed project. (Estimated Time: 3 days)

The general sequence of work will be as follows:

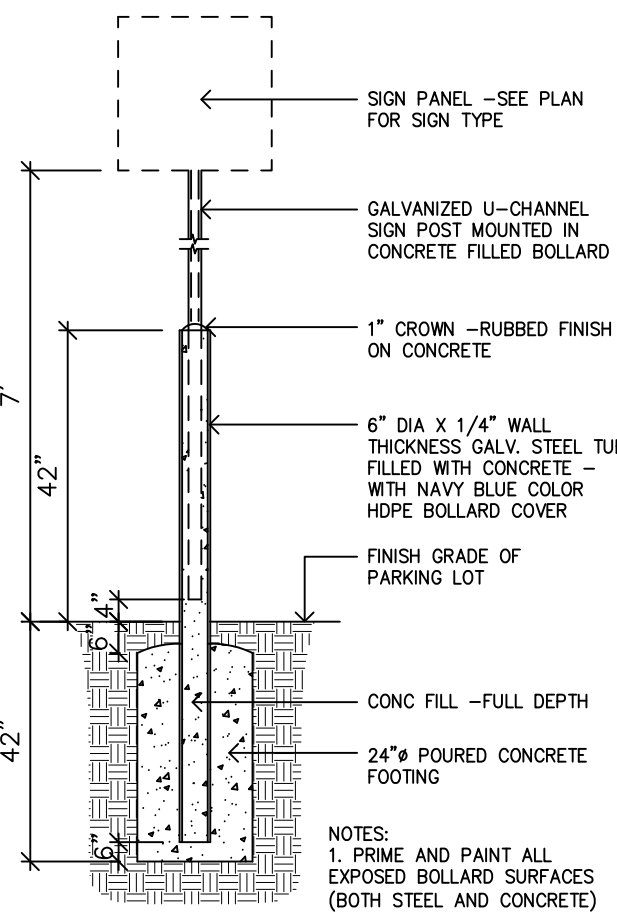
1. Stakeout limits of new construction, saw cut and remove the designated portions of bituminous concrete pavement and dispose off-site. (Estimated Time: 1 days)
2. Install silt fence and other erosion control measures as shown on plans and as directed by the "Engineer". Maintain all erosion and sediment control measures in an effective condition throughout the construction phase. (Estimated Time: 1 day)
3. Clear and grub existing trees and stumps and dispose off-site. (Estimated Time: 3 days)
4. Excavate for new building foundation, pour foundation and backfill. (Estimated Time: 4 weeks)
5. Construct new building and utility services. (Estimated Time: 26 weeks)
6. Excavate storm water management area, install and backfill new storm drainage system. (Estimated Time: 3 weeks)
7. Complete "boxing out" of parking area and new sidewalks and prepare subgrade for specified base materials (Estimated Time: 3 days)
8. Install specified base courses, new concrete sidewalks and curb and bituminous concrete pavement. (Estimated Time: 15 days)
9. Install bituminous concrete curbing. (Estimated Time: 1 day)
10. Install Handicap parking signage and pavement markings. (Estimated Time: 1 week).
11. Install topsoil and seed all disturbed areas as soon as practical. (Estimated Time: 1 day)



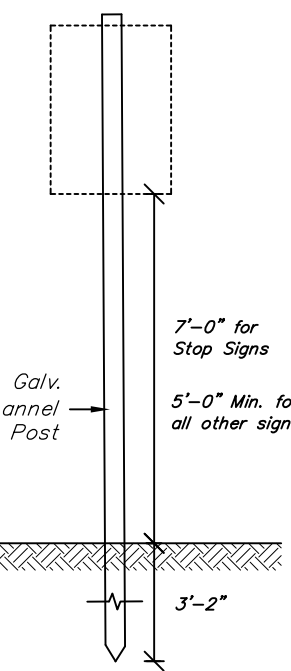
4' WIDE RIP RAP SWALE
N.T.S.



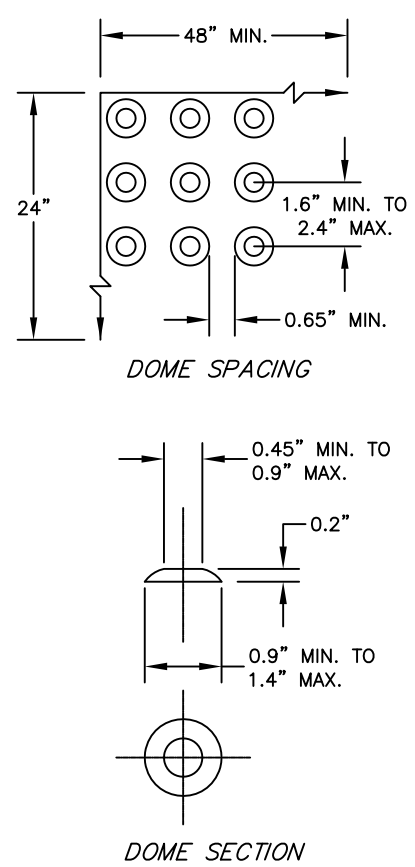
HANDICAP PARKING SIGN
N.T.S.



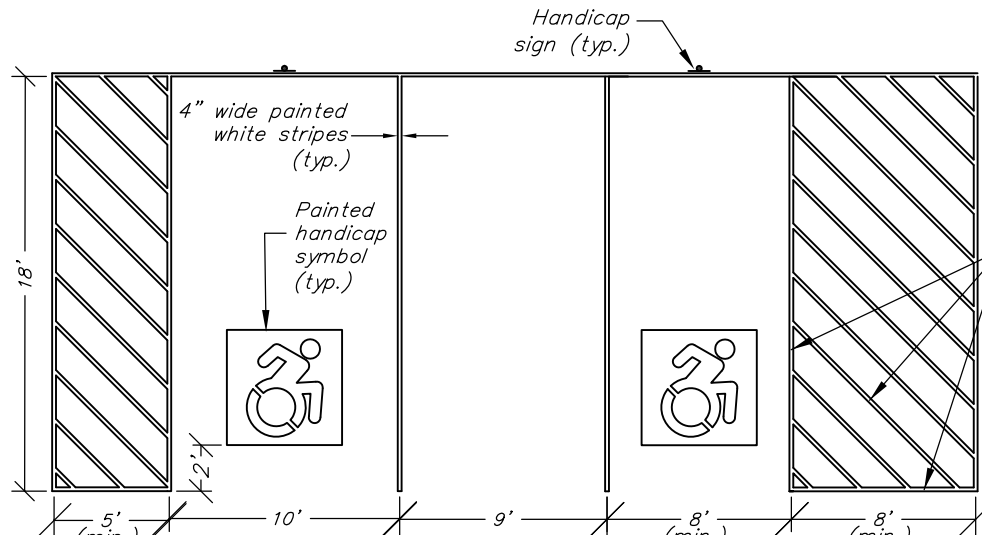
SIGN MOUNTED IN STEEL BOLLARD
N.T.S.



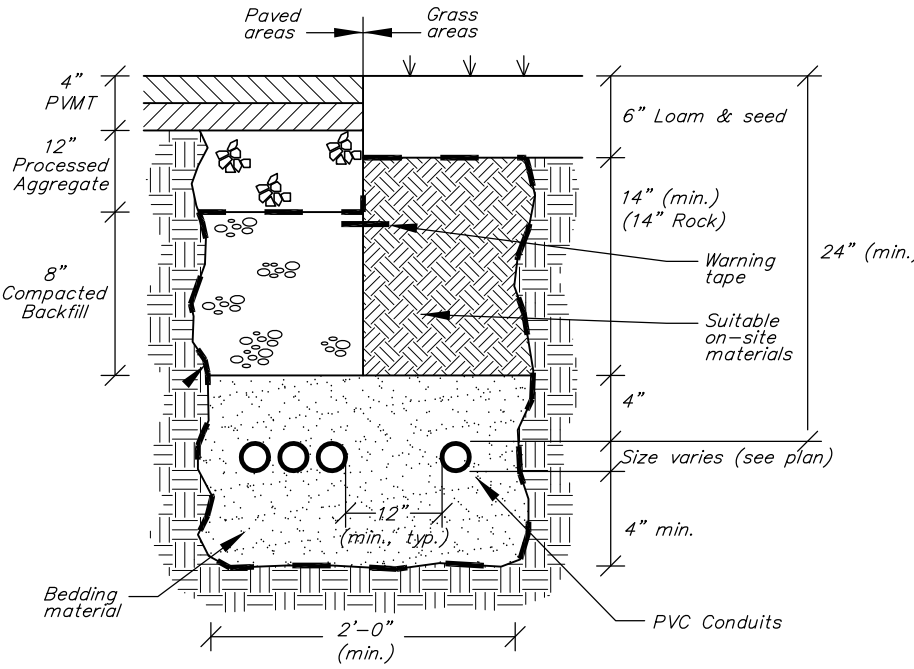
METAL SIGN DETAIL
N.T.S.



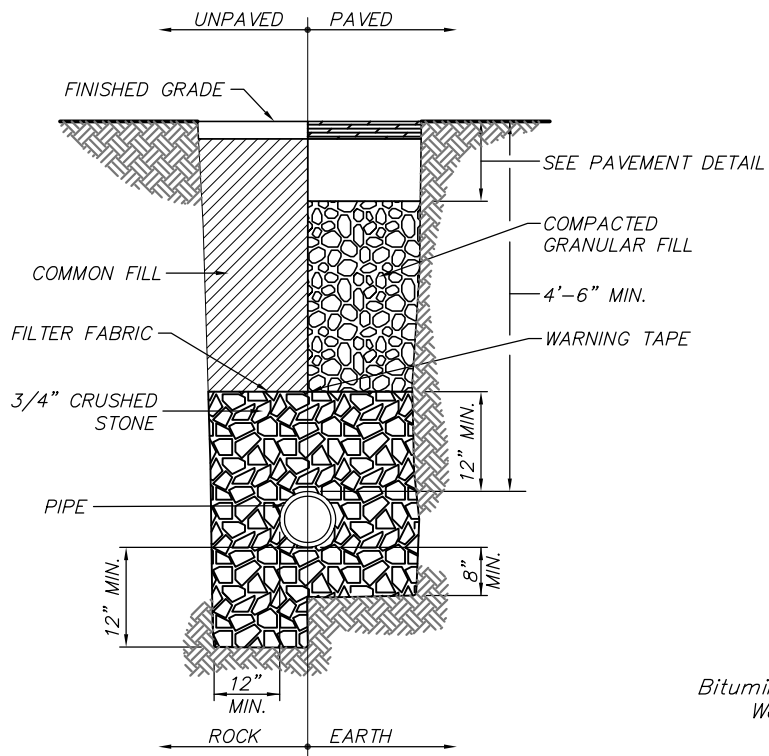
DETECTABLE WARNING AREA
N.T.S.



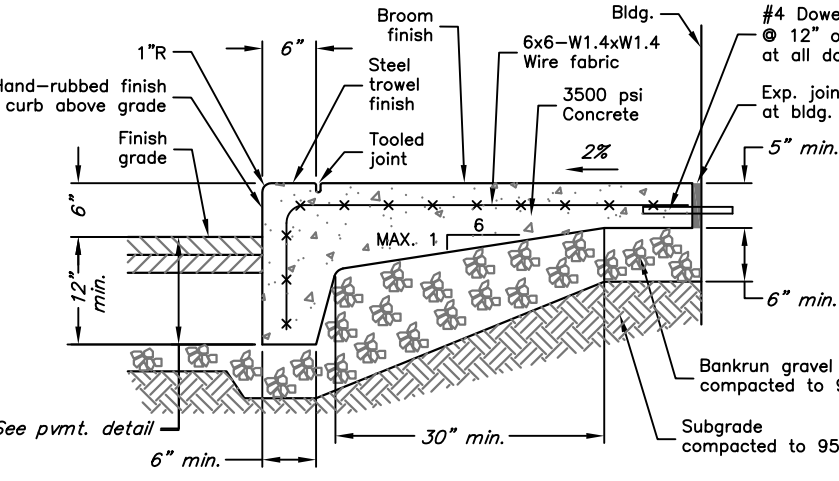
TYPICAL HANDICAP PARKING SPACE
PAVEMENT MARKING
N.T.S.



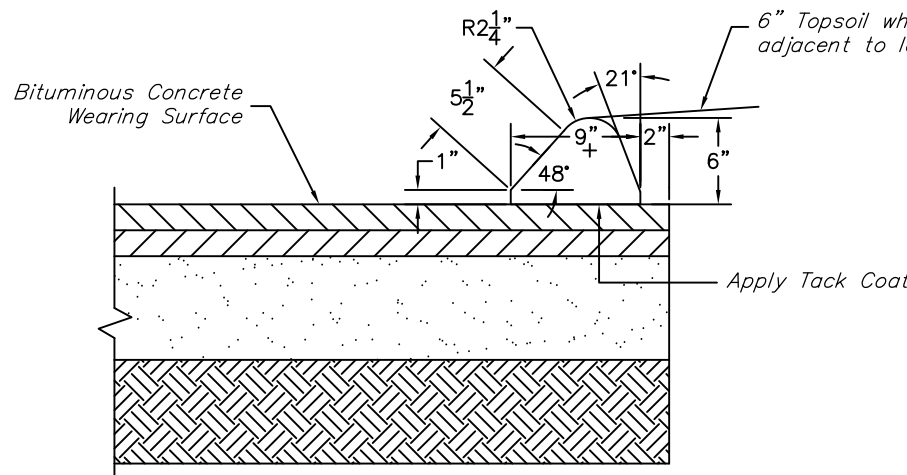
U/G CONDUIT BEDDING DETAIL
N.T.S.



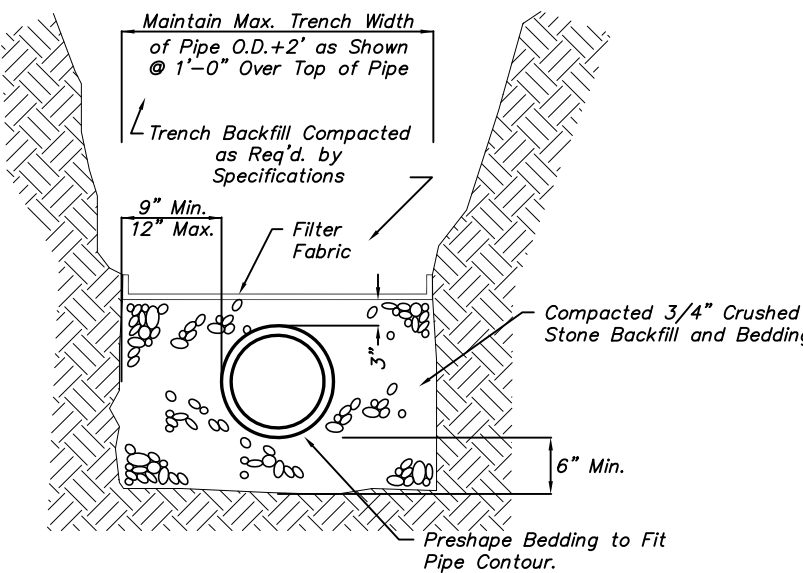
TYPICAL WATER SERVICE TRENCH DETAIL
NOT TO SCALE



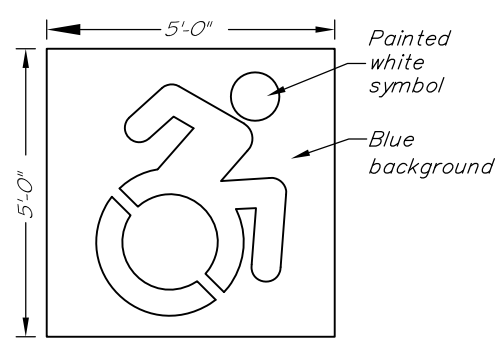
CONCRETE WALK W/6"x18" INTEGRAL CURB
N.T.S.



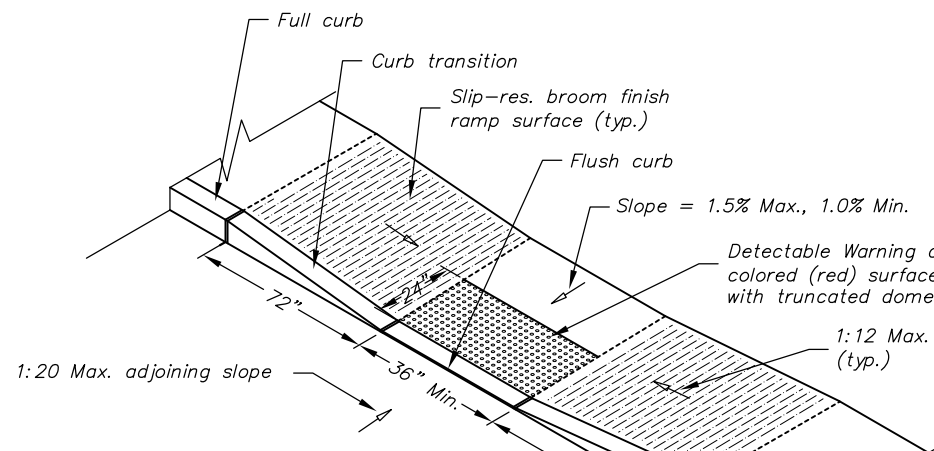
6" BIT. CONC. LIP CURB DETAIL
N.T.S.



SANITARY SEWER BEDDING DETAIL
N.T.S.

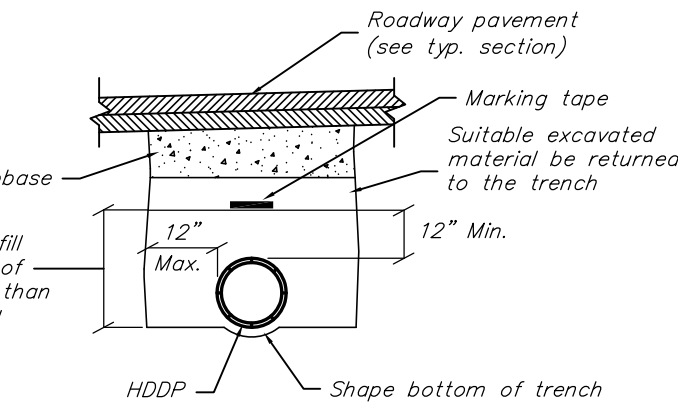


STANDARD HANDICAP SYMBOL
PAVEMENT MARKING
N.T.S.

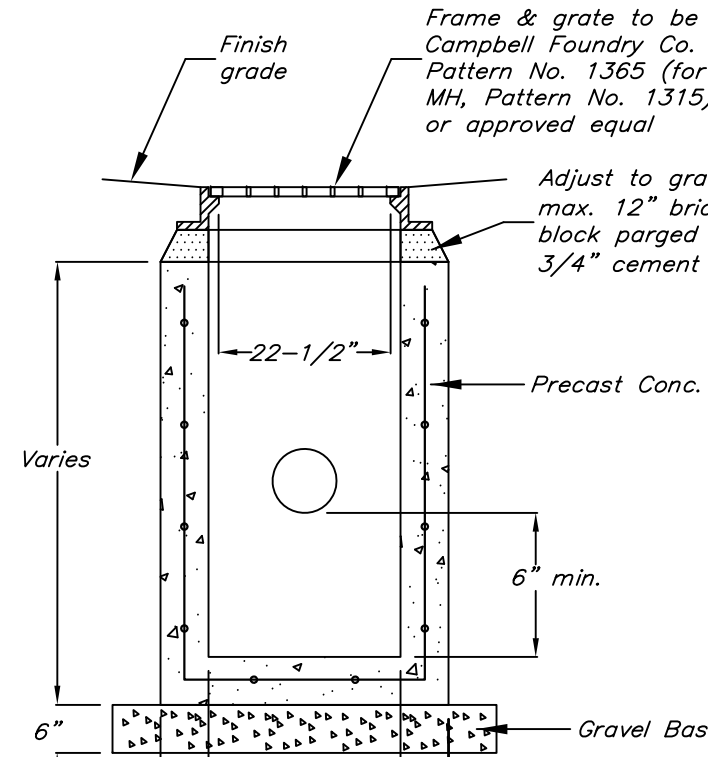


PARALLEL SIDEWALK
FLUSH CURB & RAMPS
N.T.S.

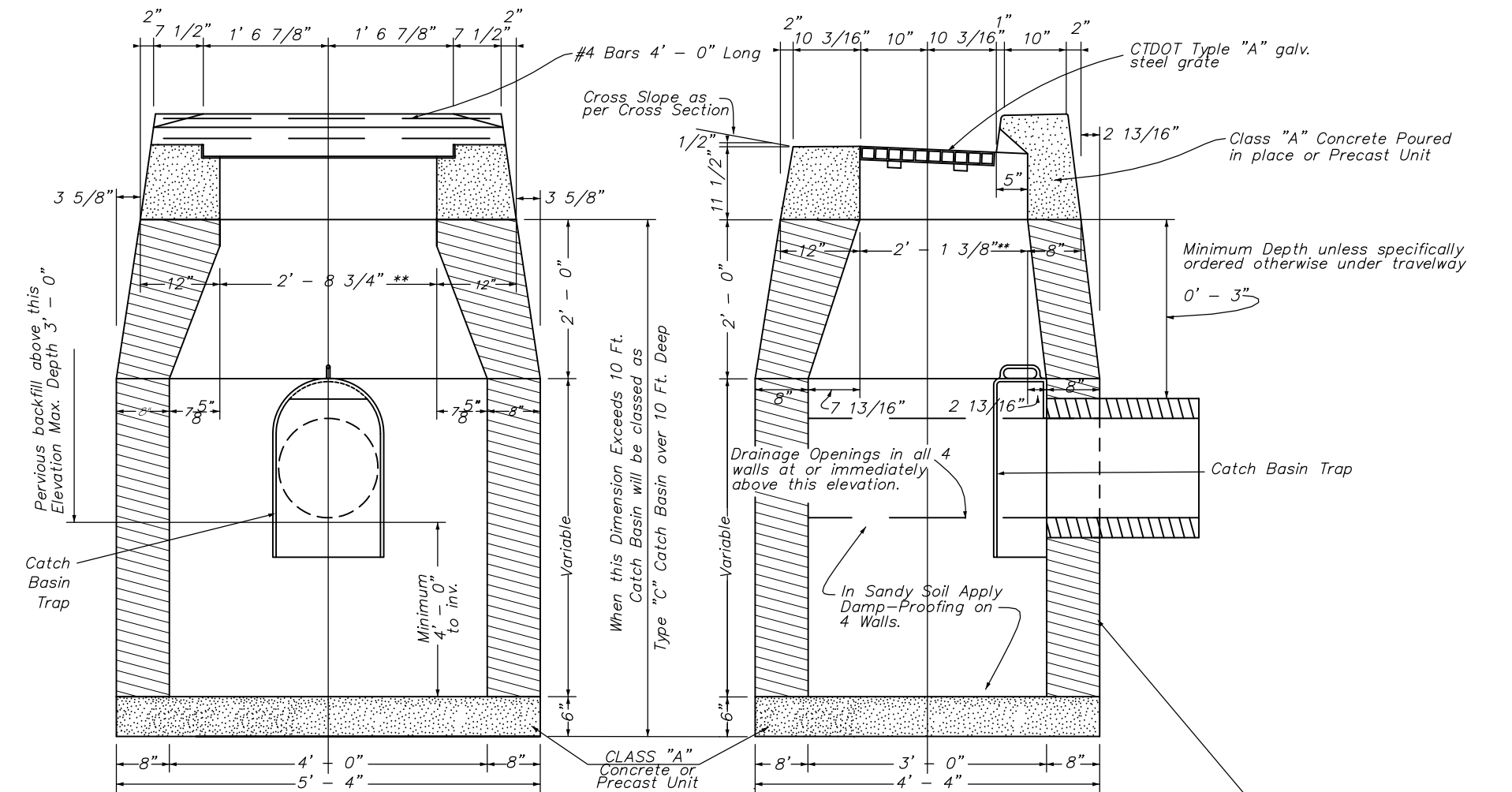
ACCESSIBLE RAMP DETAILS



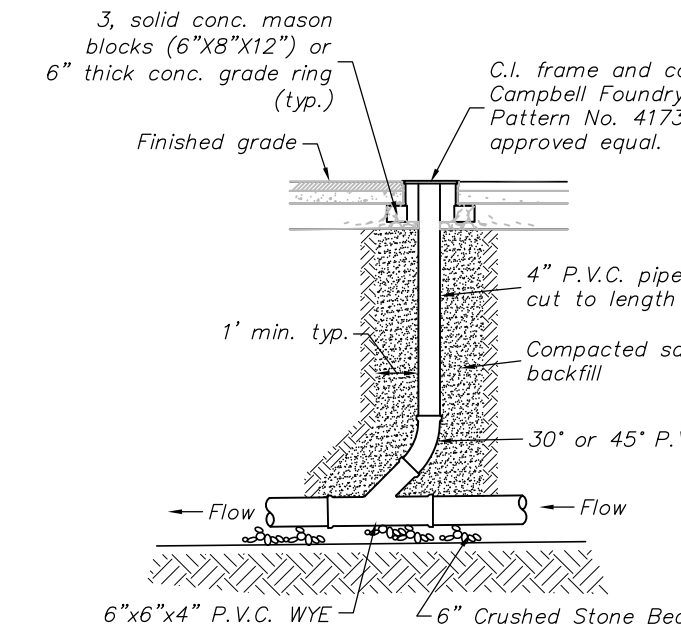
HDP STORM DRAIN TRENCH
N.T.S.



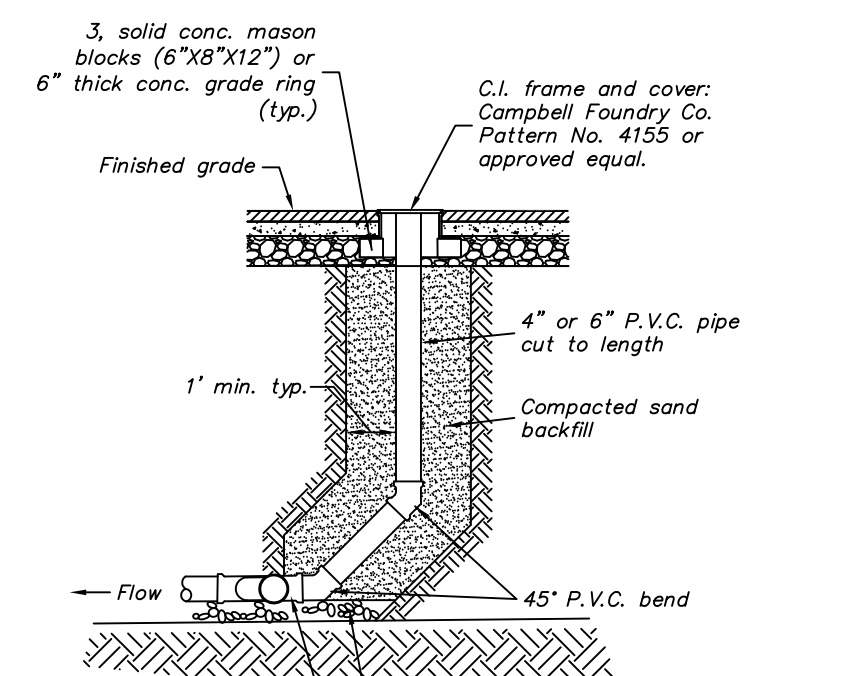
YARD DRAIN
N.T.S.



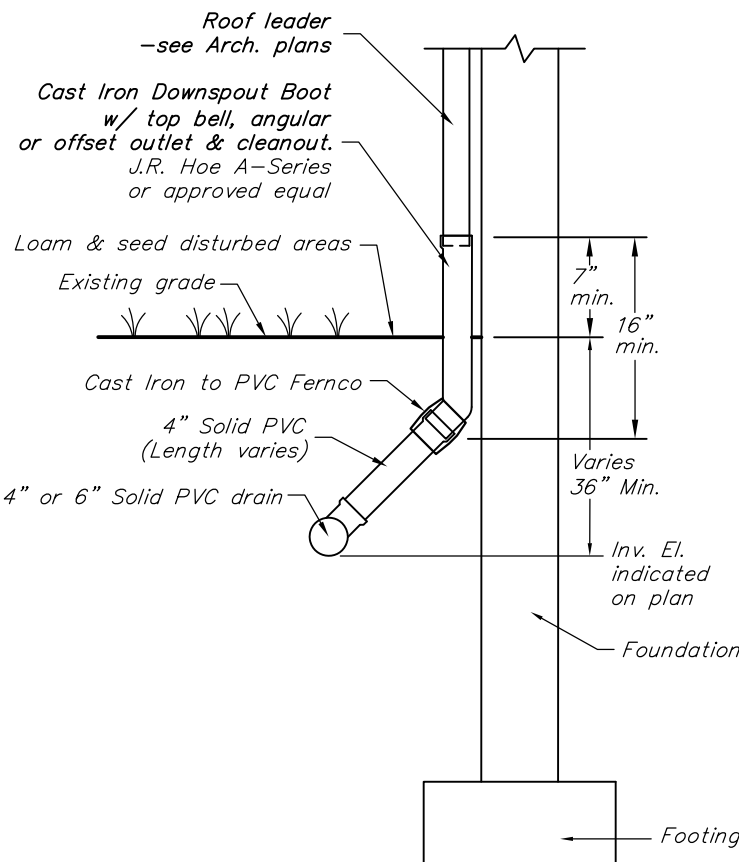
CATCH BASIN DETAIL
N.T.S.



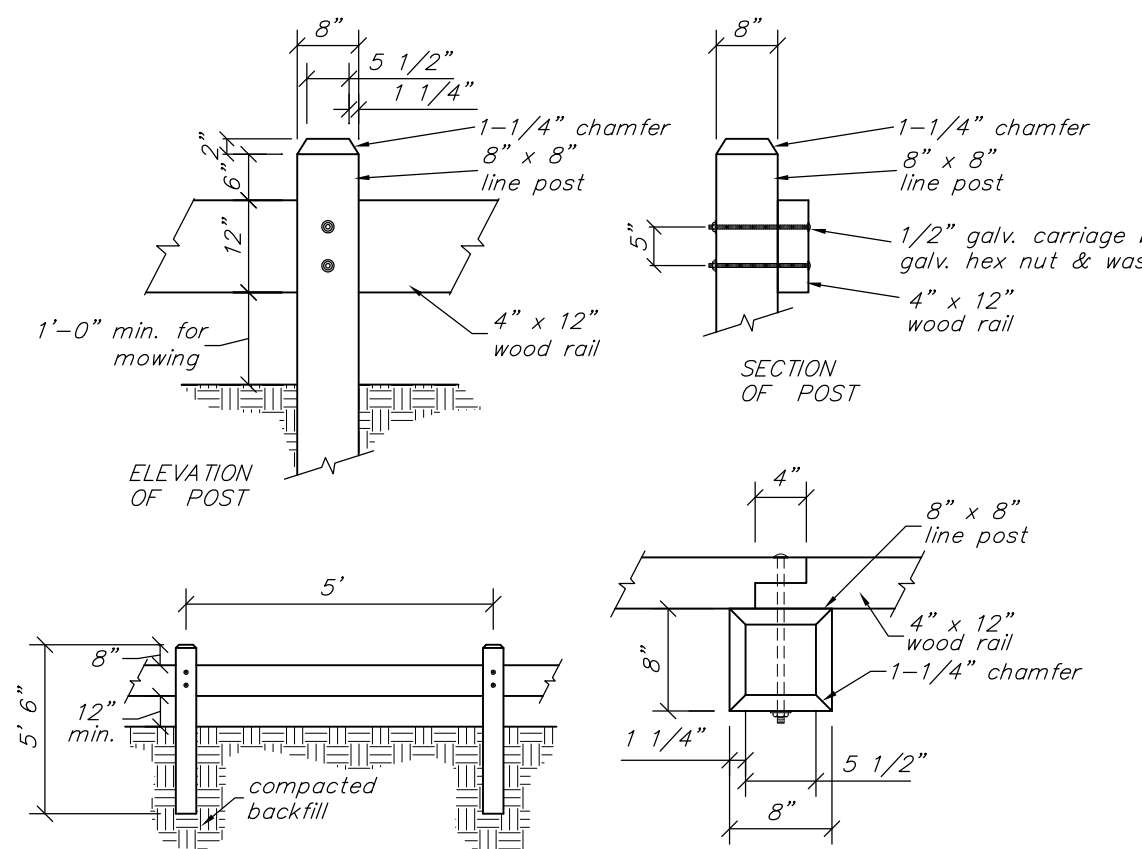
SANITARY SEWER CLEANOUT DETAIL
N.T.S.



ANGLE-POINT SANITARY SEWER CLEANOUT DETAIL
N.T.S.



C.I. ROOF DRAIN
CONNECTION DETAIL
N.T.S.



WOODEN GUIDE RAIL
N.T.S.

Approved by the Montville Planning & Zoning Commission on _____
By: Chairman, Vice Chairman, Secretary _____
Date: _____
Expiration Date: _____
Approval of this site plan by the Commission shall mean certification of the erosion and sediment control plan.

REVISIONS		
NO.	DESCRIPTION	DATE
1	Town Review	10/23/23
2	Town Review	11/8/23
3	Addendum 1	11/21/23
5	Mech. Slabs, Bid Documents	9/27/24



SILVER / PETRUCELLI + ASSOCIATES
Architects / Engineers / Interior Designers
3190 Whitney Avenue, Hamden, CT 06518-2340
Tel. 203 230 9007 Fax. 203 230 8247
silverpetrucelli.com

DONALD W. SMITH, JR., P.E.
CONSULTING ENGINEER
56 GREENWOOD CIRCLE SEYMOUR, CT 06483
Tel. 203-888-4904 Fax 203-881-3434 dwsjrpe@sbcbglobal.net

DETAILS		Job No. 22-24
MONTVILLE ANIMAL SHELTER		Scale: As Noted
225 MAPLE AVENUE PARCEL I.D. 077-041-000 MONTVILLE, CONNECTICUT		Date: 10/2/23 Designed: D.W.S. Drawn: K.D.K. Sheet: C400

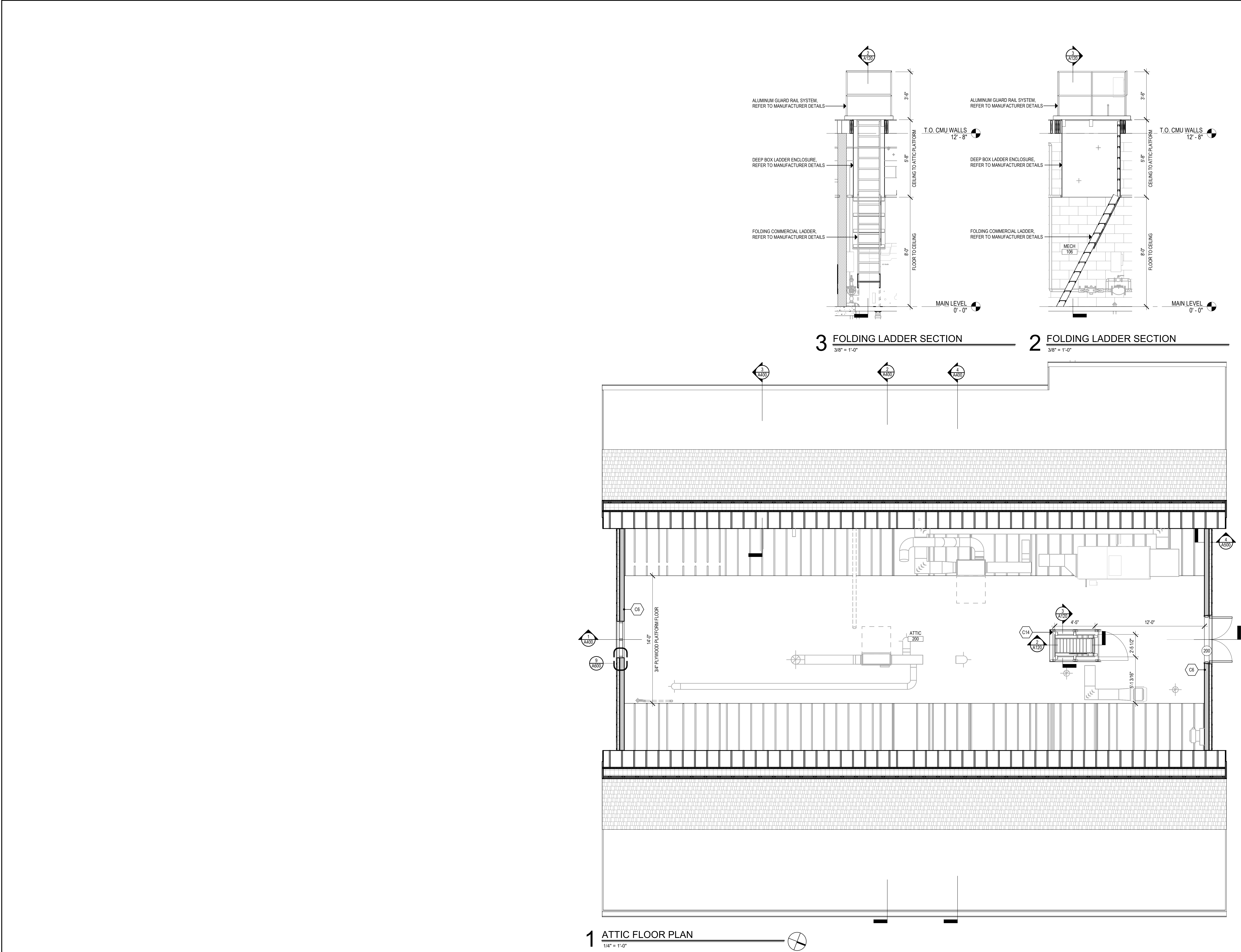


GENERAL NOTES

1. READ ALL GENERAL NOTES ON DRAWING G000.
2. CONTRACTORS SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS,
3. PATCH TO MATCH ALL EXISTING WALLS AND CEILINGS TO REMAIN
4. AFFECTED BY NEW WORK.
5. ALL DIMENSIONS ARE TO OUTSIDE FACE OF BRICK, CONCRETE,
6. MASONRY UNITS AND FINISH FACE OF WALL OTHERWISE NOTED.
7. ALL NEW WALL AND PARTITION ASSEMBLIES SHALL EXTEND TO
8. UNDERSIDE OF DECK UNLESS OTHERWISE NOTED.
9. PROVIDE CMU WITH PRE-MANUFACTURED BULLNOSE AT ALL EXPOSED
10. CORNERS.
11. WHERE THE WORD "ALIGN" IS INDICATED IT SHALL MEAN TO ALIGN BOTH
12. SIDES OF WALL.

CONSTRUCTION NOTES

- | | |
|-----|---|
| C1 | PROVIDE ROOM-DARKENING HORIZONTAL BLIND SYSTEM FOR EACH HALF OF WINDOW ASSEMBLY. SEE PROJECT MANUAL. |
| C2 | PROVIDE FIRE EXTINGUISHERS AND SEMI-RECESSED CABINET. SET BOTTOM OF FIRE EXTINGUISHER 36" AFF. SEE PROJECT MANUAL. |
| C3 | PROVIDE CABINETS, CASKWORK, COUNTERS AND FIXTURES. SEE INTERIOR ELEVATIONS. SEE ALSO PROJECT MANUAL. |
| C4 | PROVIDE SHELVES WITH REQUIRED BRACKETS AND ASSOCIATED HARDWARE. SEE INTERIOR ELEVATIONS. SEE ALSO PROJECT MANUAL. |
| C5 | PROVIDE "HIGH-LOW" DOUBLE WATER COOLER UNIT WITH BOTTLE FILLER AT LOW ONE. SEE ALSO MEP DRAWINGS. |
| C6 | PROVIDE FIRE EXTINGUISHER MOUNTING SURFACE MOUNTED TO STUD. SET BOTTOM OF FIRE EXTINGUISHER 36" AFF. SEE PROJECT MANUAL. |
| C7 | PROVIDE COMMERCIAL ATTIC LADDER WITH BOX ENCLOSURE BETWEEN CEILING AND ATTIC PLUMBING. SEE PROJECT MANUAL. |
| C8 | PROVIDE MASON, SAINI-KENNEL, STAINLESS STEEL GATE AND PANELS |
| C10 | PROVIDE 1/8" X 3/8" SFI 304 STAINLESS STEEL DOOR WITH GULLOTINE STYLE LATCHING. SEE PROJECT MANUAL. |
| C11 | LAUNDRY MACHINE AND DRYER, PROVIDED BY OWNER. |
| C12 | CAT CONDO WITH ATTACHED LITTER BOX ROOM. PROVIDED BY OWNER. |
| C13 | PROVIDE DRAIN, SEE CIVIL DRAWING FOR LOCATION. |
| C14 | GATE CONDO WITH ATTACHED LITTER LADDER. SEE PROJECT MANUAL. |
| C15 | FROM DOWN ARROW, SLOPE SLAB TOWARDS TRENCH DRAIN @ 1/4" PER 12" |
| C16 | MEP EQUIPMENT ON EXTERIOR SLABS. REFERS TO CIVIL AND MEP DRAWINGS |
| C17 | METAL BOX GUTTER AND DOWN SPOUT. CONNECT DOWNPOURT INTO EXISTING DRAINAGE. SEE CIVIL DRAWING FOR LOCATION. |
| C18 | PROVIDE ADDITIONAL LAYER OF 5/8" GYPSUM WALL BOARD AT SPECIFIED WALL LOCATION. ADDITIONAL LAYER IS REQUIRED TO PROVIDE FLUSH SURFACE BETWEEN EXTERIOR WALLS |
| C19 | PROVIDE EXTERIOR GLASS ENCLOSURE 6' HIGH 11 1/2" MAXIMUM WIRE MESH 1/4" GAUGE. MOUNT SEE CIVIL DRAWINGS |
| C20 | 8" CMU WALL BUILT UP TO 14" PROVIDE MORTAR MESH AND FILL TOP COURSE WITH 1/2" SAND AND 1/4" GRAVEL. PROVIDE 1/2" DRAINAGE. USE BLOCK CAVITIES AS CHASE FOR GROUT DRAINING SYSTEM. |
| C21 | ALTERNATE: PROVIDE STAINLESS STEEL DOOR GRADING SYSTEM. |



SYMBOL LEGEND	
	- NEW METAL STUD PARTITIONS
	- NEW MASONRY WALL
	- NEW CMU WALL
	- DOOR NUMBER
	- WINDOW TYPE
	- ROOM NAME - ROOM NUMBER
	- PARTITION TYPE
	- CONSTRUCTION NOTE
	- EXTERIOR ELEVATION NUMBER - SHEET NUMBER
	- INTERIOR ELEVATION NUMBER - SHEET NUMBER
	- BUILDING SECTION NUMBER - SHEET NUMBER
	- WALL SECTION NUMBER - SHEET NUMBER
	- FIRE EXTINGUISHER CABINET
	- FLOOR DRAIN - SLOPE TO DRAIN
	- HANDICAPPED DRINKING FOUNTAIN

- GENERAL NOTES**
1. READ ALL GENERAL NOTES ON DRAWING G500.
 2. CONTRACTORS SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS. PATCH TO MATCH ALL EXISTING WALLS AND CEILINGS TO REMAIN AFFECTED BY NEW WORK.
 3. ALL DIMENSIONS ARE TO OUTSIDE FACE OF BRICK, CONCRETE, MASONRY UNITS AND FINISH FACE OF WALL OTHERWISE NOTED.
 4. ALL NEW WALL AND PARTITION ASSEMBLIES SHALL EXTEND TO UNDERSIDE OF DECK UNLESS OTHERWISE NOTED.
 5. PROVIDE CMU WITH PRE-MANUFACTURED BULLNOSE AT ALL EXPOSED CORNERS.
 6. WHERE THE WORD "ALIGN" IS INDICATED IT SHALL MEAN TO ALIGN BOTH SIDES OF WALL.

- CONSTRUCTION NOTES**
- | | |
|-----|---|
| C1 | PROVIDE ROOM DARKENING HORIZONTAL BLIND SYSTEM FOR EACH HALF OF WINDOW ASSEMBLY. SEE PROJECT MANUAL. |
| C2 | PROVIDE FIRE EXTINGUISHER AND SEMI-RECESSED CABINET. SET BOTTOM OF CABINET AT 32" A.F.F. SEE PROJECT MANUAL. |
| C3 | PROVIDE CABINETS, CASEWORK, COUNTERS AND FIXTURES. SEE INTERIOR ELEVATIONS. SEE ALSO PROJECT MANUAL. |
| C4 | PROVIDE SHELVES WITH REQUIRED BRACKETS AND ASSOCIATED HARDWARE. SEE INTERIOR ELEVATIONS. SEE ALSO PROJECT MANUAL. |
| C5 | PROVIDE HIGH-LOW DOUBLE WATER COOLER UNIT WITH BOTTLE FILLER AT LOW ONE. SEE ALSO MEP DRAWINGS. |
| C6 | PROVIDE FIRE EXTINGUISHER SURFACE MOUNTED TO STUD. SET BOTTOM OF FIRE EXTINGUISHER 32" A.F.F. SEE PROJECT MANUAL. |
| C8 | PROVIDE COMMERCIAL ATTIC LADDER WITH BOX ENCLOSURE BETWEEN CEILING AND ATTIC PLATFORM. SEE PROJECT MANUAL. |
| C9 | PROVIDE MASON - SANK-KENNEL STAINLESS STEER GATE AND PANELS. |
| C10 | PROVIDE 13 3/8" X 31 3/8" SALOON STYLE DOG DOOR WITH GUILLOTINE STYLE CLOSE-OFF. SEE PROJECT MANUAL. |
| C11 | LAUNDRY MACHINE AND DRYER, PROVIDED BY OWNER. |
| C12 | CAT CONDO WITH ATTACHED LITTER BOX ROOM, PROVIDED BY OWNER. |
| C13 | TRENCH DRAIN. SEE PLUMBING DRAWINGS. |
| C14 | PROVIDE GATED HANDRAIL FOR ATTIC LADDER. SEE PROJECT MANUAL. |
| C15 | FROM DOWN ARROW, SLOPE SLAB TOWARDS TRENCH DRAIN @ 1/4" PER 12". |
| C16 | MEP EQUIPMENT ON EXTERIOR SLABS, REFER TO CIVIL AND MEP DRAWINGS. |
| C17 | METAL BOX GUTTER AND DOWN SPOUT. CONNECT DOWNSPOUT INTO UNDERGROUND DRAINAGE VIA CAST IRON BOOT. SEE CIVIL DRAWINGS. |
| C18 | PROVIDE ADDITIONAL LAYER OF 5/8" GYPSUM WALL BOARD AT SPECIFIED WALL LOCATION. ADDITIONAL LAYER IS REQUIRED TO PROVIDE FLUSH SURFACE BETWEEN GYPSUM WALLS. |
| C19 | PROVIDE EXTERIOR GALV. CHAIN LINK FENCE ENCLOSURE, 6' HIGH, 1 1/2" MAXIMUM WIRE MESH, 11 GAUGE MINIMUM. SEE CIVIL DRAWINGS. |
| C20 | 8" CMU WALL BUILT UP TO 4". PROVIDE MORTAR MESH AND FILL TOP COURSE SOLID. GRIND TOP EDGE IN FIELD TO MATCH BULLNOSE. USE BLOCK CAVITIES AS CHASE FOR DOG GROOMING STATION. |
| C21 | ALTERNATE: PROVIDE STAINLESS STEEL DOG GROOMING STATION. |

Project Title:
NEW ANIMAL FACILITY AT:
MONTVILLE ANIMAL SHELTER
225 Maple Ave. Parcel ID: 077-041-000
Montville, CT

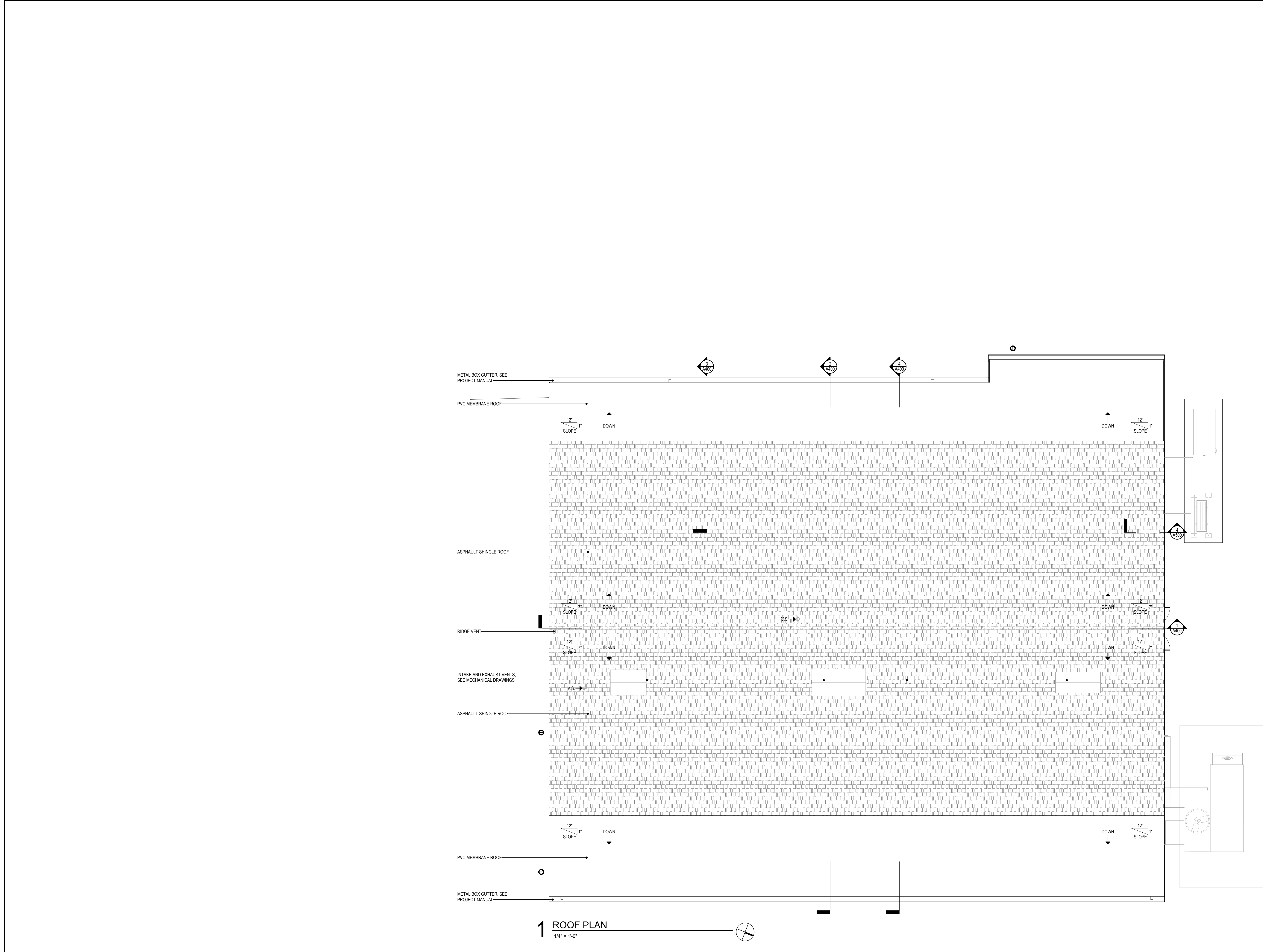


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Revision:	Description:	Date:	Revised By:
	ISSUED FOR BID	09/27/2024	

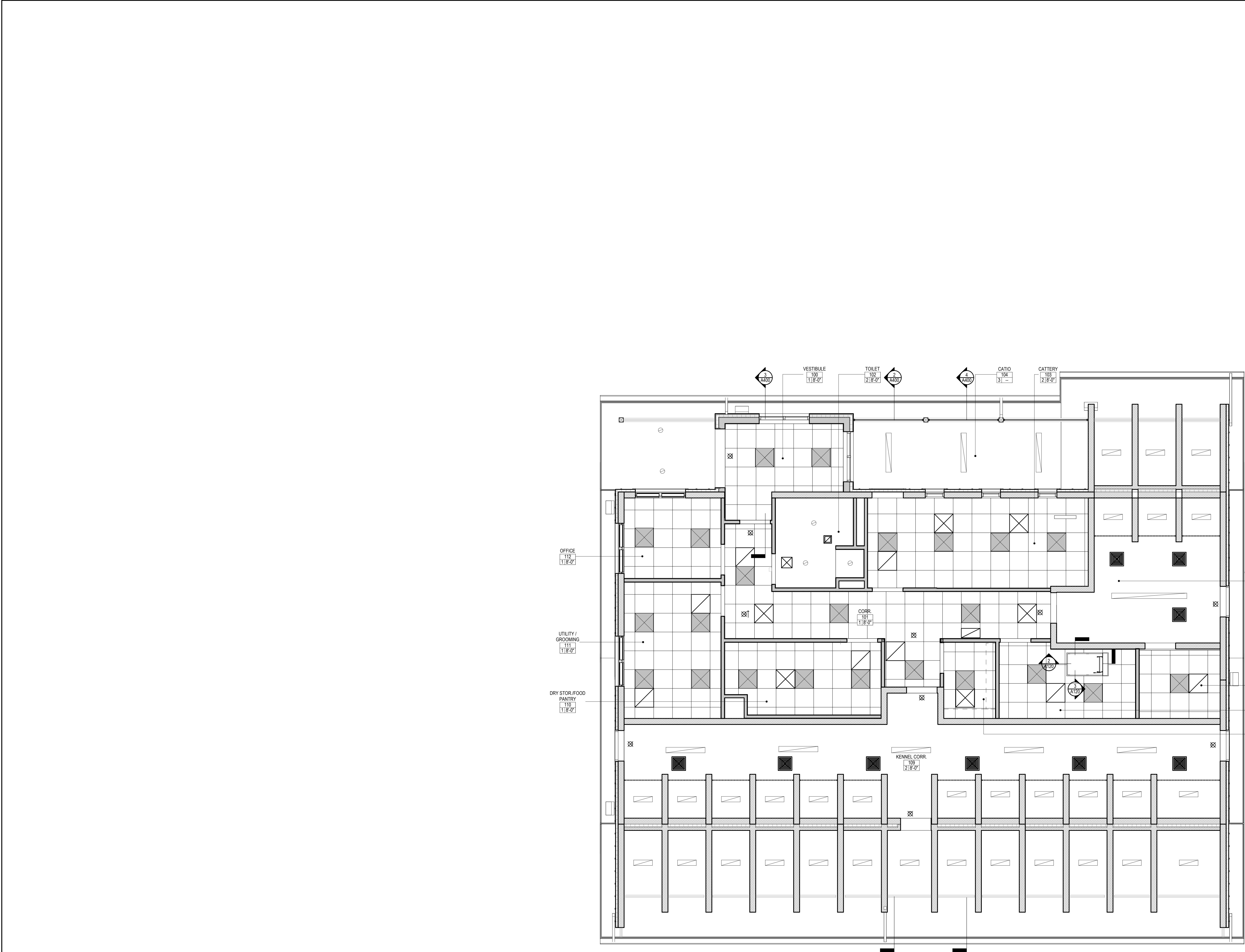
Drawing Title:
ATTIC PLAN

Date: 09/27/2024
Scale: As Indicated
Drawn By: MES
Project Number: 22.130
Drawing Number: A120



SYMBOL LEGEND	
	- NEW METAL STUD PARTITIONS
	- NEW MASONRY WALL
	- NEW CMU WALL
	- DOOR NUMBER
	- WINDOW TYPE
	- ROOM NAME - ROOM NUMBER
	- PARTITION TYPE
	- CONSTRUCTION NOTE
	- EXTERIOR ELEVATION NUMBER - SHEET NUMBER
	- INTERIOR ELEVATION NUMBER - SHEET NUMBER
	- BUILDING SECTION NUMBER - SHEET NUMBER
	- WALL SECTION NUMBER - SHEET NUMBER
	- FIRE EXTINGUISHER CABINET
	- FLOOR DRAIN - SLOPE TO DRAIN
	- HANDICAPPED DRINKING FOUNTAIN

- GENERAL NOTES**
1. READ ALL GENERAL NOTES ON DRAWING G000.
 2. CONTRACTORS SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS. PATCH TO MATCH ALL EXISTING WALLS AND CEILINGS TO REMAIN AFFECTED BY NEW WORK.
 3. ALL DIMENSIONS ARE TO OUTSIDE FACE OF BRICK, CONCRETE, MASONRY UNITS AND FINISH FACE OF WALL OTHERWISE NOTED.
 4. ALL NEW WALL AND PARTITION ASSEMBLIES SHALL EXTEND TO UNDERSIDE OF DECK UNLESS OTHERWISE NOTED.
 5. PROVIDE CMU WITH PRE-MANUFACTURED BULLNOSE AT ALL EXPOSED CORNERS.
 6. WHERE THE WORD "ALIGN" IS INDICATED IT SHALL MEAN TO ALIGN BOTH SIDES OF WALL.
 - 7.



1 MAIN LEVEL REFLECTED CEILING PLAN
1/4" = 1'-0"

RCP SYMBOL LEGEND

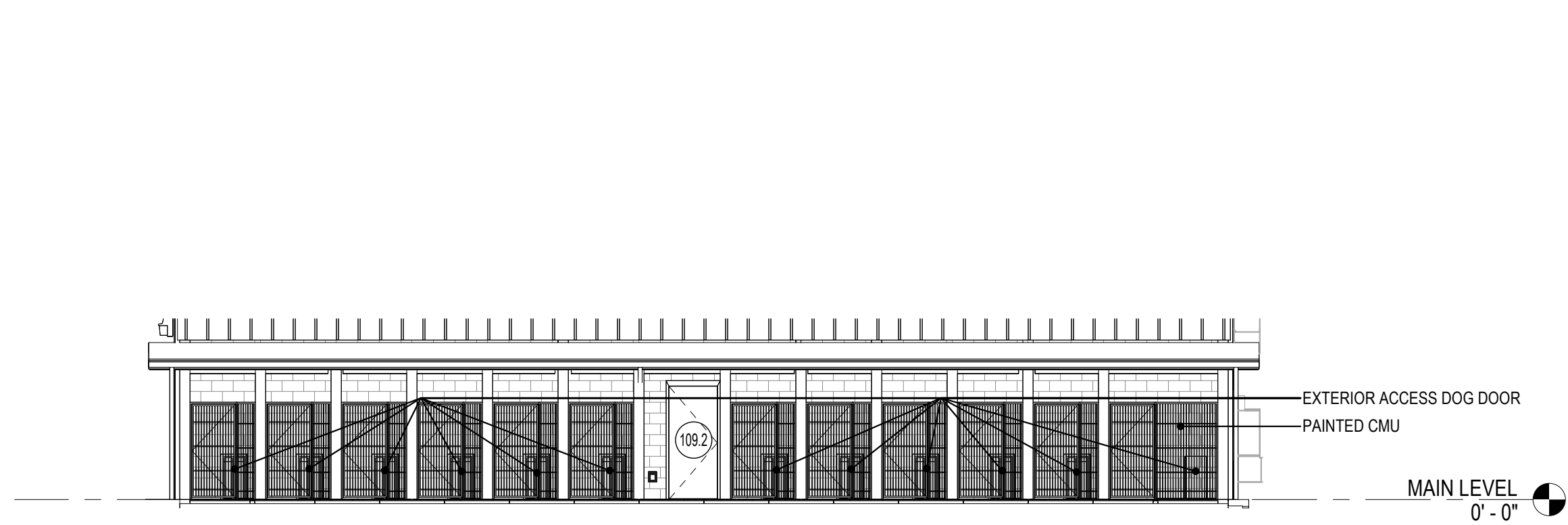
- OFFICE

(10'-0")
 - ROOM NAME
 - ROOM NUMBER
 - CEILING HEIGHT
 - 2' X 2' ACOUSTICAL CEILING TILES & GRID W/ SUPPORTS
 - PAINTED GYPSUM BOARD CEILING
 - EXIT SIGN, REFER TO ELECTRICAL DRAWINGS
 - RECESSED LIGHT FIXTURES, REFER TO ELECTRICAL DRAWINGS
 - 2' X 2' LIGHT FIXTURE, REFER TO ELECTRICAL DRAWINGS
 - PENDENT STYLE LIGHT FIXTURE, REFER TO ELECTRICAL DRAWINGS
 - SUPPLY DIFFUSER, REFER TO MECHANICAL DRAWINGS
 - RETURN DIFFUSER, REFER TO MECHANICAL DRAWINGS
 - CONCEALED SPINKLER HEAD, REFER TO FIRE PROTECTION DRAWINGS
 - EXPOSED SPINKLER HEAD, REFER TO FIRE PROTECTION DRAWINGS
 - CONSTRUCTION NOTE
 - PLAN/SECTION/DETAIL NUMBER
 - SHEET NUMBER

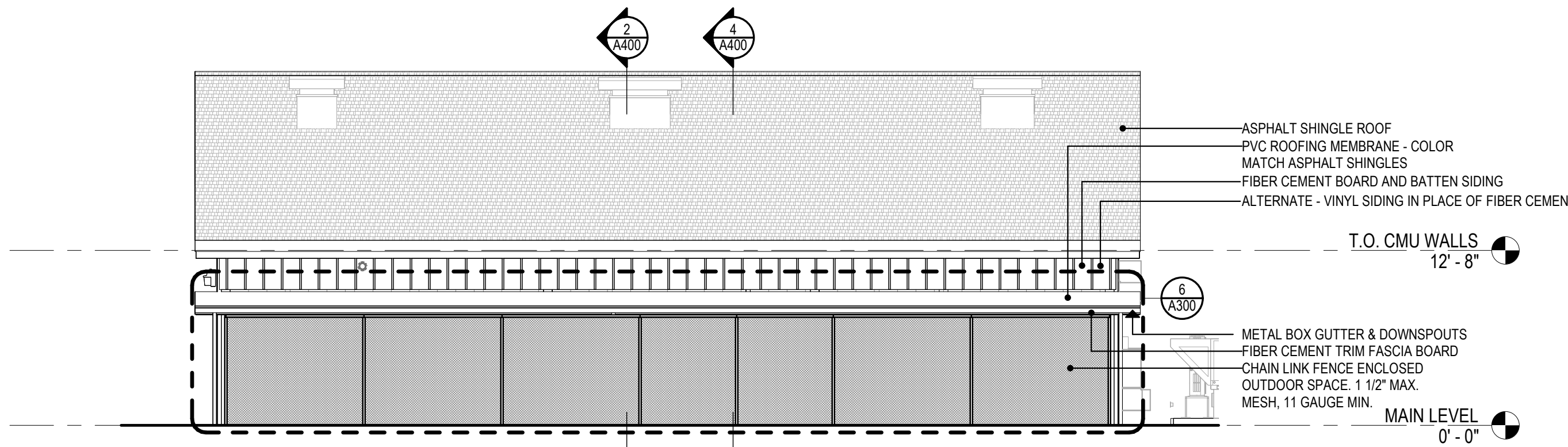
REFLECTED CEILING PLAN NOTES

- ROOM NAME: OFFICE
- ROOM NUMBER: ###
- FINISH TYPE:
 - 1. ACOUSTIC CEILING TILE
 - 2. 1/2" GYPSUM BOARD
 - 3. VENTED SOFFIT PANEL
- FINISH - HEIGHT: #18'-0"

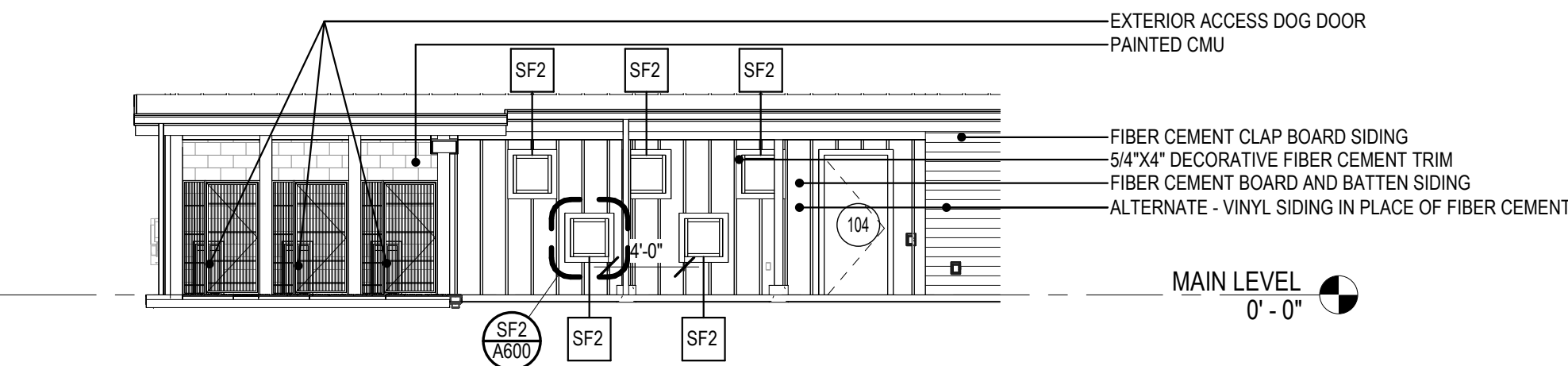
APPROVED BY THE MONTVILLE PLANNING & ZONING COMMISSION ON _____
BY: _____
DATE: _____
CHAIRMAN, VICE CHAIRMAN, SECRETARY
EXPIRATION DATE: _____
APPROVAL OF THIS SITE PLAN BY THE COMMISSION SHALL MEAN CERTIFICATION OF THE EROSION AND
SEDIMENT CONTROL PLAN.



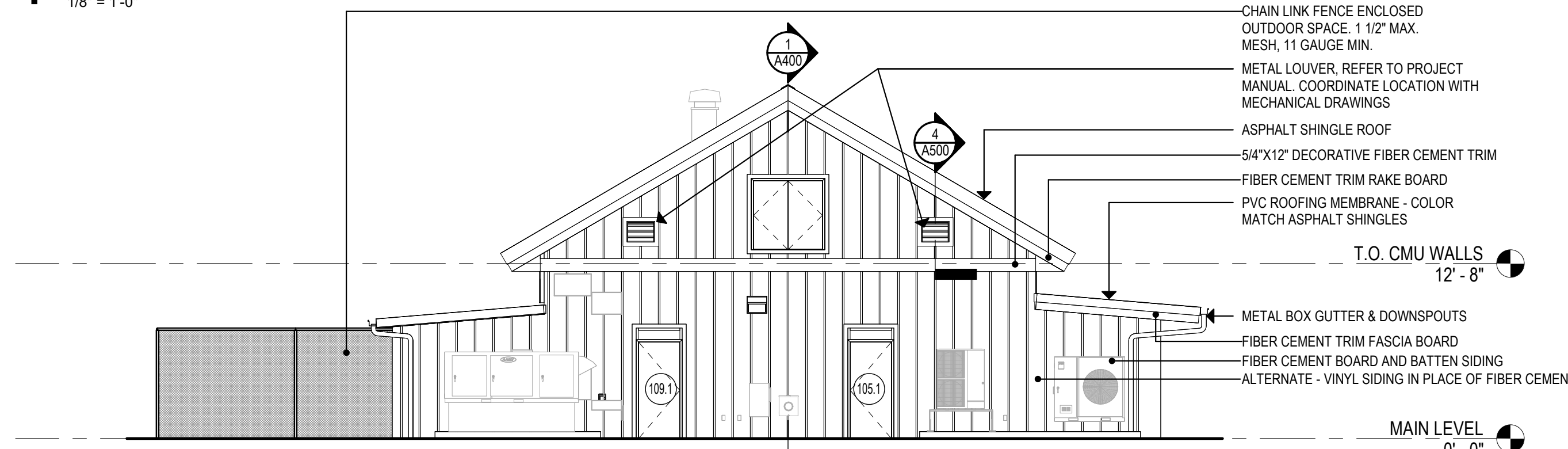
6 EAST WALL ELEVATION
1/8" = 1'-0"



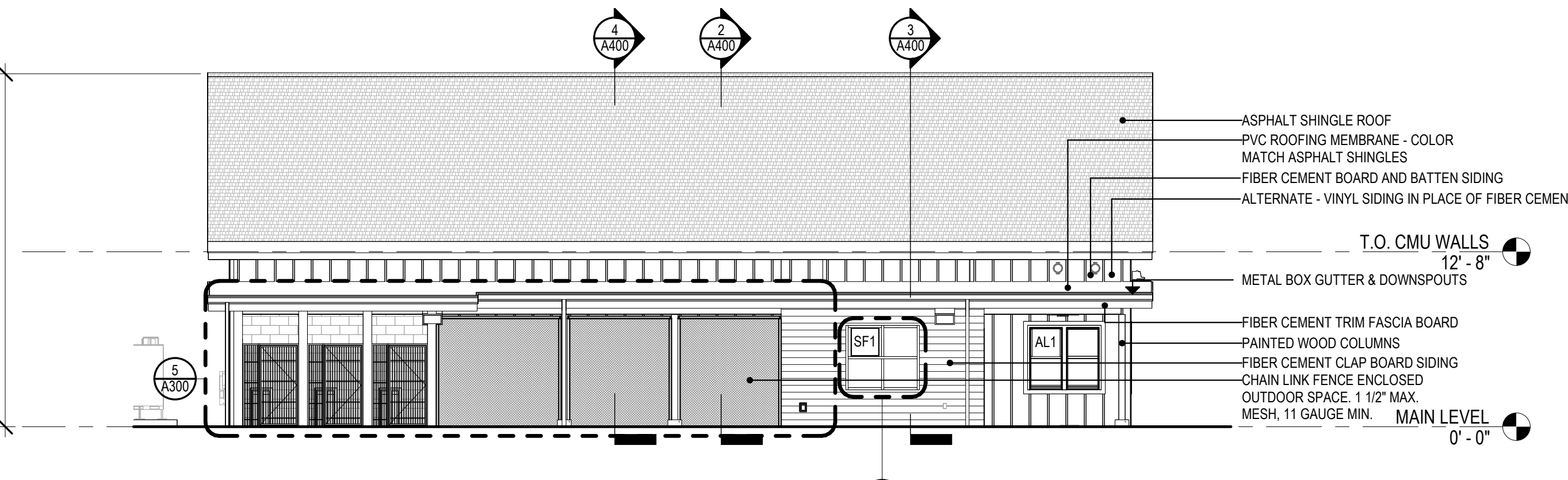
4 EAST ELEVATION
1/8" = 1'-0"



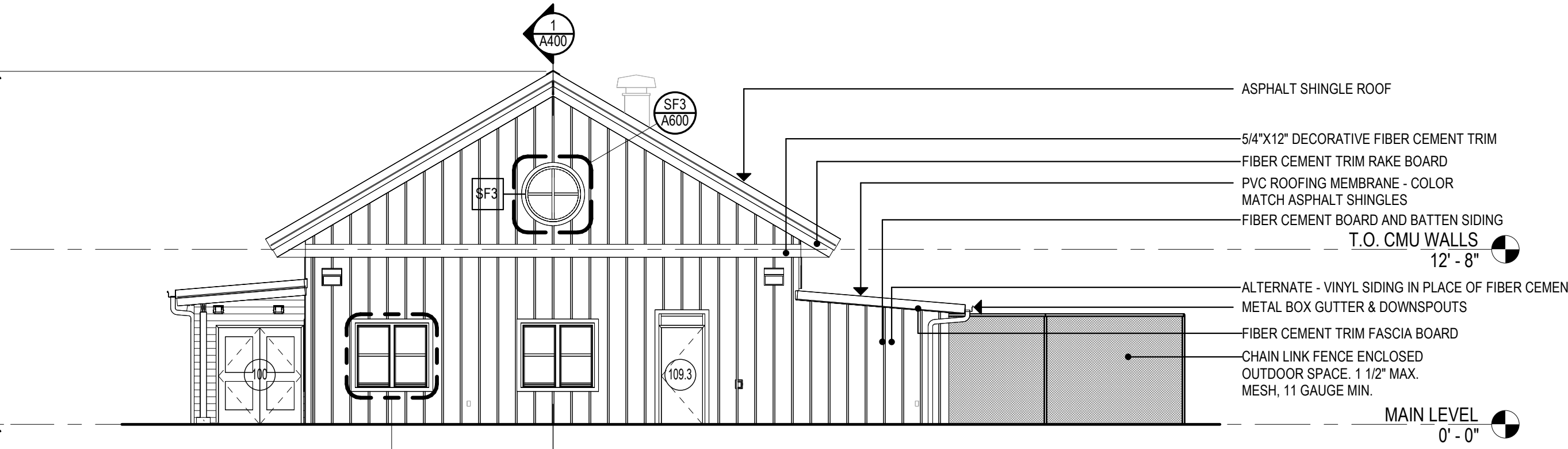
5 WEST WALL ELEVATION
1/8" = 1'-0"



3 NORTH ELEVATION
1/8" = 1'-0"



2 WEST ELEVATION
1/8" = 1'-0"



1 SOUTH ELEVATION
1/8" = 1'-0"

Project Title:
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225 Maple Ave. Parcel ID: 077-041-000
Montville, CT



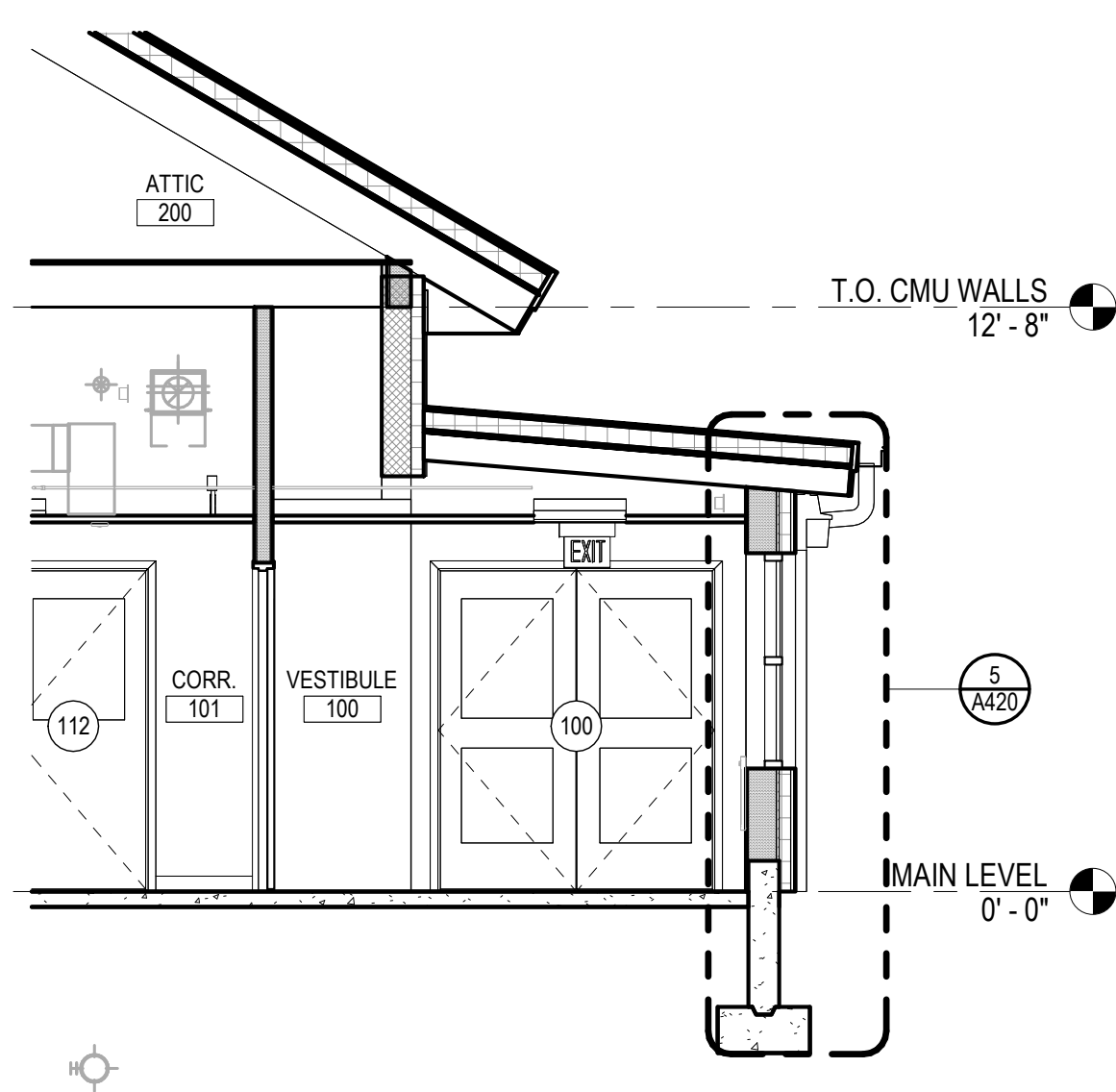
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3190 WHITNEY AVENUE HAMDEN CT 06518
311 STATE STREET NEW LONDON CT 06320
203 230 9007 silverpetrucelli.com

Revision:	Description:	Date:	Revised By:
1	ISSUED FOR BID	09/27/2024	

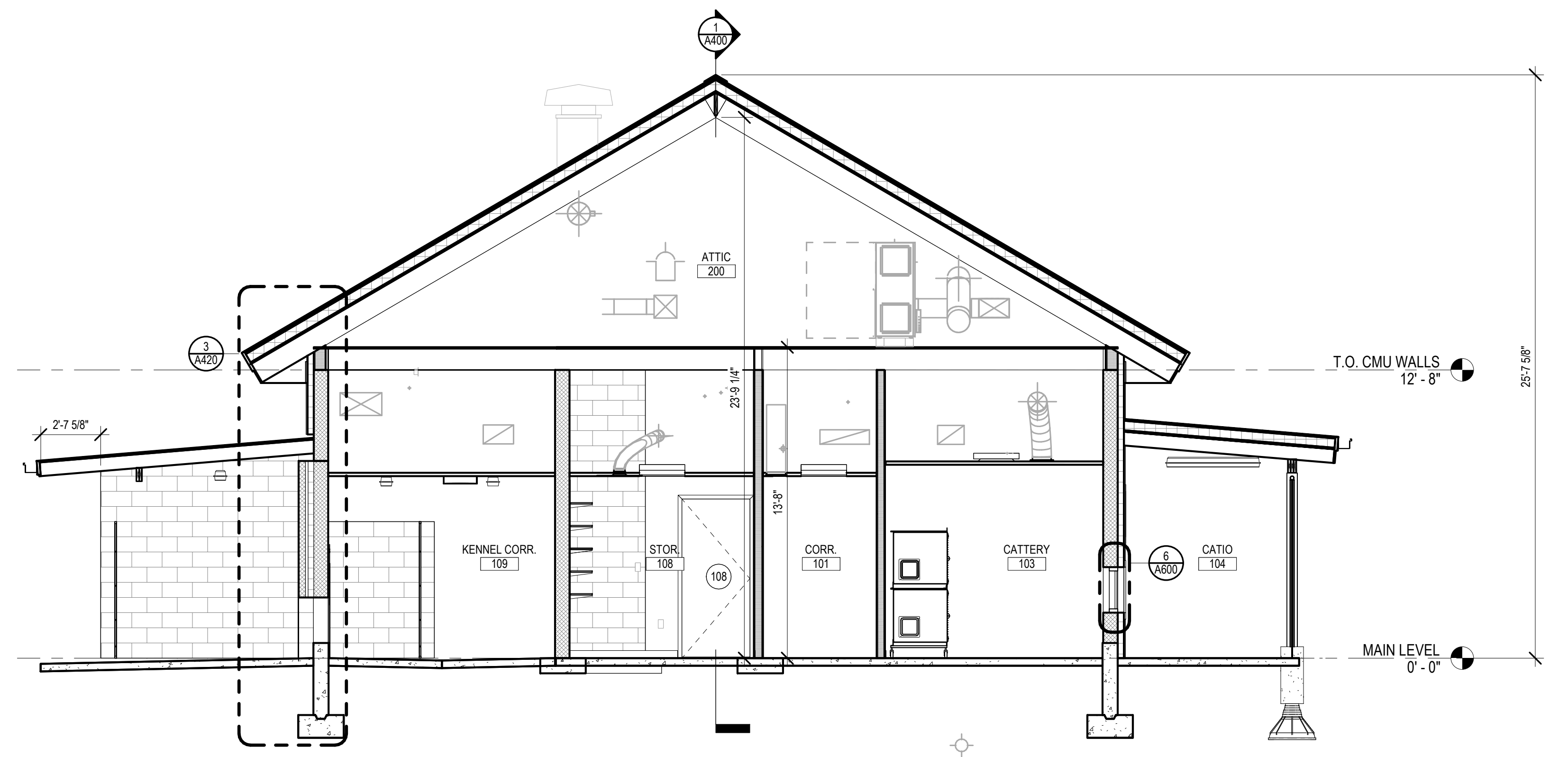
Drawing Title:
EXTERIOR ELEVATIONS

Date: 09/27/2024
Scale: 1/8" = 1'-0"
Drawn By: MES
Project Number: 22.130

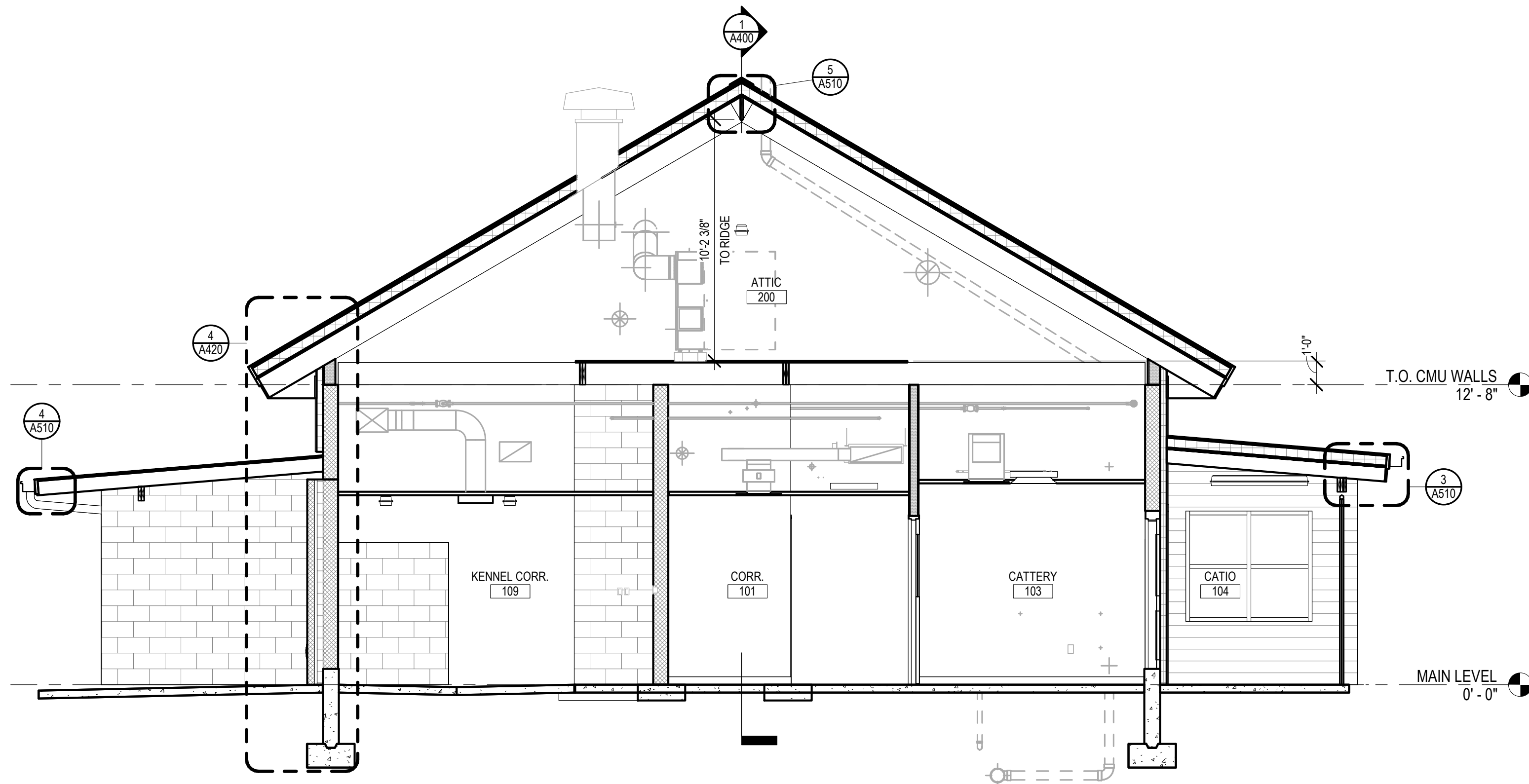
A300



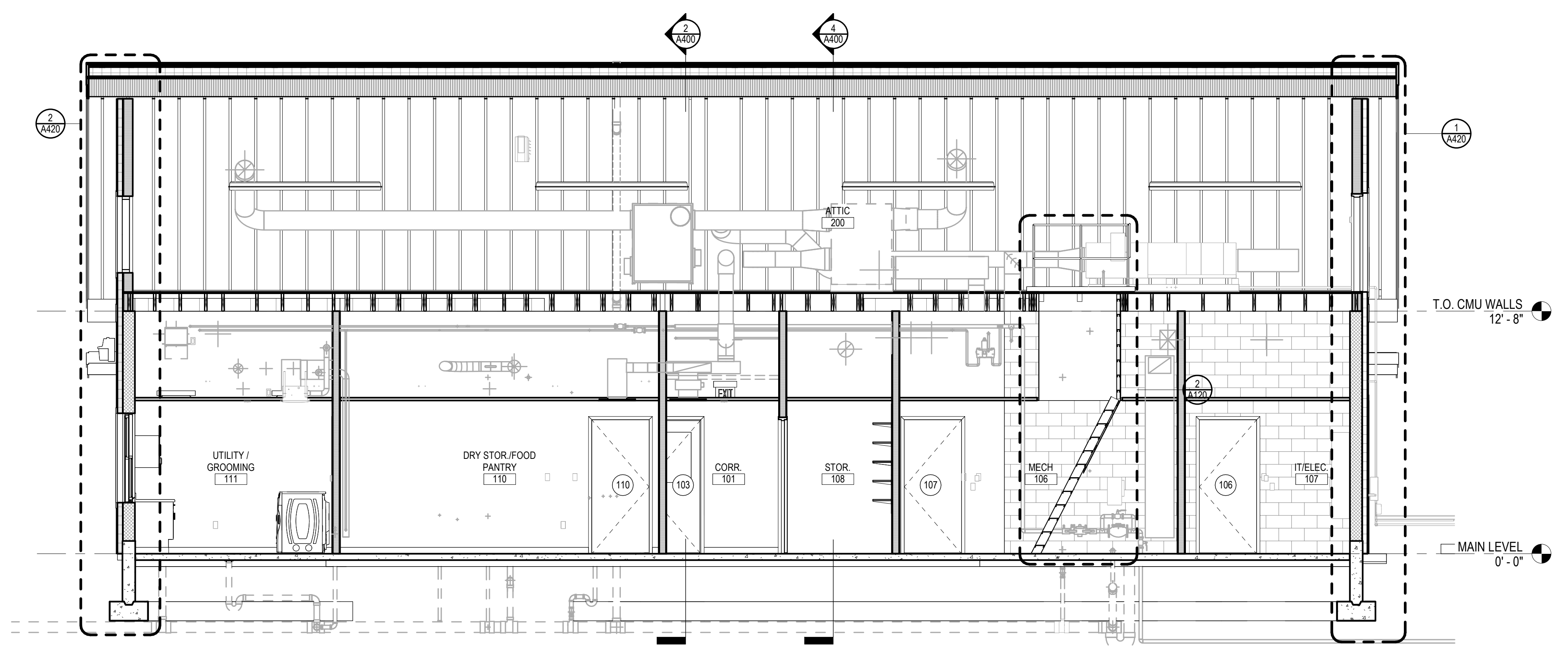
3 BUILDING SECTION
1/4" = 1'-0"



4 BUILDING SECTION
1/4" = 1'-0"



2 BUILDING SECTION
1/4" = 1'-0"



1 BUILDING SECTION
1/4" = 1'-0"

Project Title:
NEW ANIMAL FACILITY AT:
MONTVILLE ANIMAL SHELTER
225 Maple Ave. Parcel ID: 077-041-000
Montville, CT



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Revision:	Description:	Date:	Revised By:
1	ISSUED FOR BID	09/27/2024	

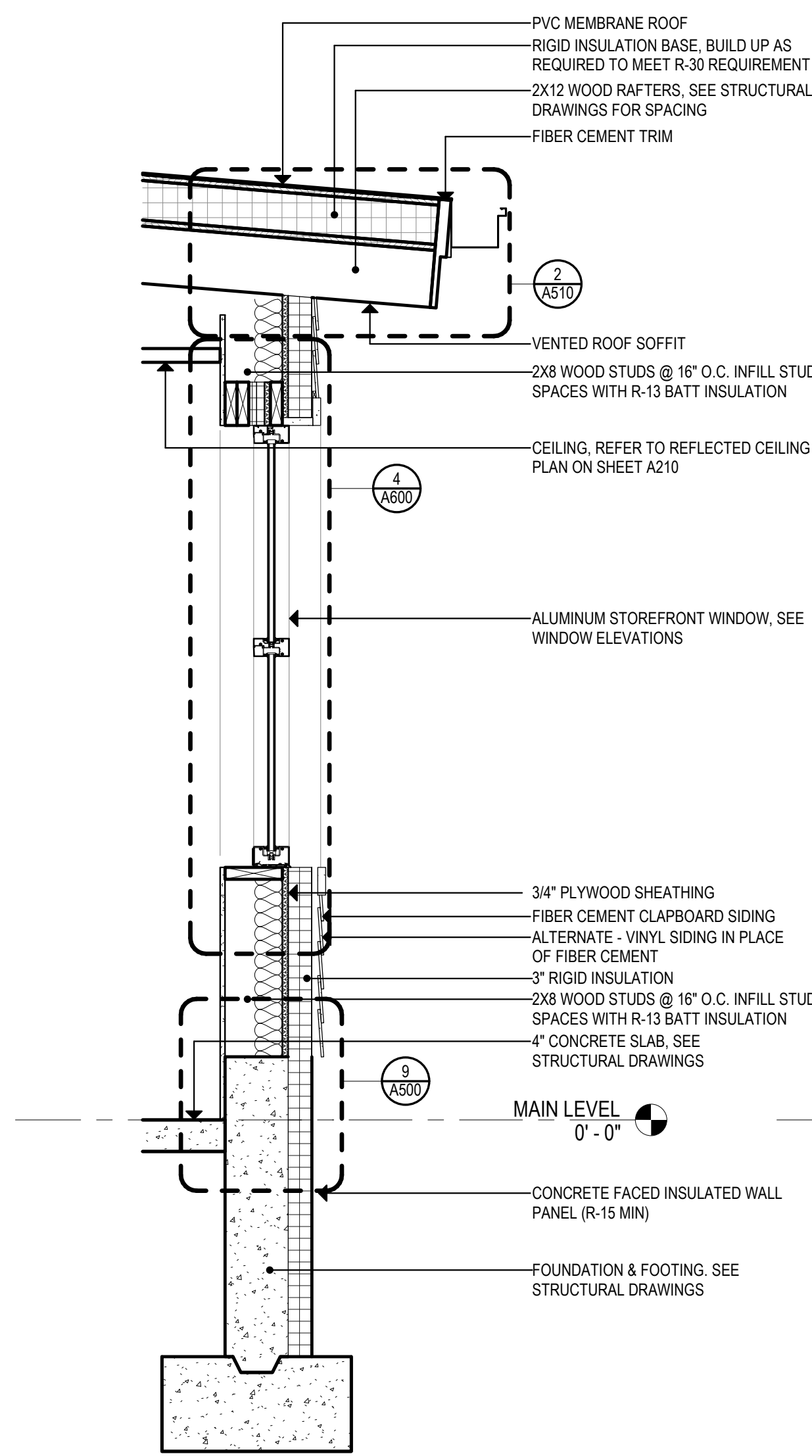
Drawing Title:
BUILDING SECTIONS

Date:
09/27/2024
Scale:
1/4" = 1'-0"
Drawn By:
MES
Project Number:
22.130

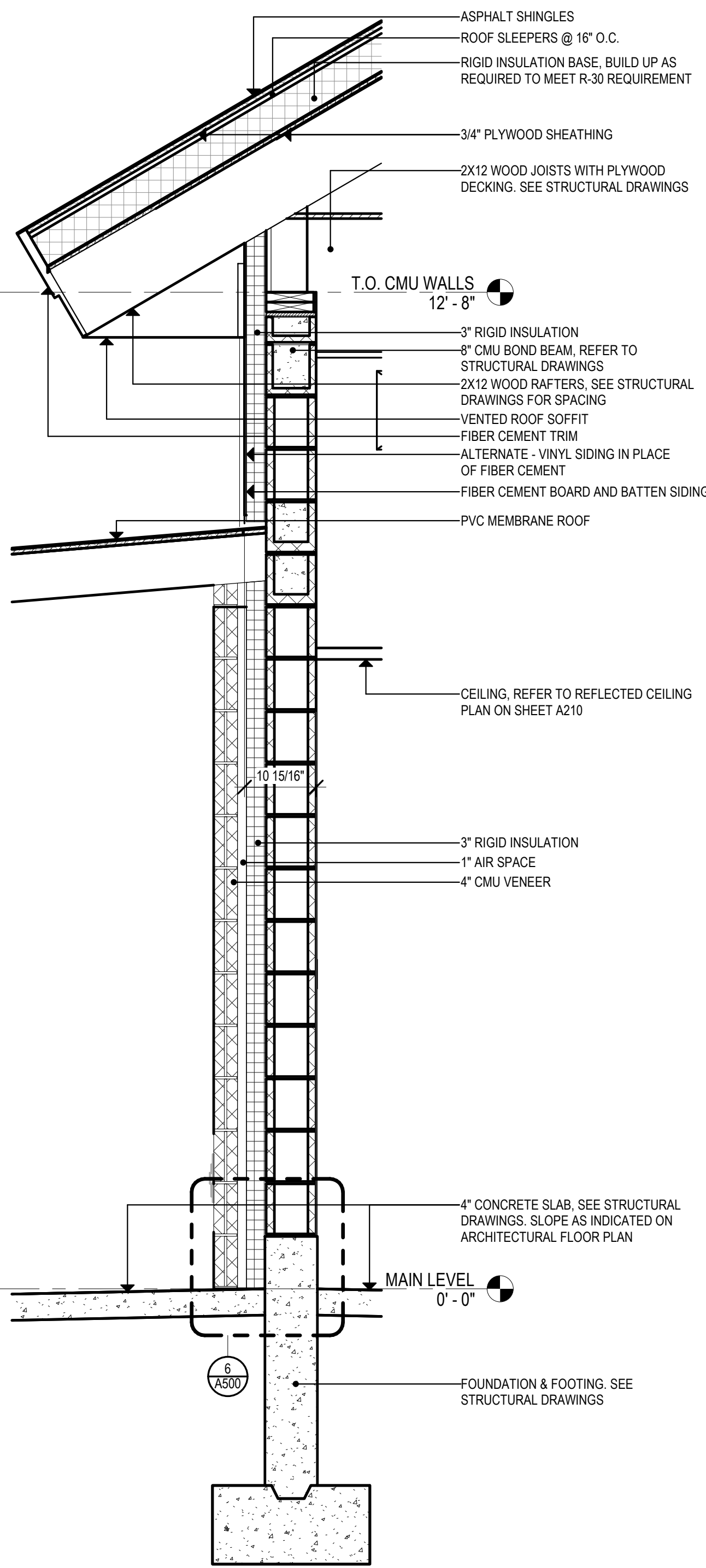
Drawing Number:

A400

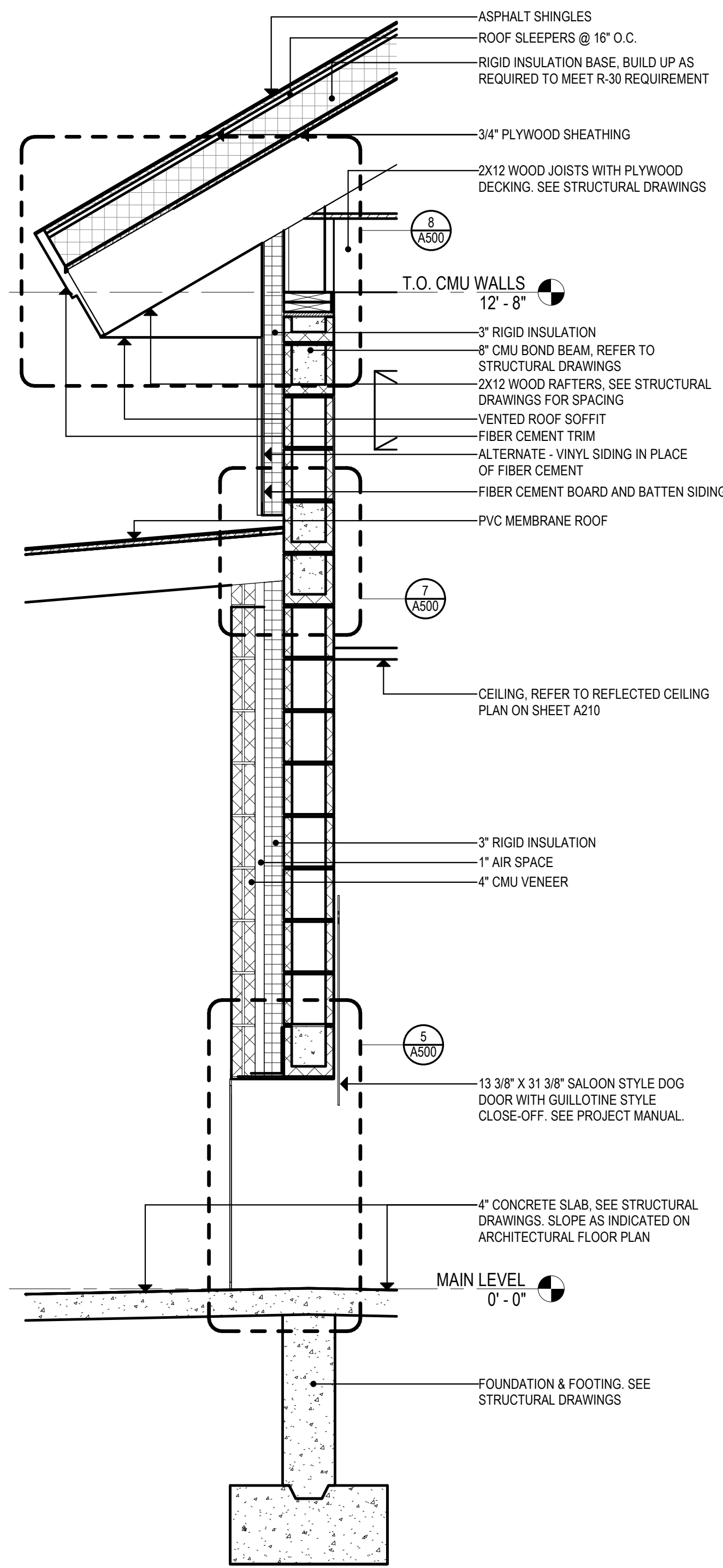
5 WALL SECTION
3/4" = 1'-0"



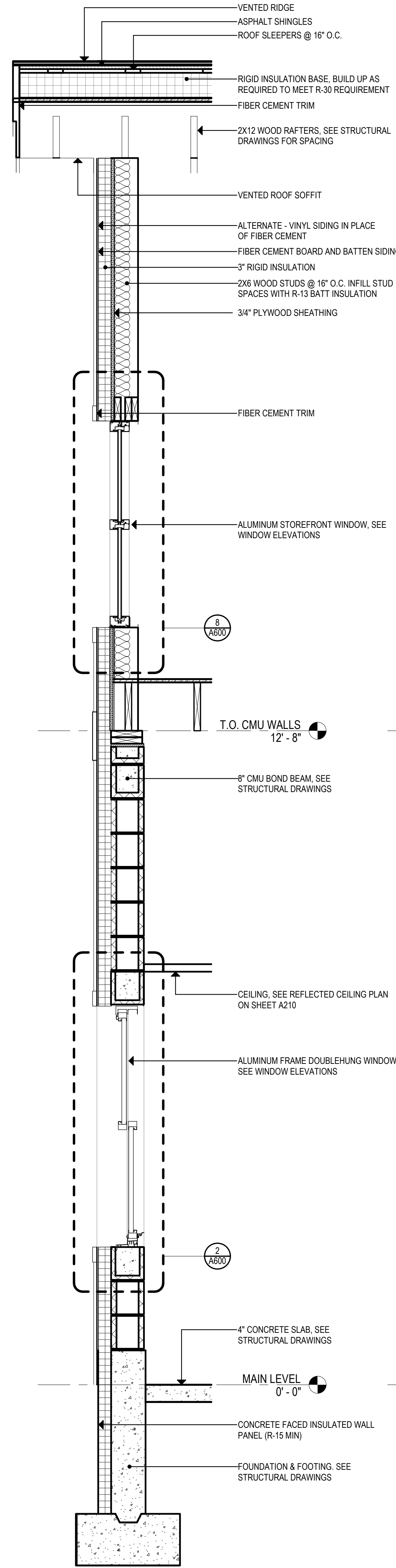
4 WALL SECTION
3/4" = 1'-0"



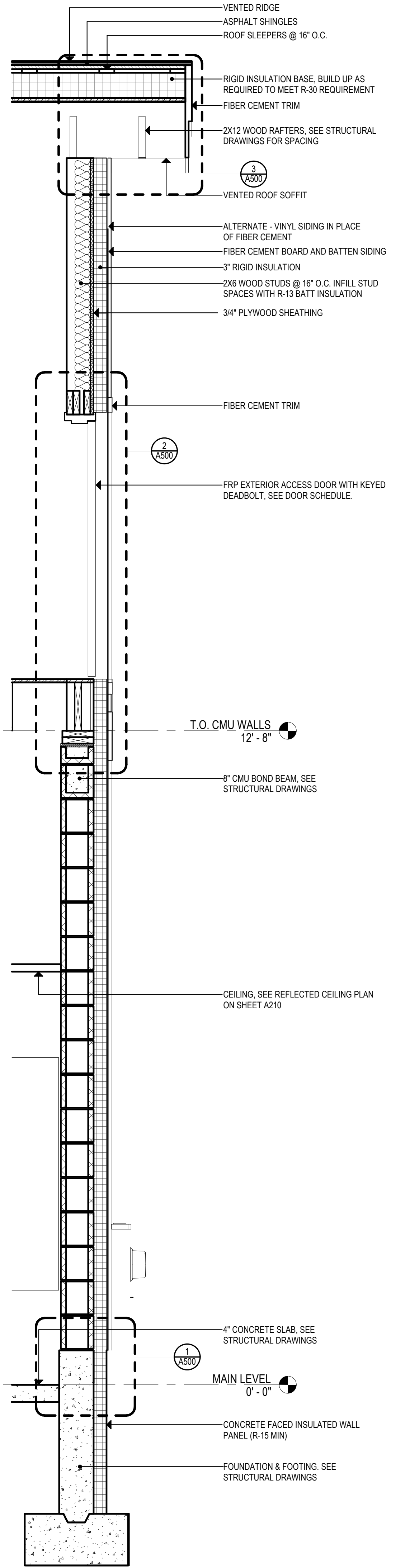
3 WALL SECTION
3/4" = 1'-0"

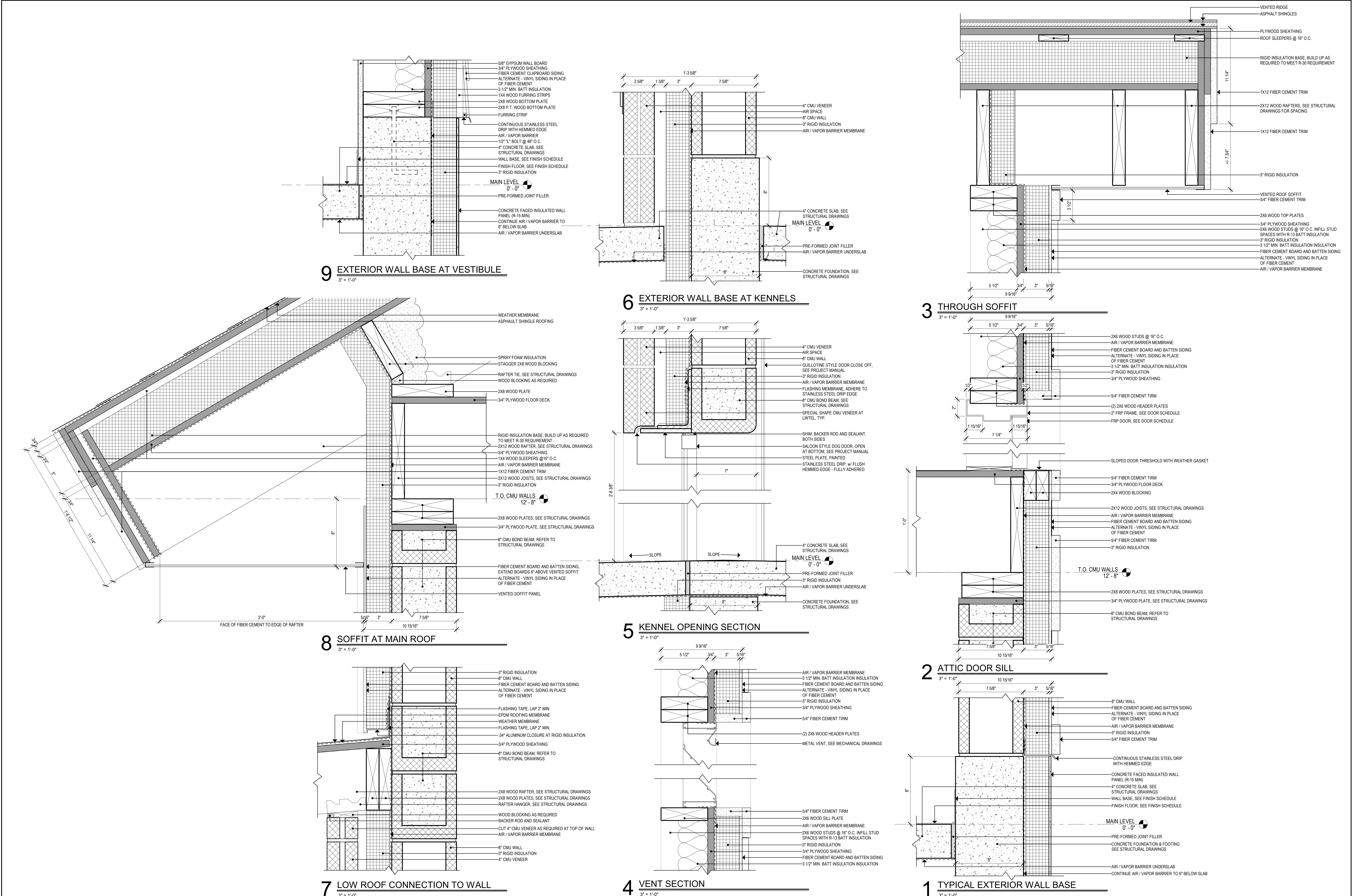


2 WALL SECTION
3/4" = 1'-0"



1 WALL SECTION
3/4" = 1'-0"





Project Title:
NEW ANIMAL FACILITY AT:
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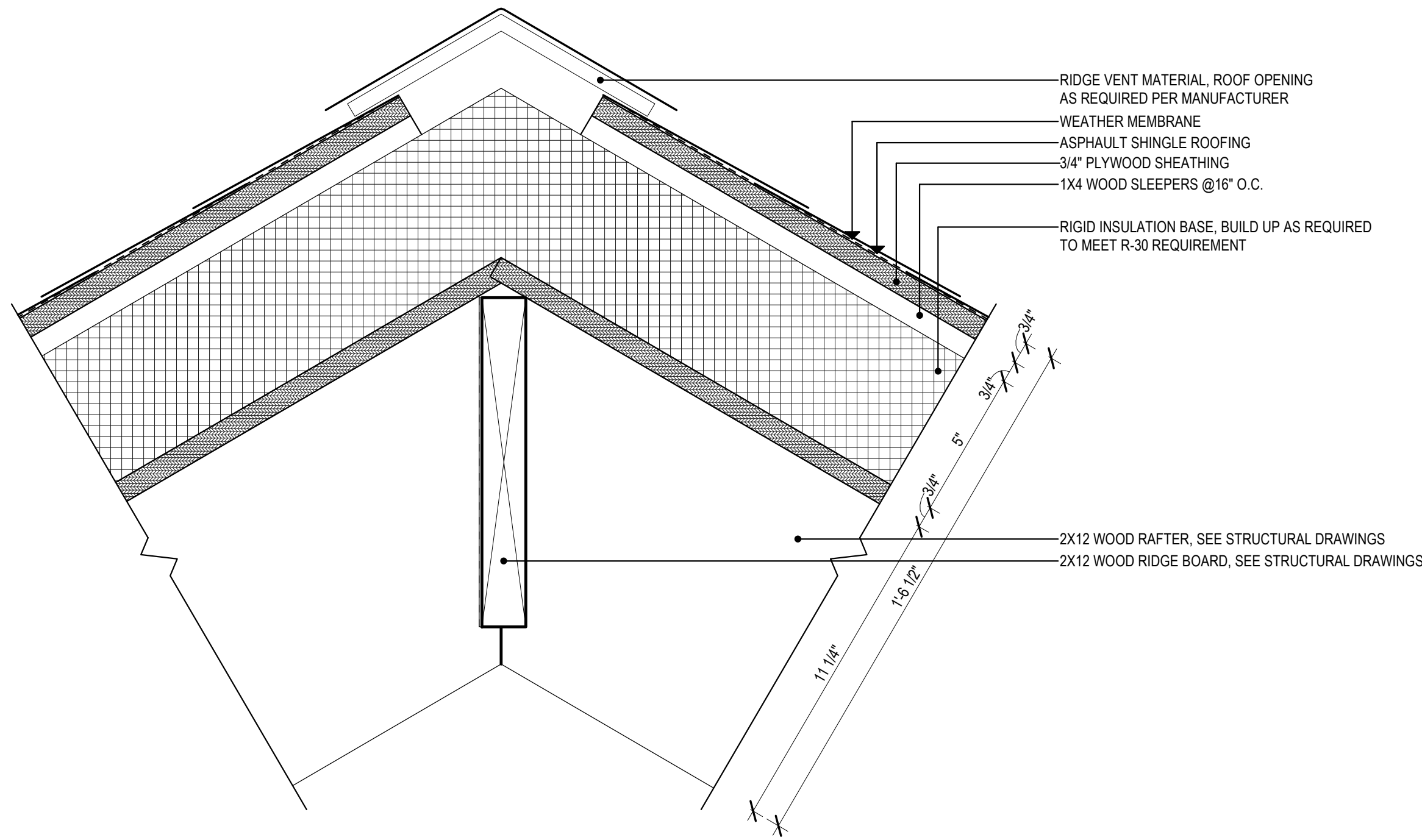
Revision	Description	Date	Revised By
1	ISSUED FOR BID	09/27/2024	

Drawing Title:
SECTION DETAILS

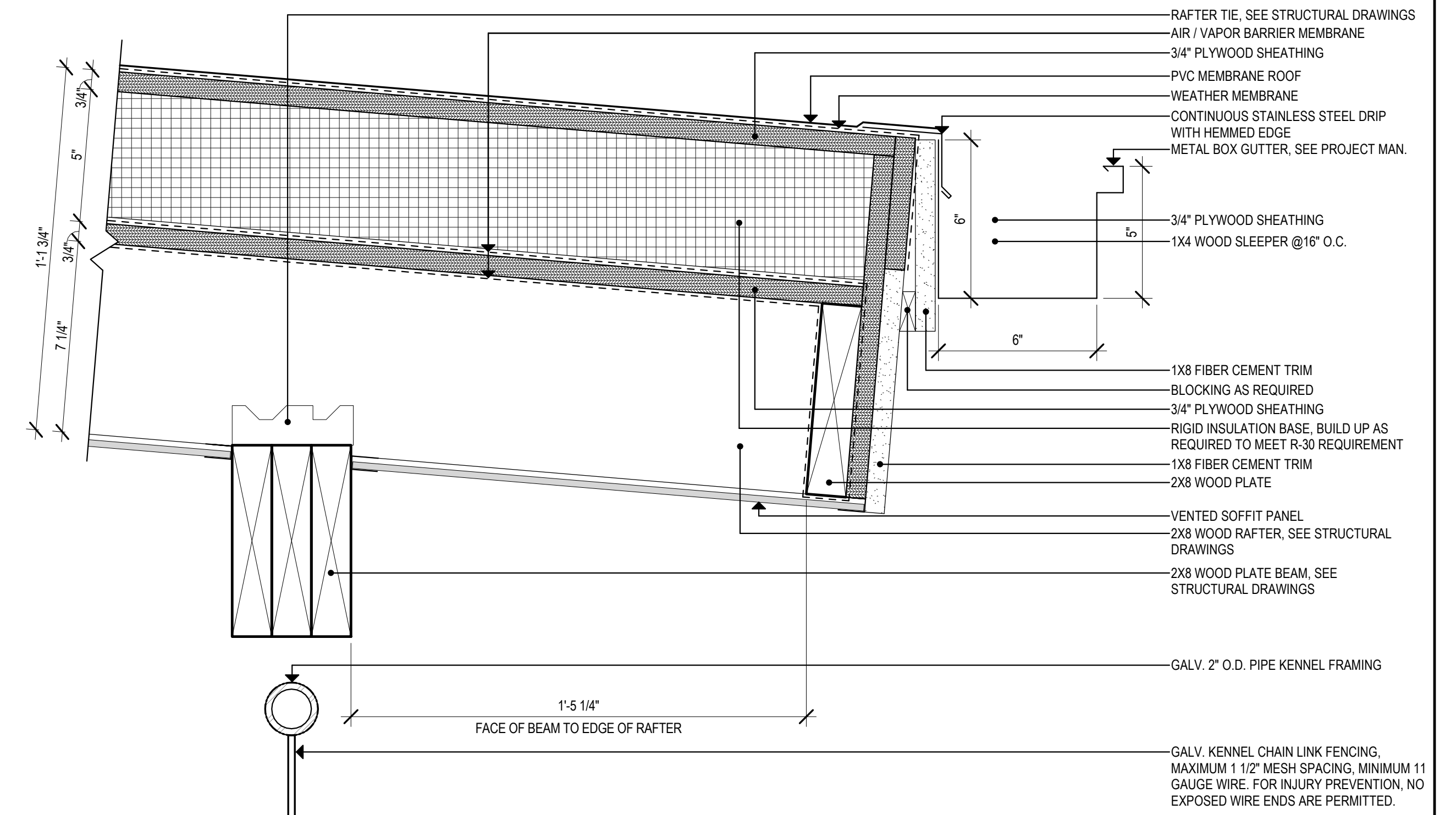
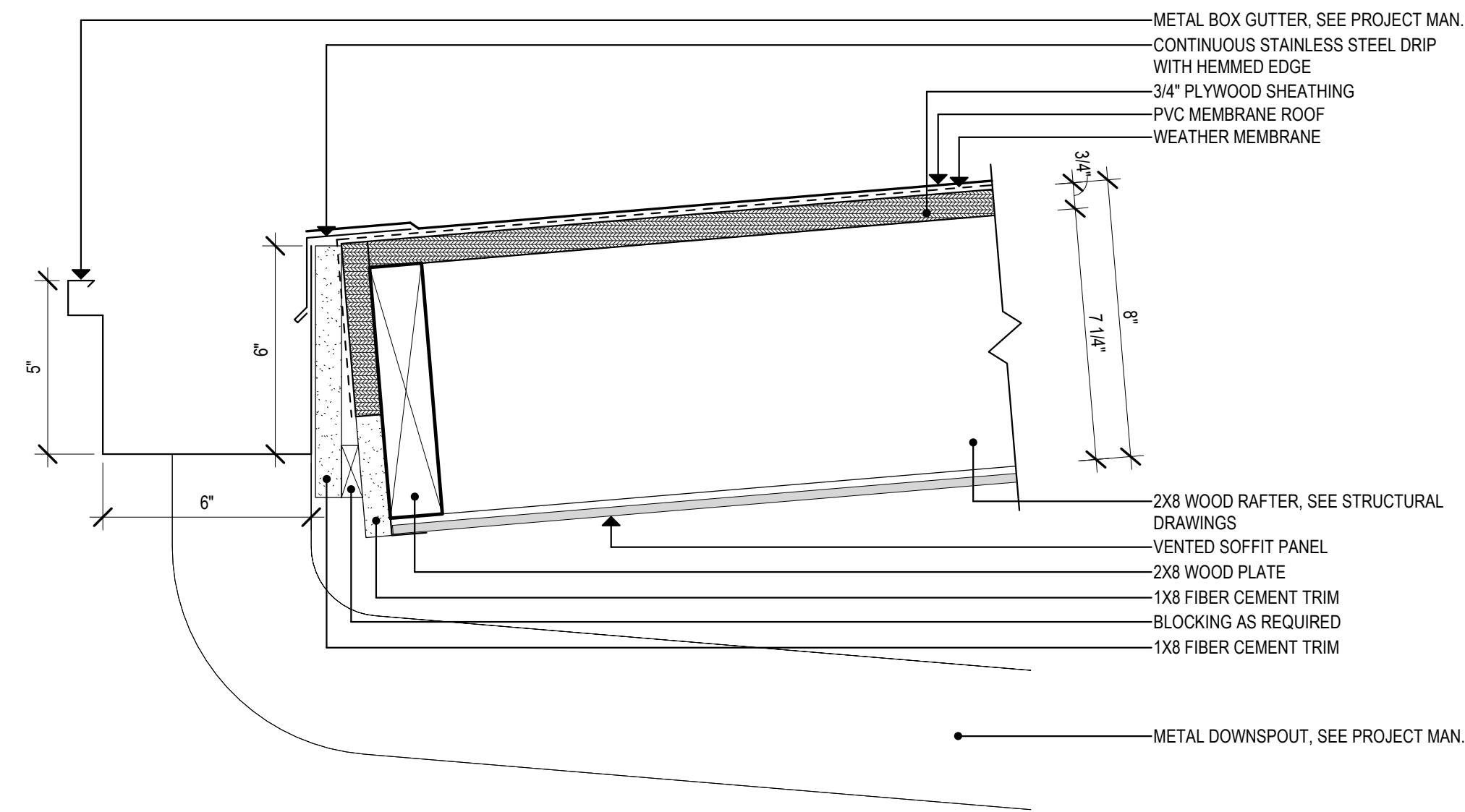
Date:
09/27/2024
Scale:
3" = 1'-0"
Drawn By:
MES
Project Number:
22.130

Drawing Number:

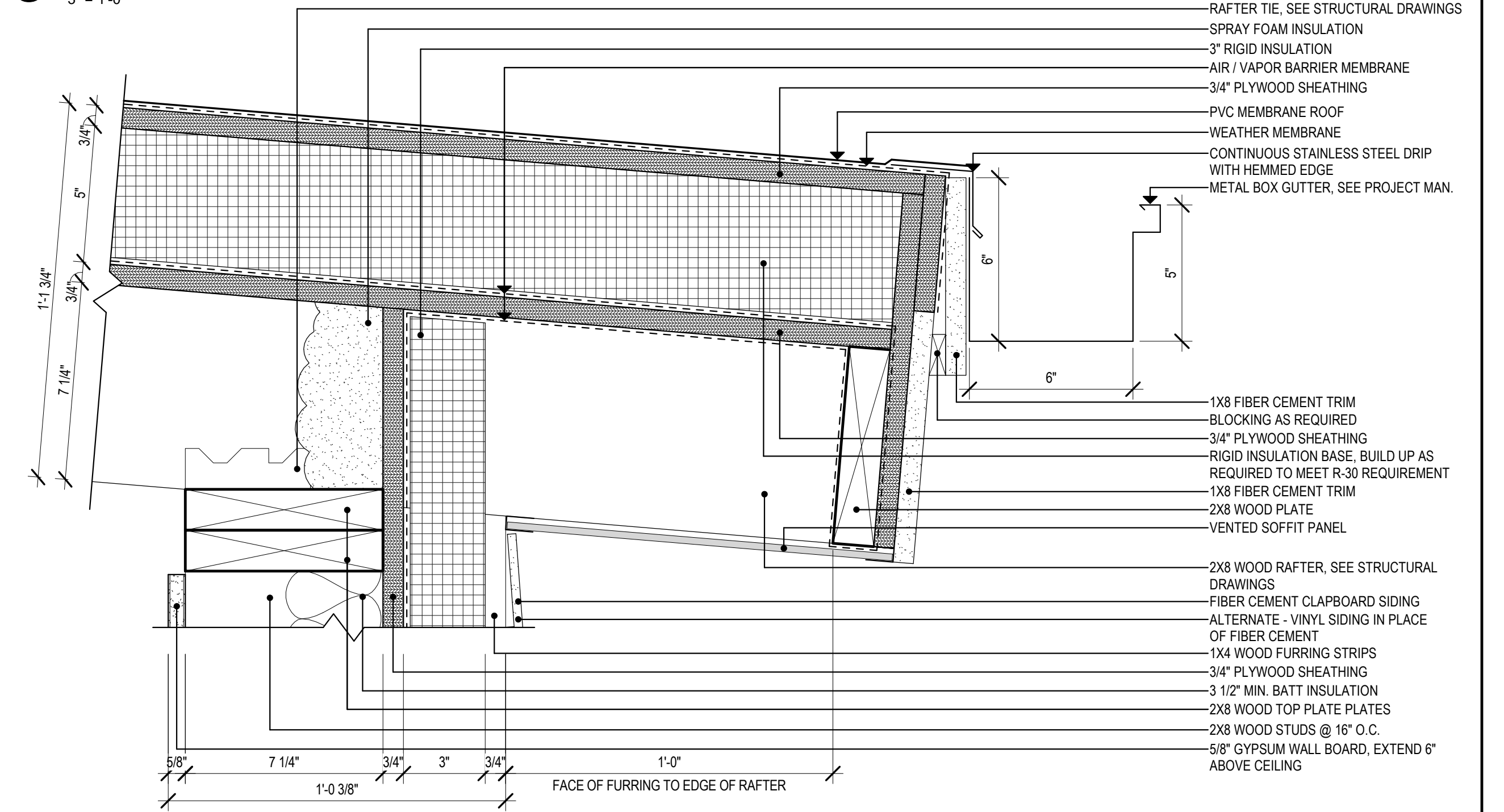
A500



5 ROOF RIDGE
3" = 1'-0"

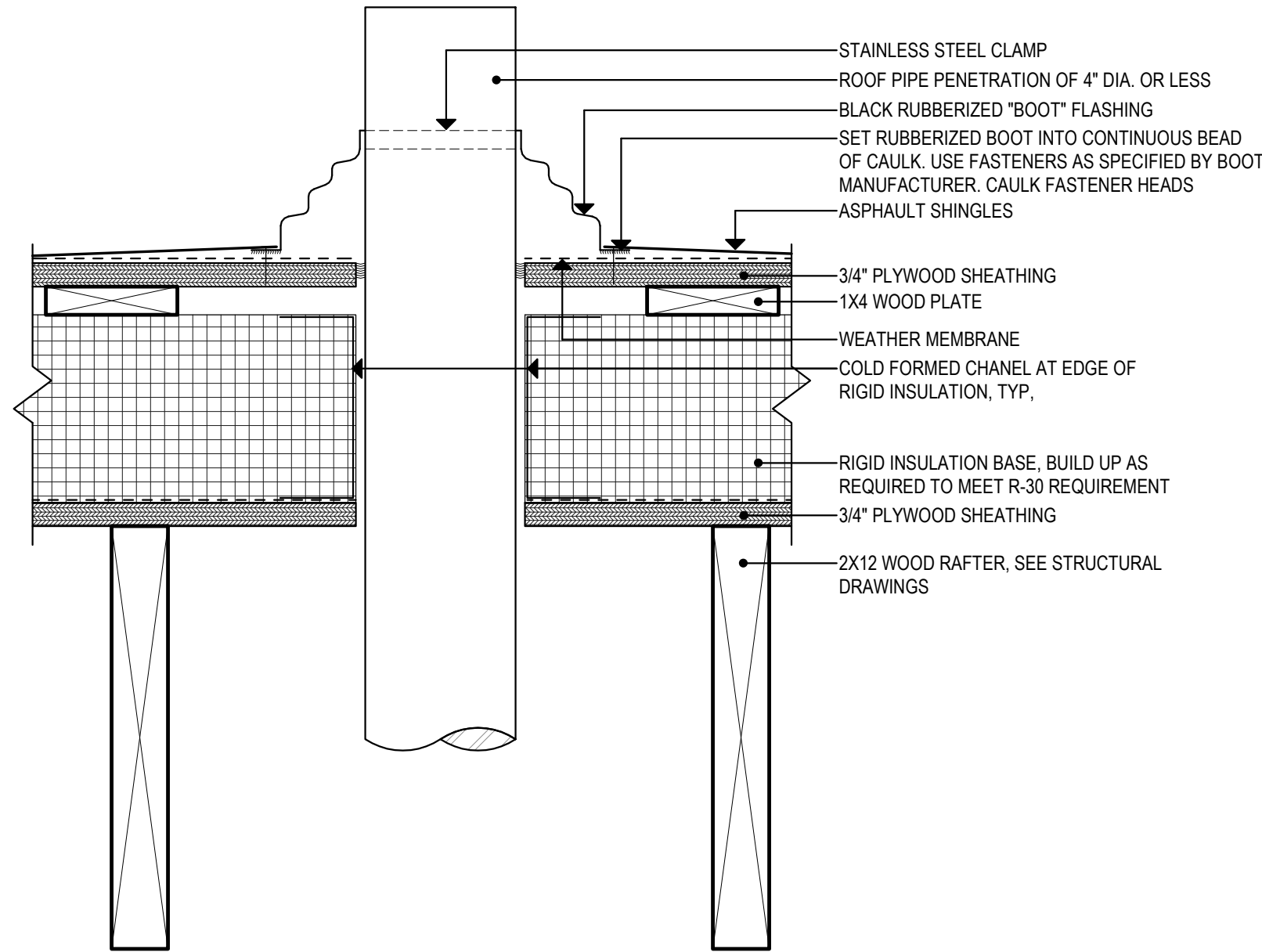


3 FRONT LOW ROOF EDGE - CATIO
3" = 1'-0"



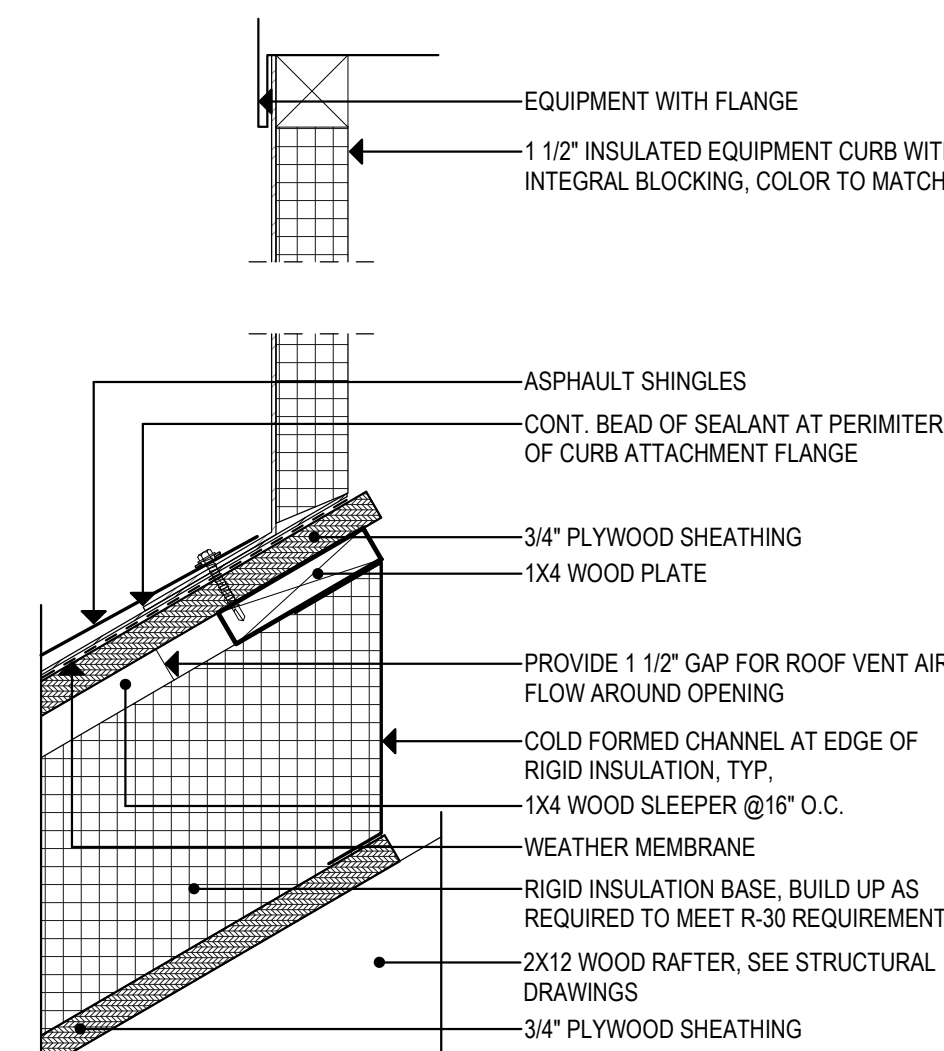
2 FRONT LOW ROOF EDGE - VESTIBULE
3" = 1'-0"

4 LOW ROOF EDGE - KENNELS
3" = 1'-0"

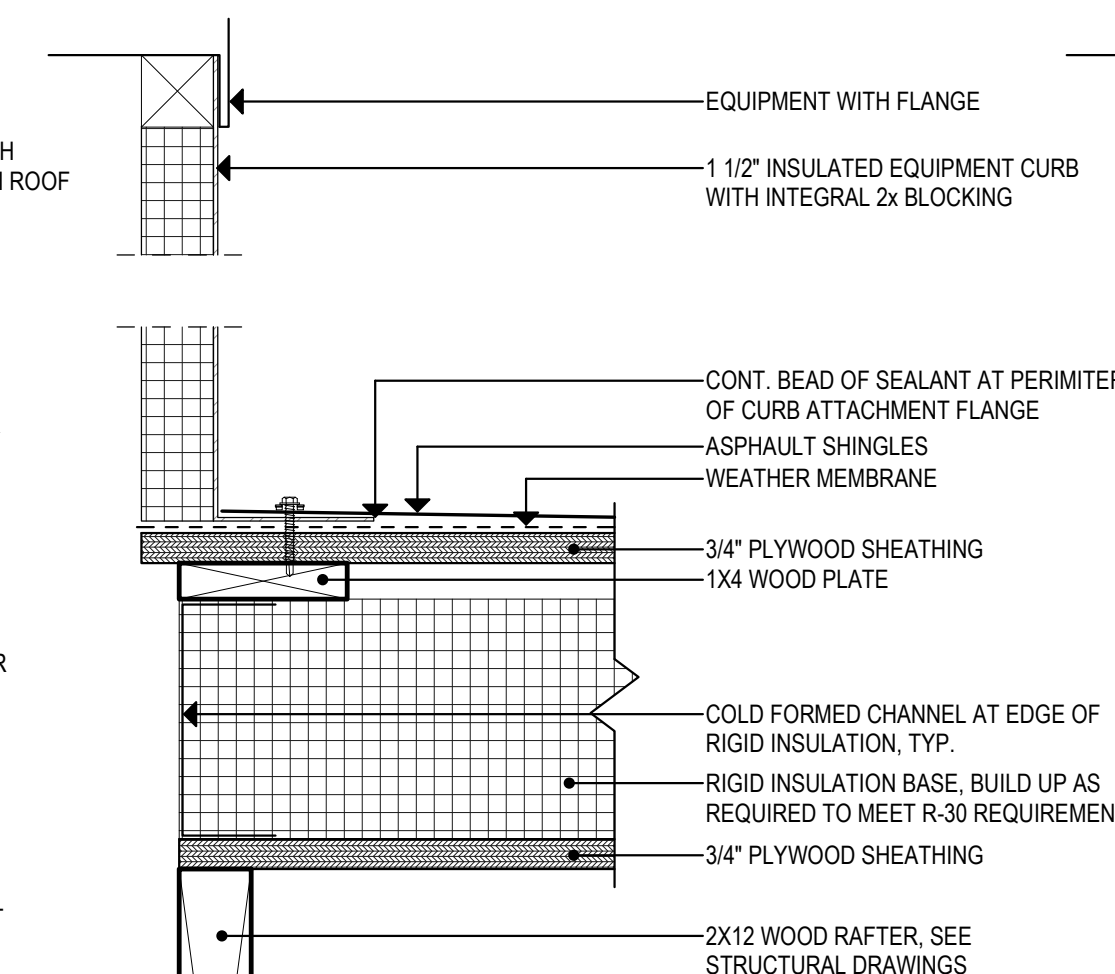


VENT STACK

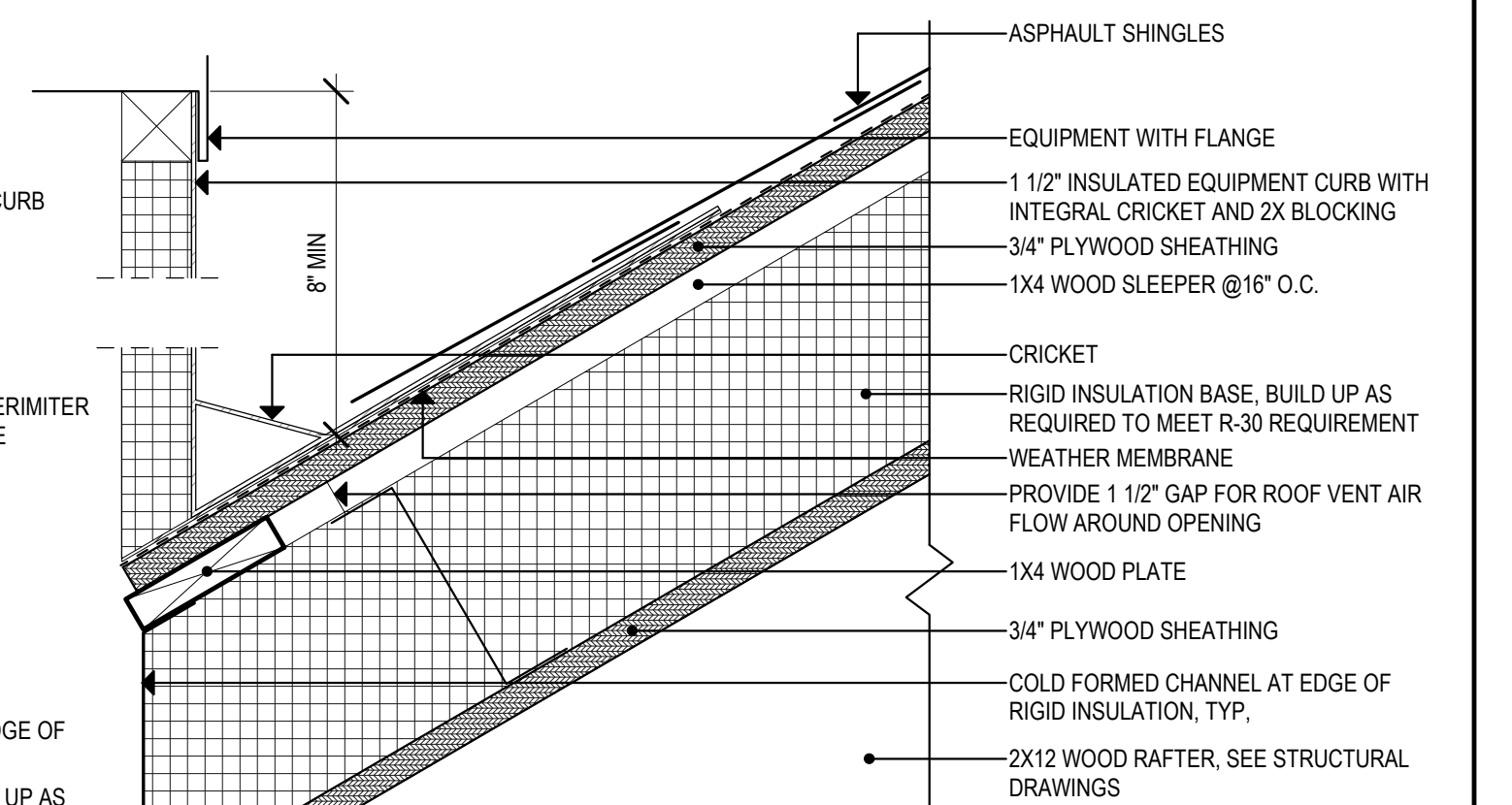
1 TYPICAL ROOF PENETRATION DEATILS
3" = 1'-0"



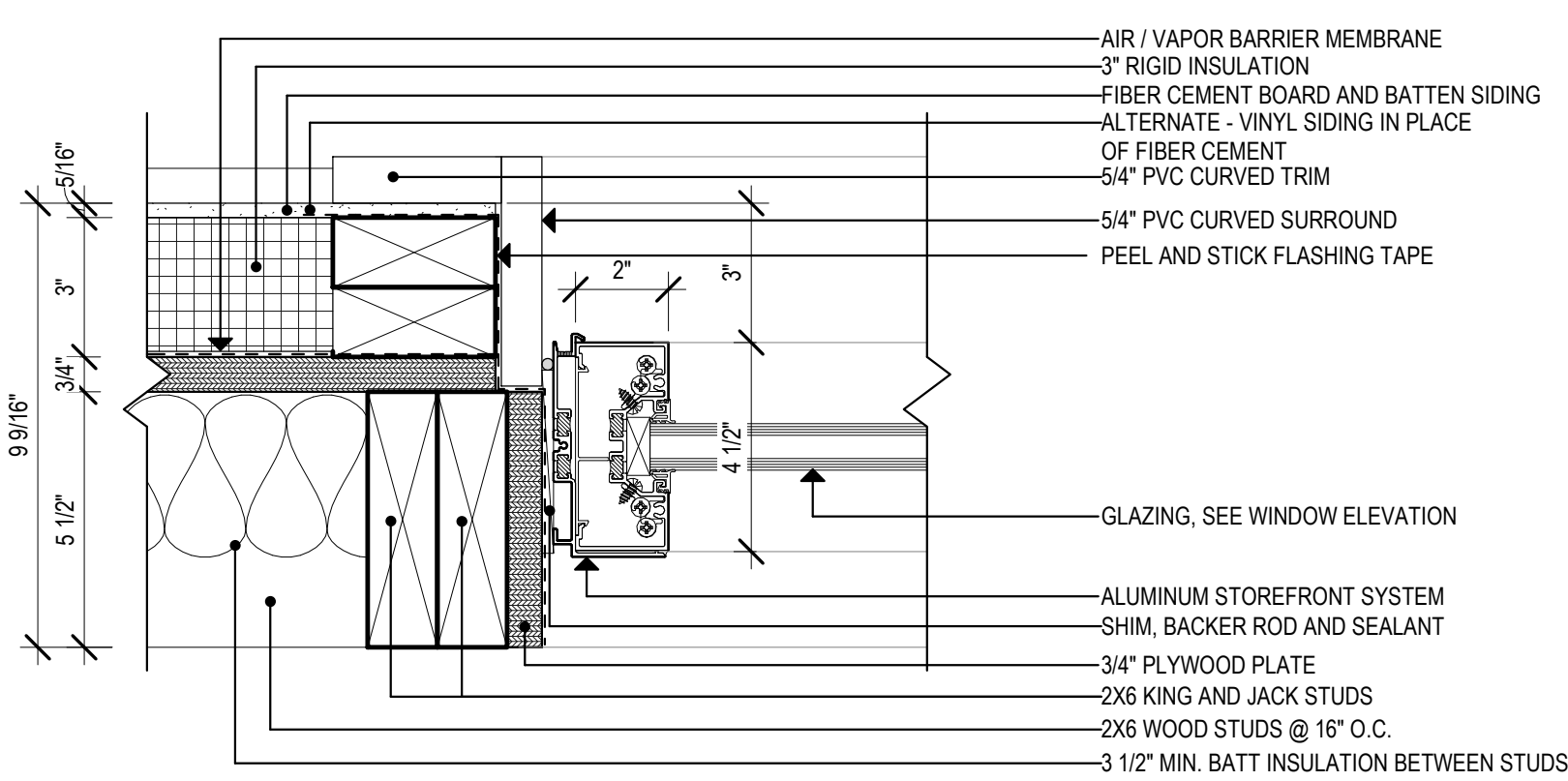
ROOF CURB BOTTOM



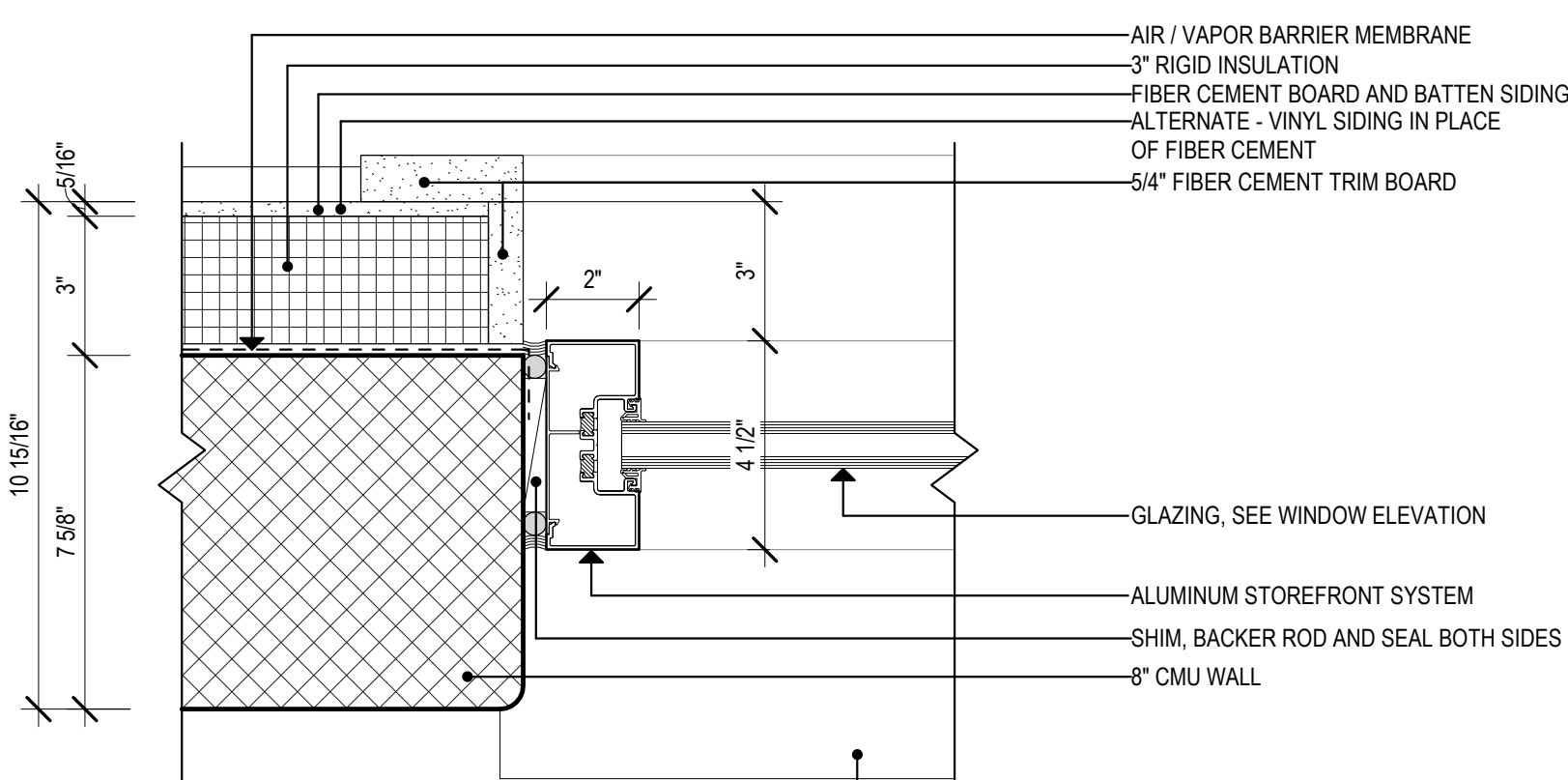
ROOF CURB SIDE



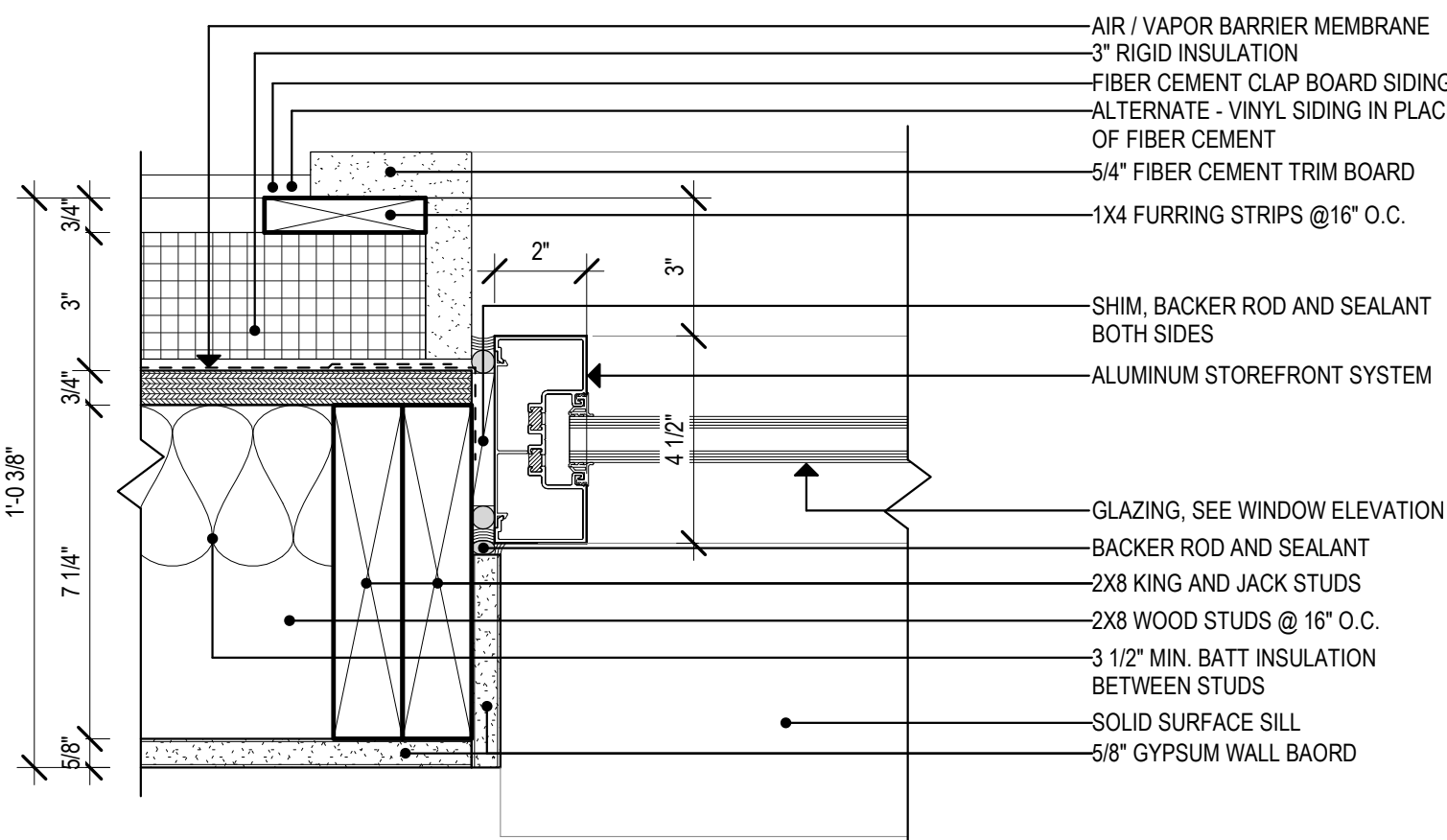
ROOF CURB TOP



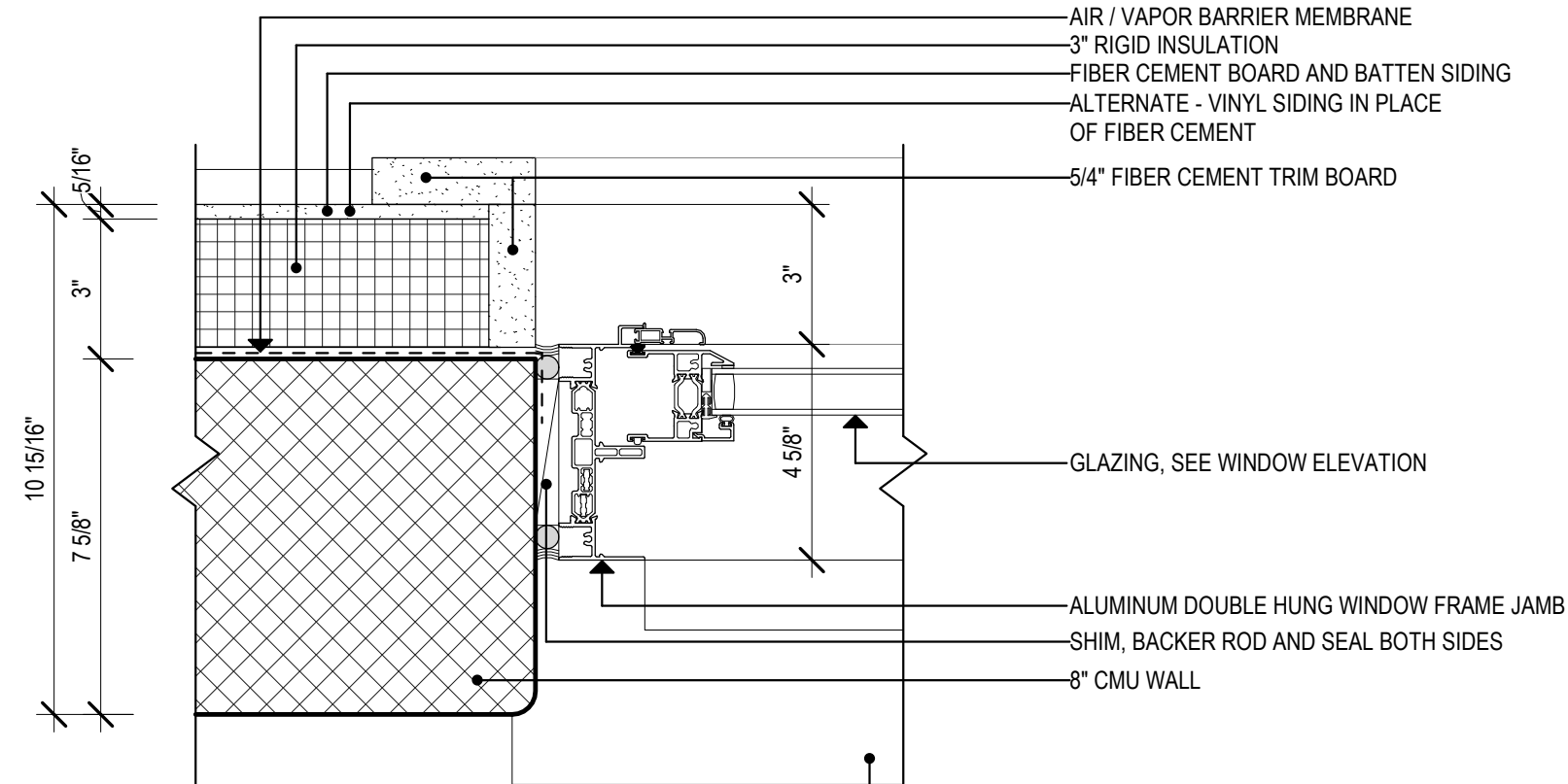
9 ROUND AL. FRAME WINDOW JAMB
3\"/>



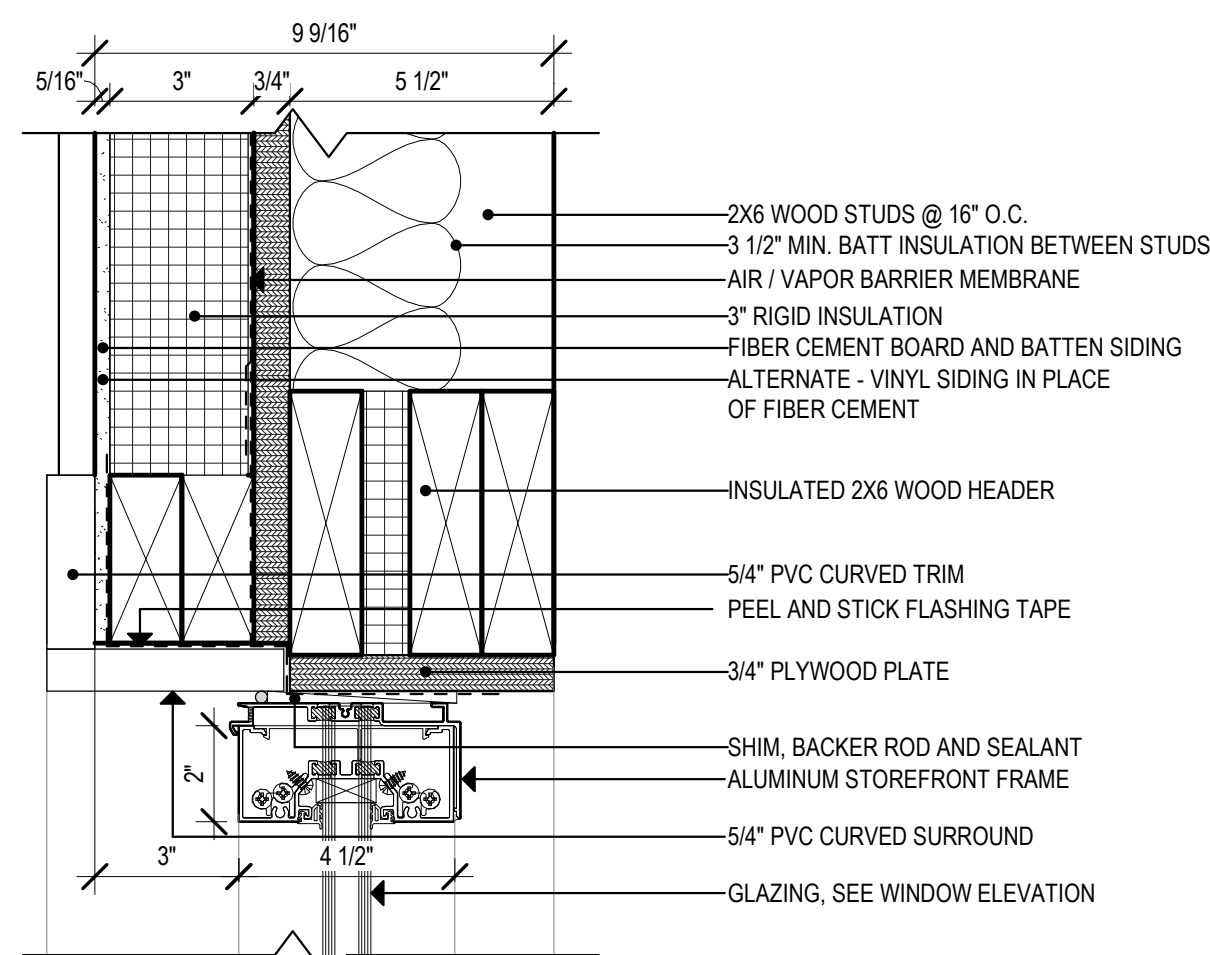
7 AL. FRAME WINDOW JAMB
3\"/>



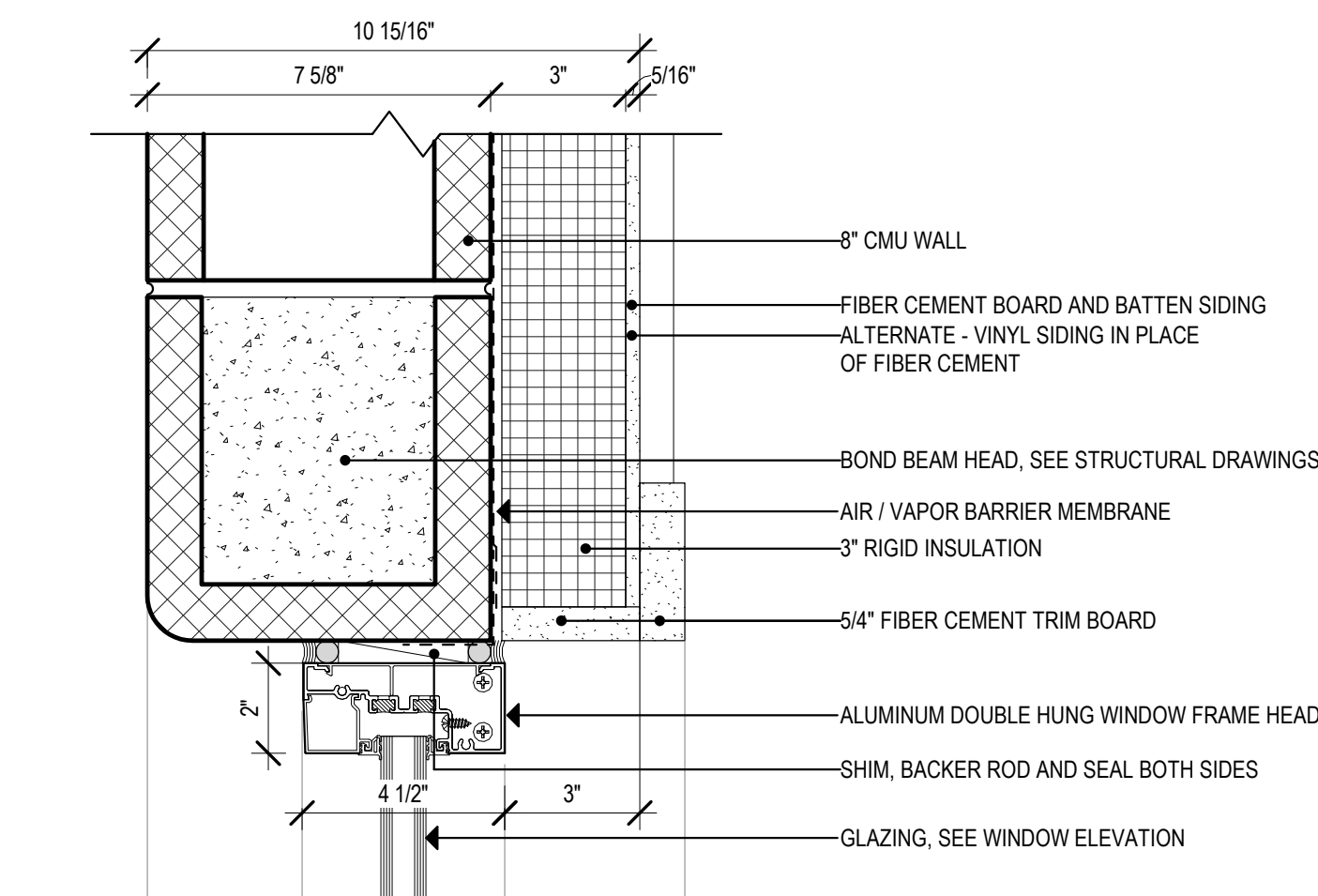
5 AL. FRAME WINDOW IN VEST. JAMB
3\"/>



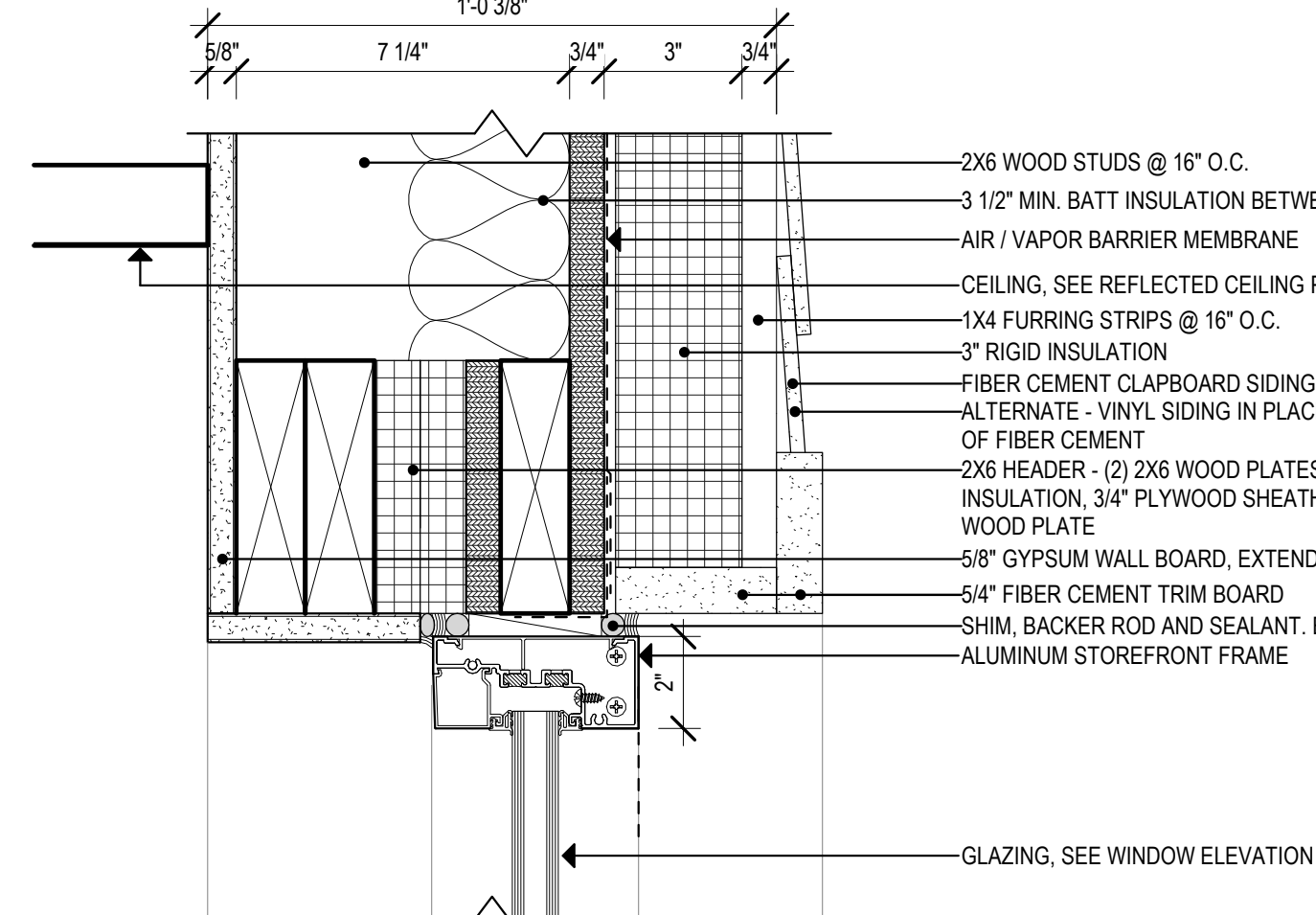
3 DOUBLE HUNG JAMB
3\"/>



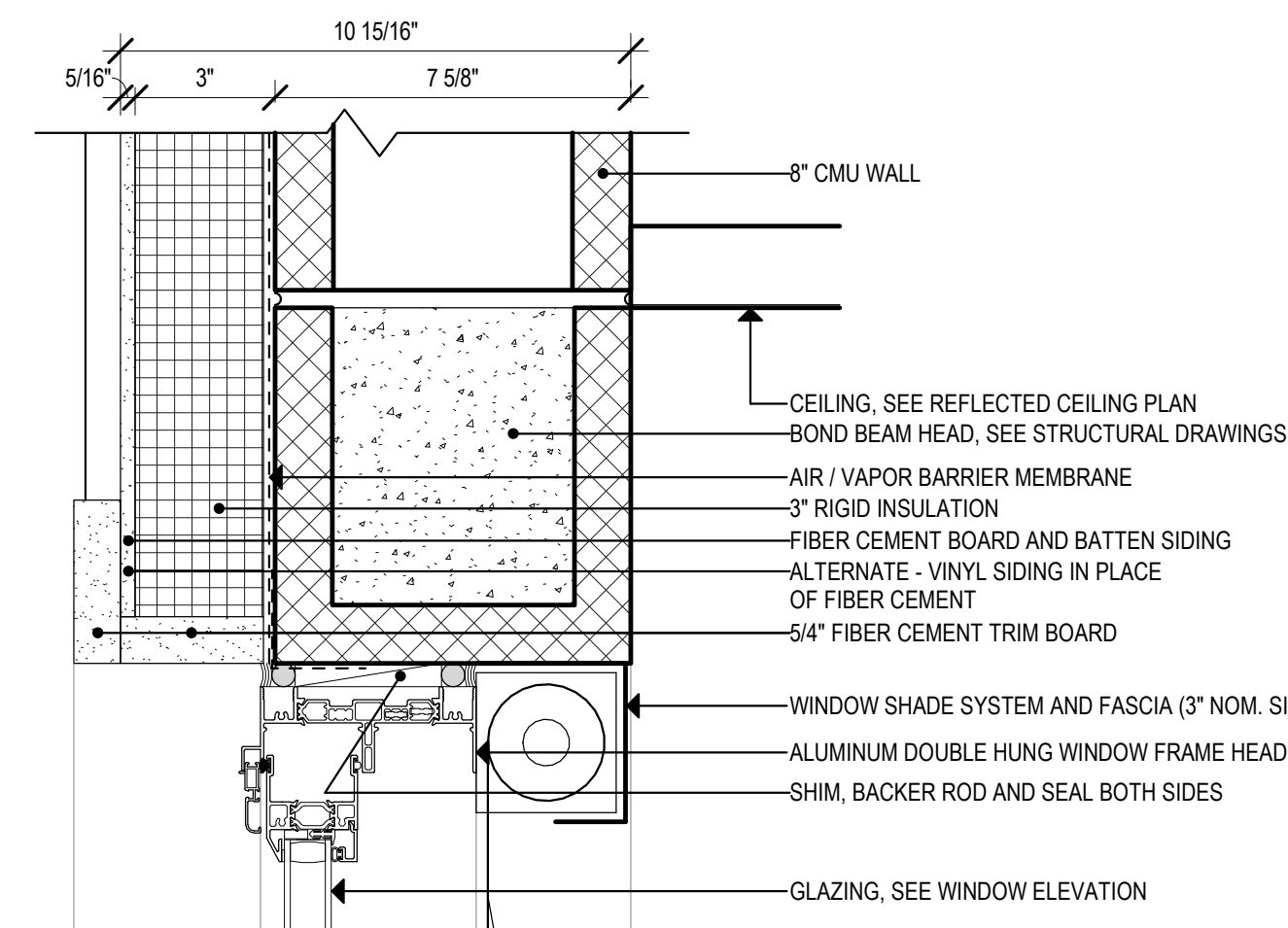
8 ROUND AL. FRAME WINDOW SILL & HEAD
3\"/>



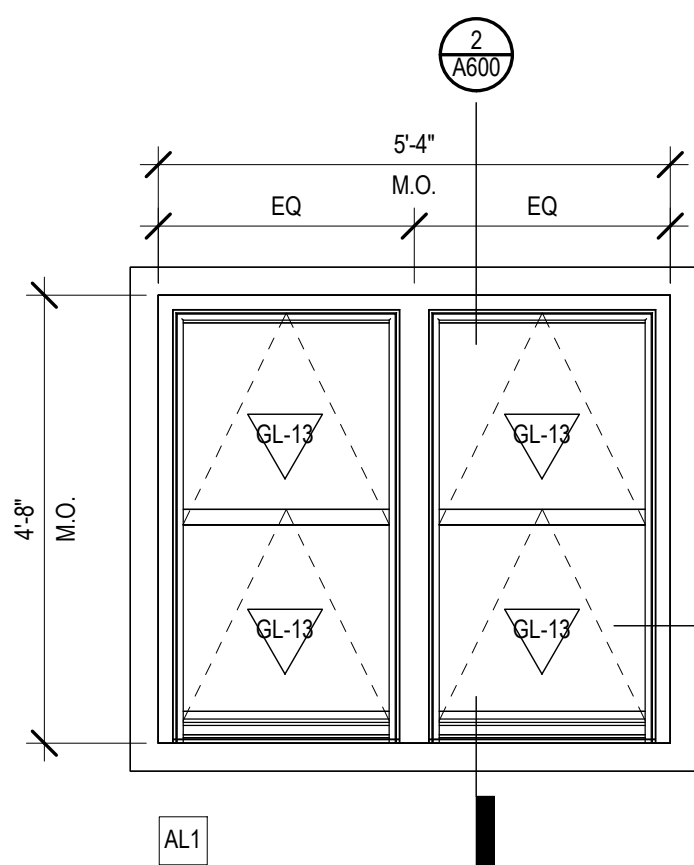
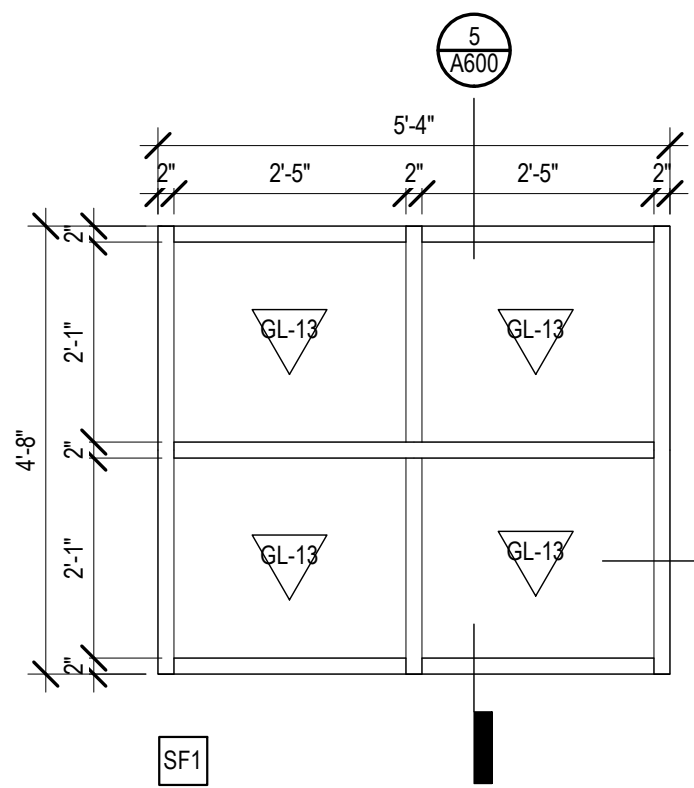
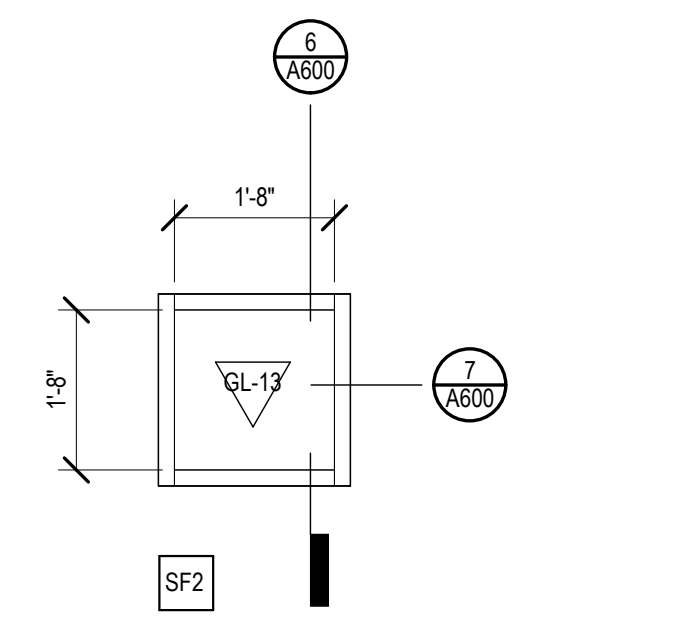
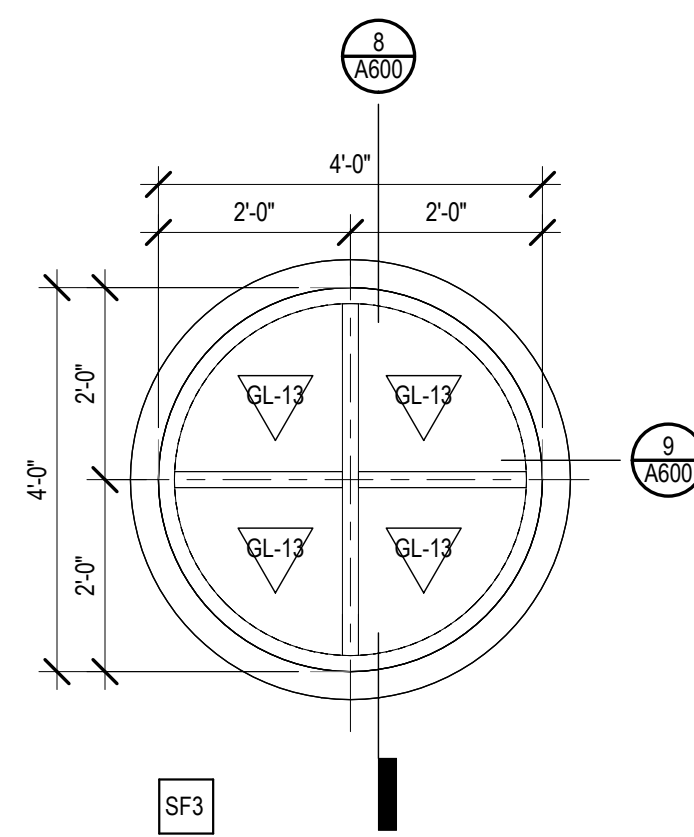
6 AL. FRAME WINDOW SILL & HEAD
3\"/>



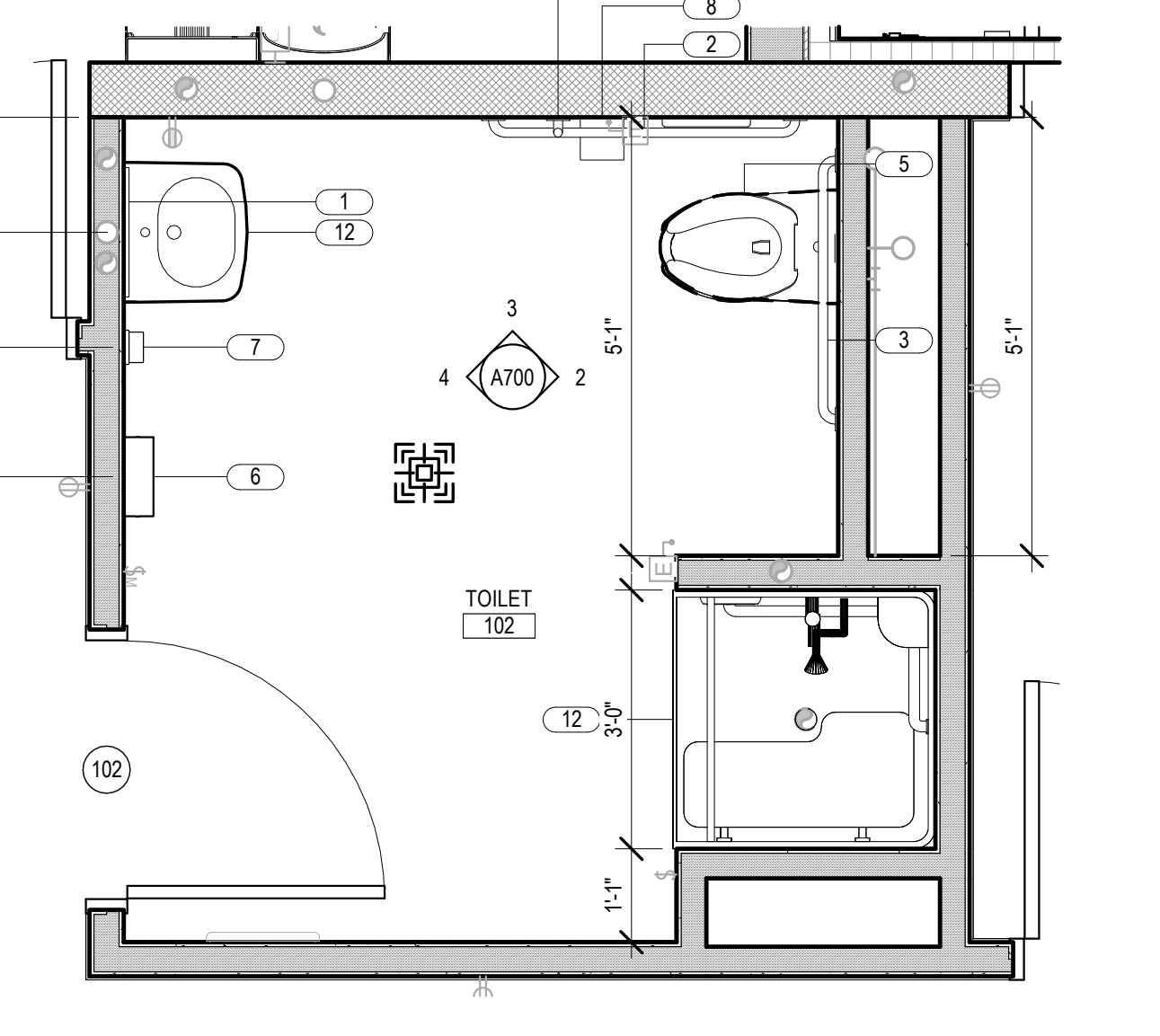
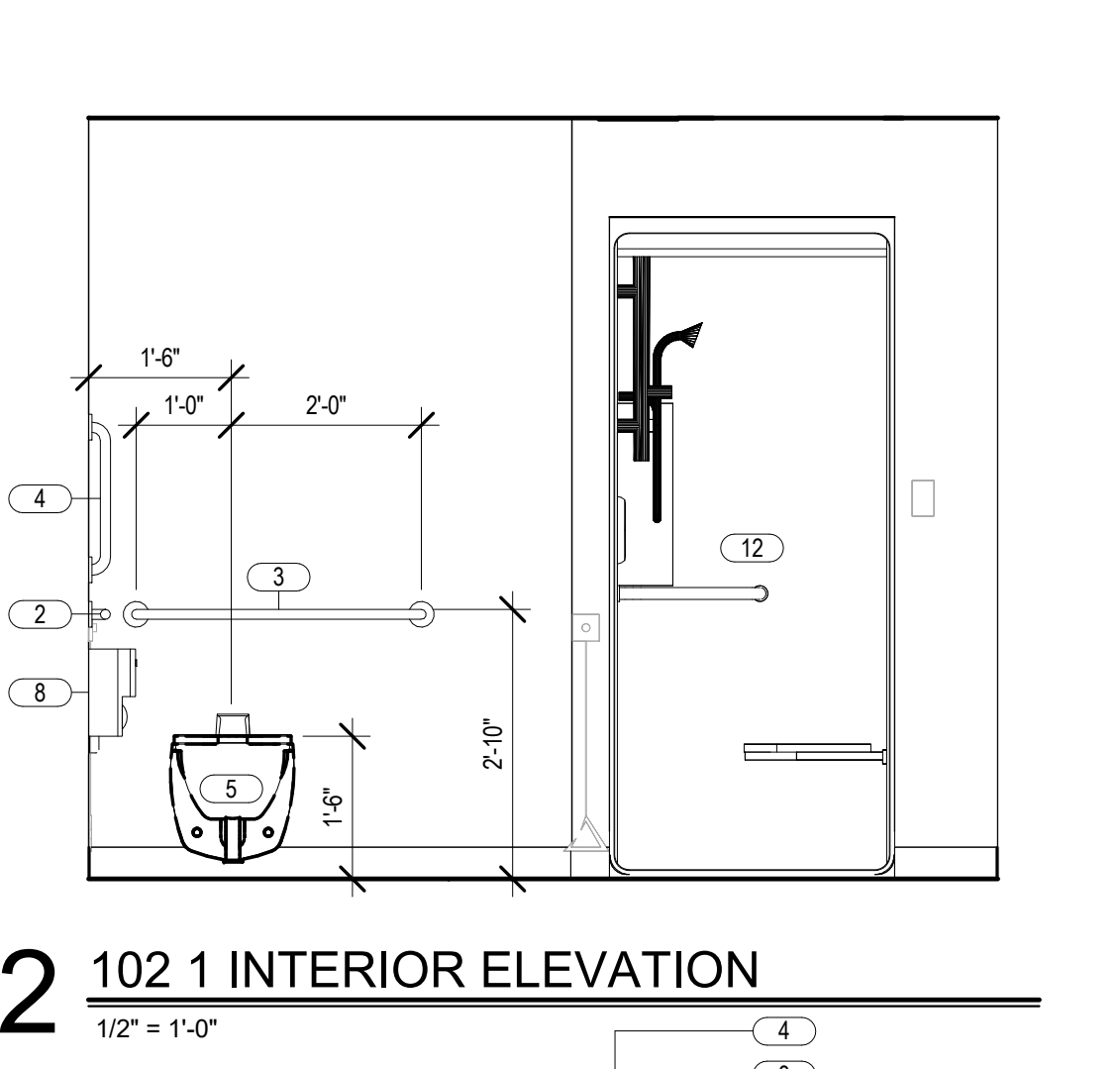
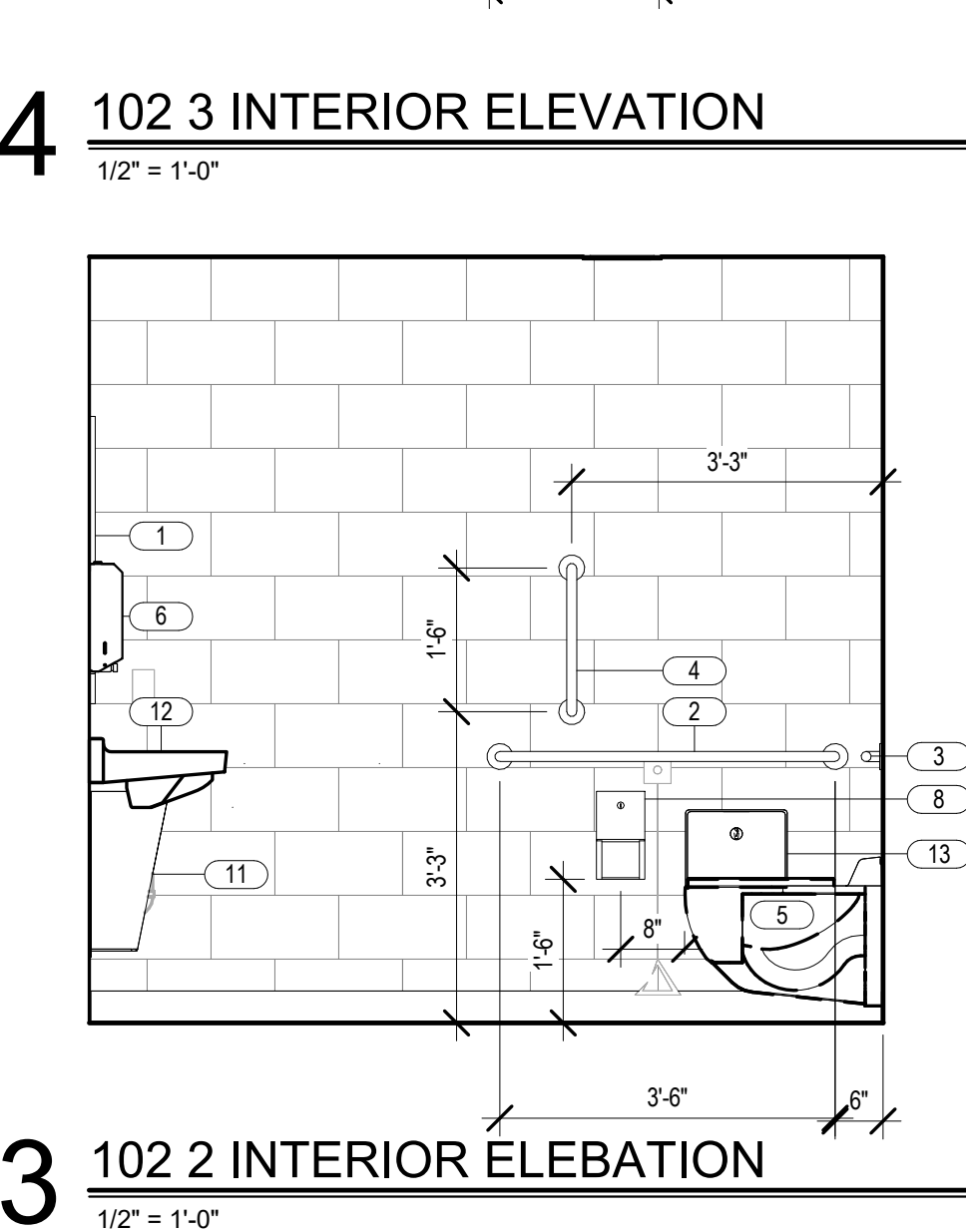
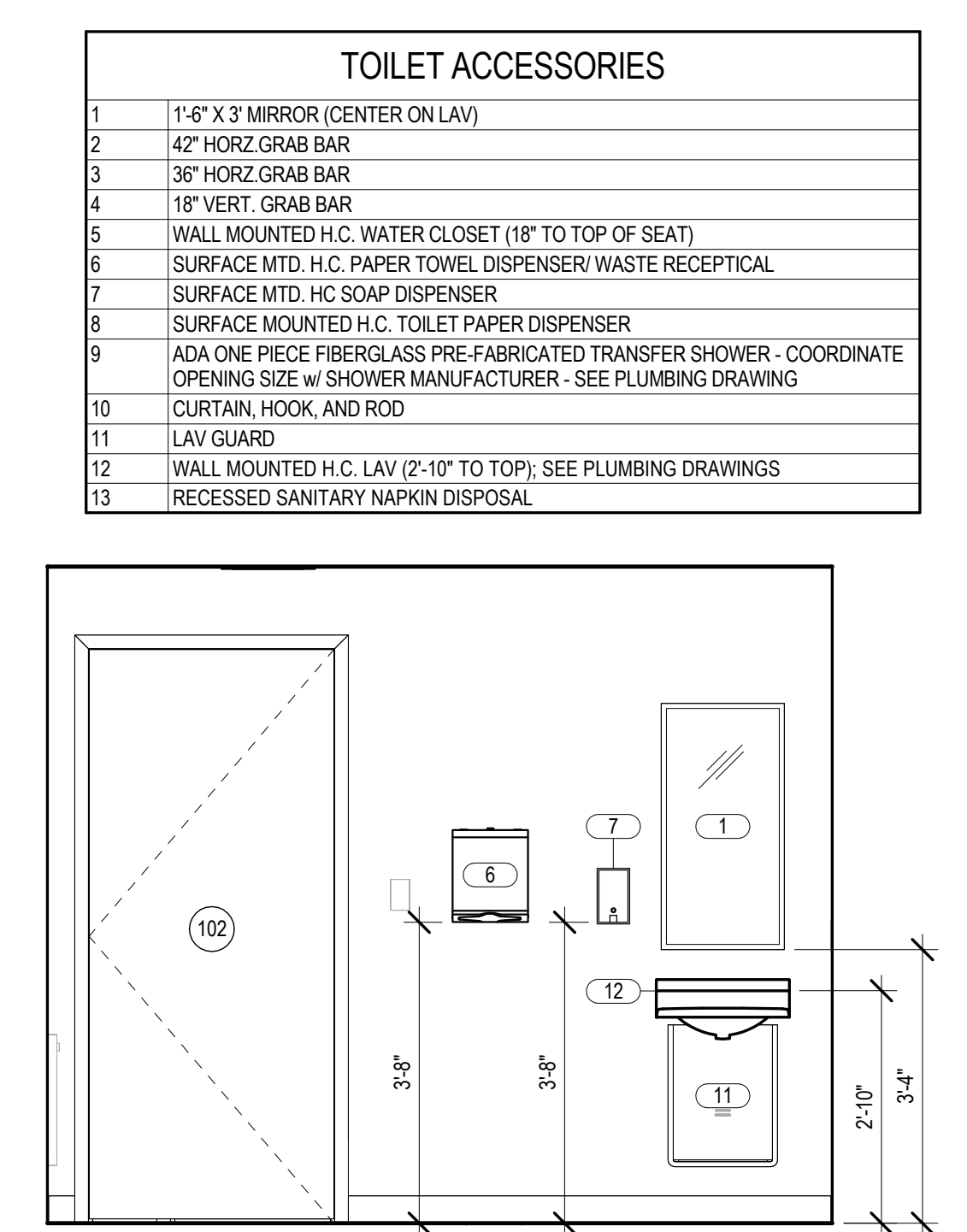
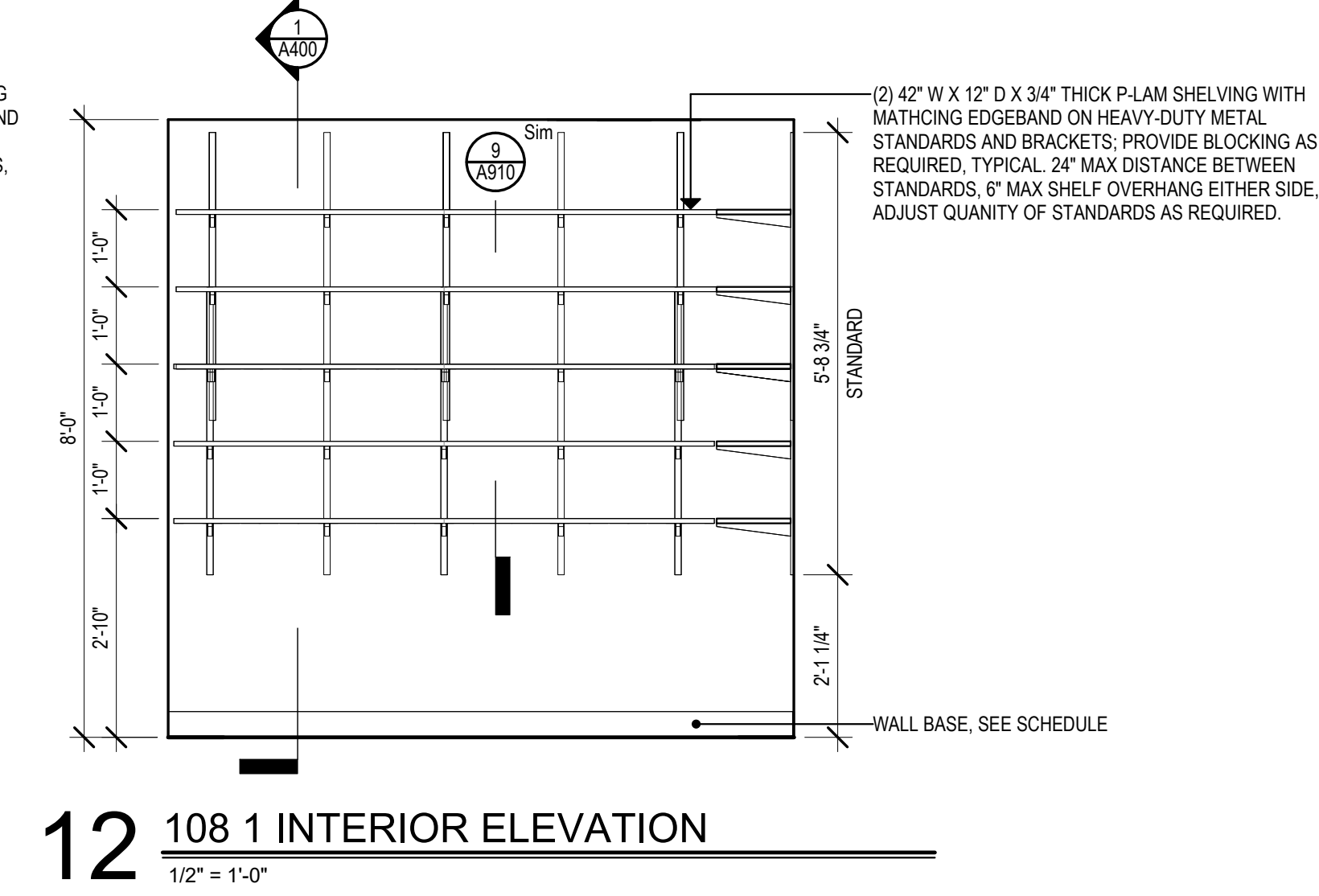
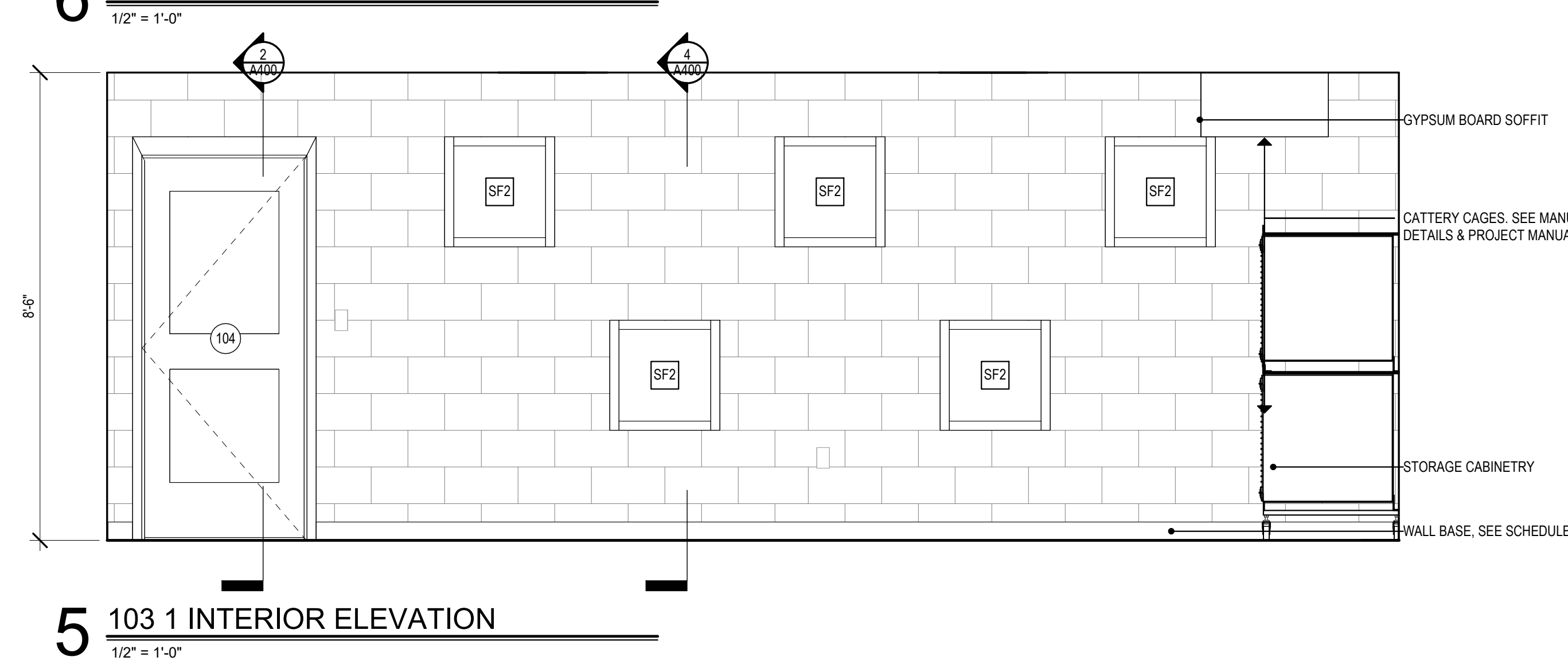
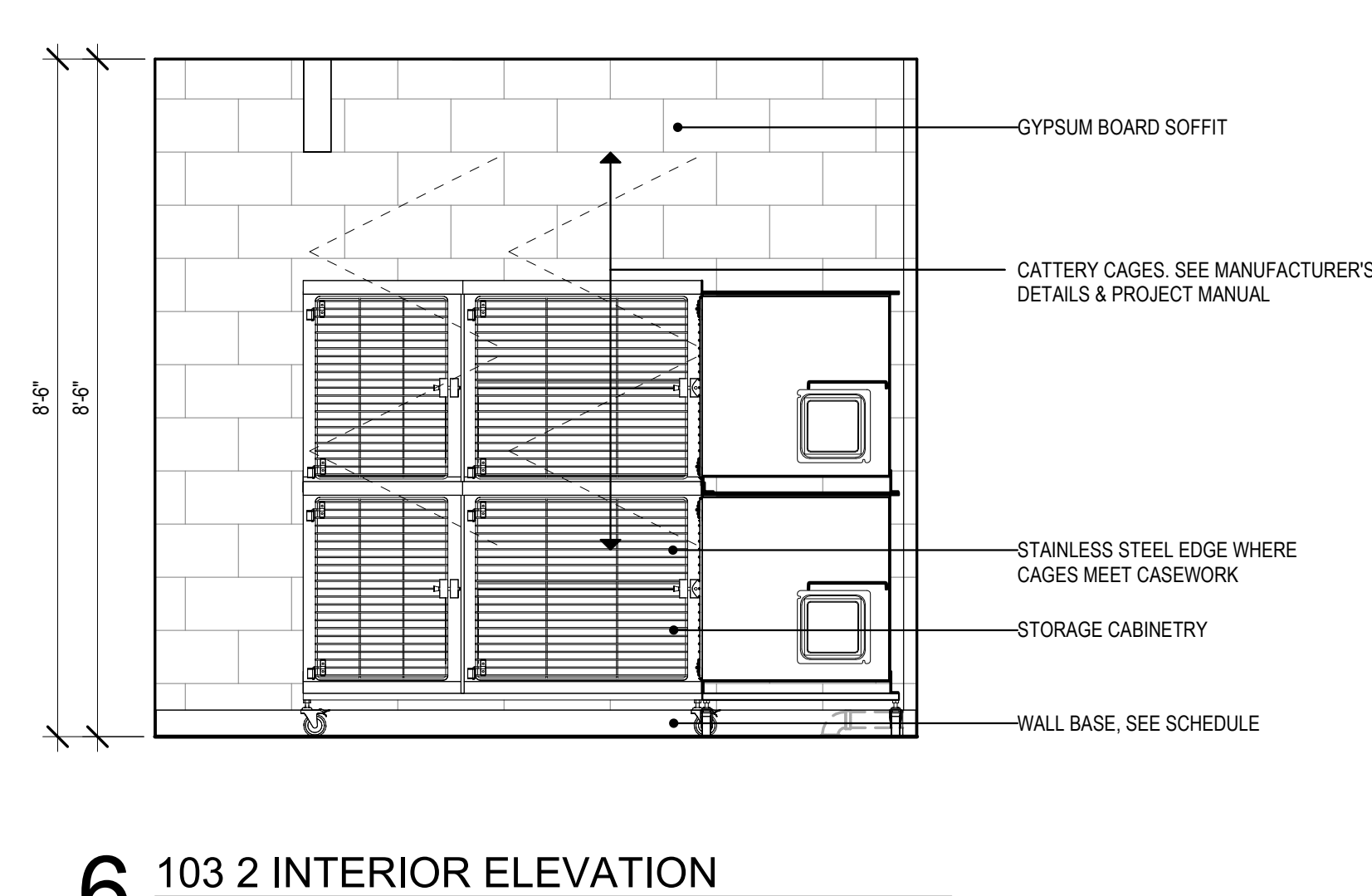
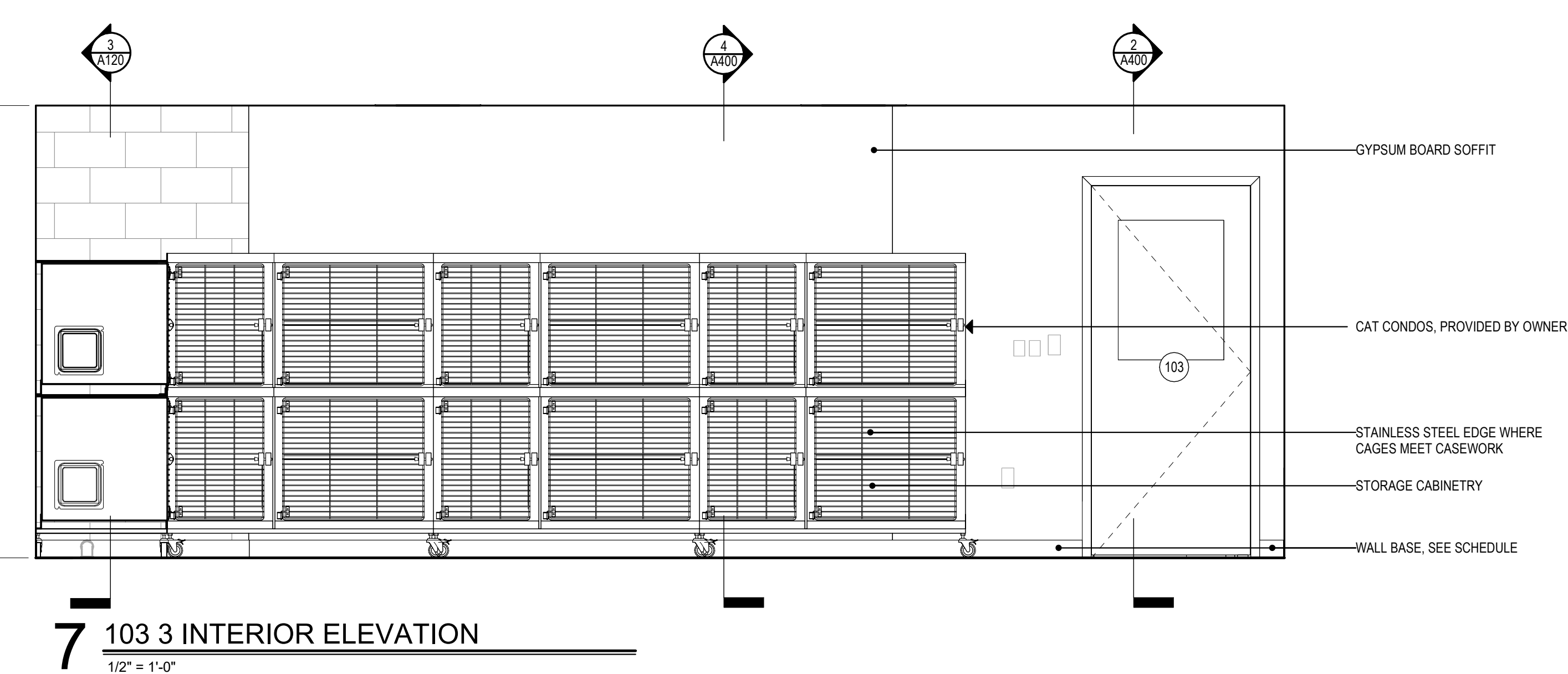
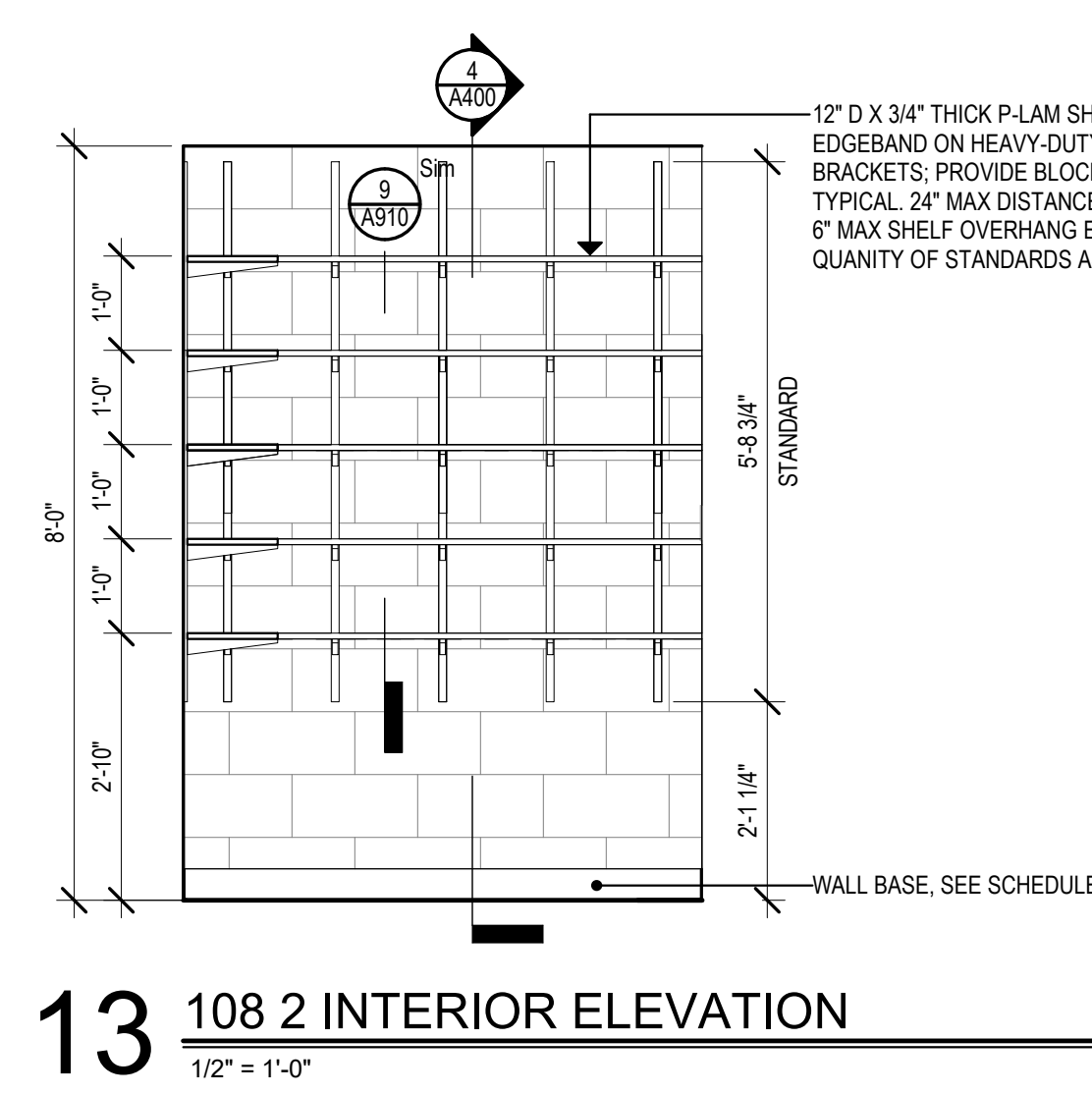
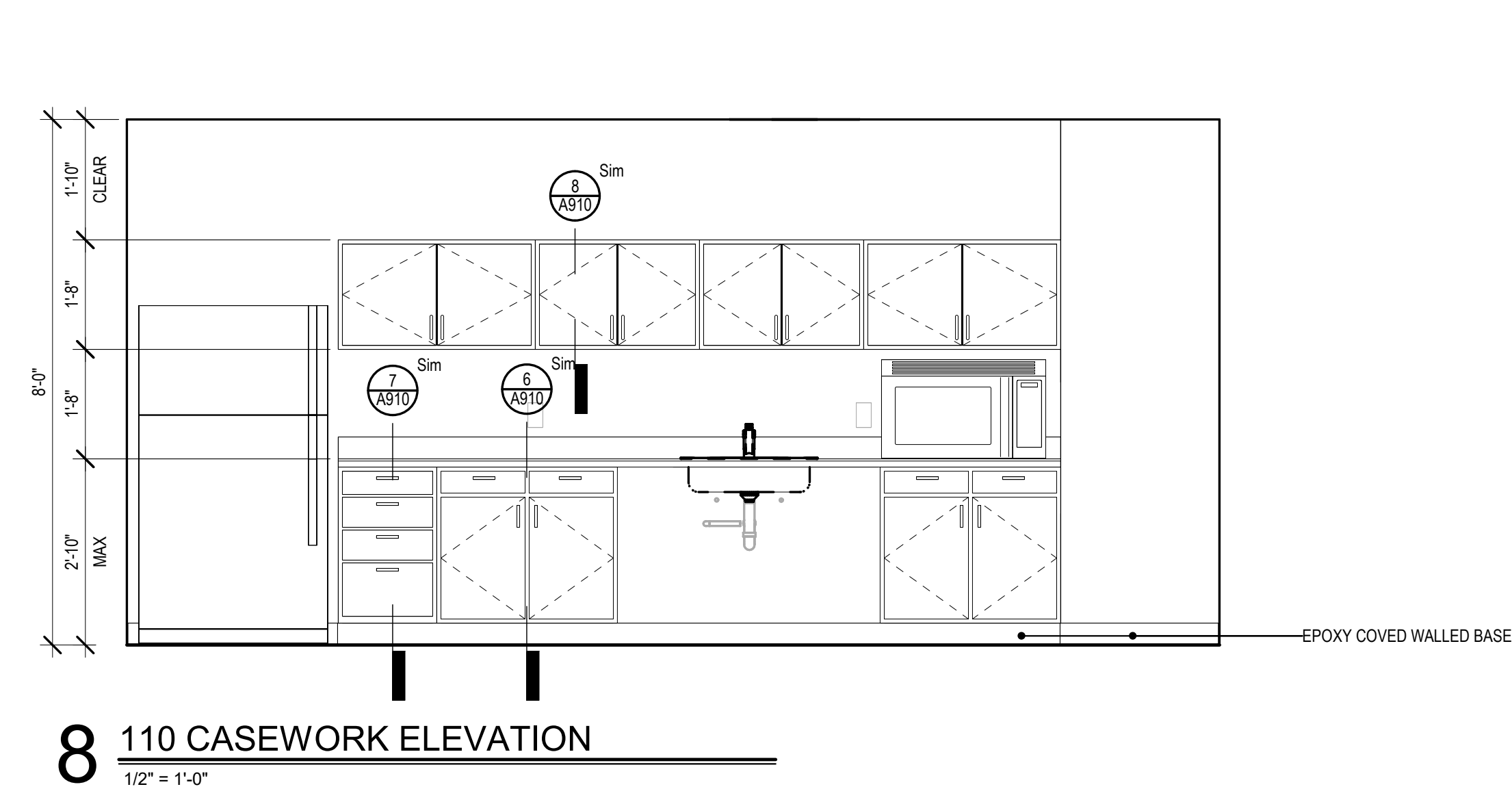
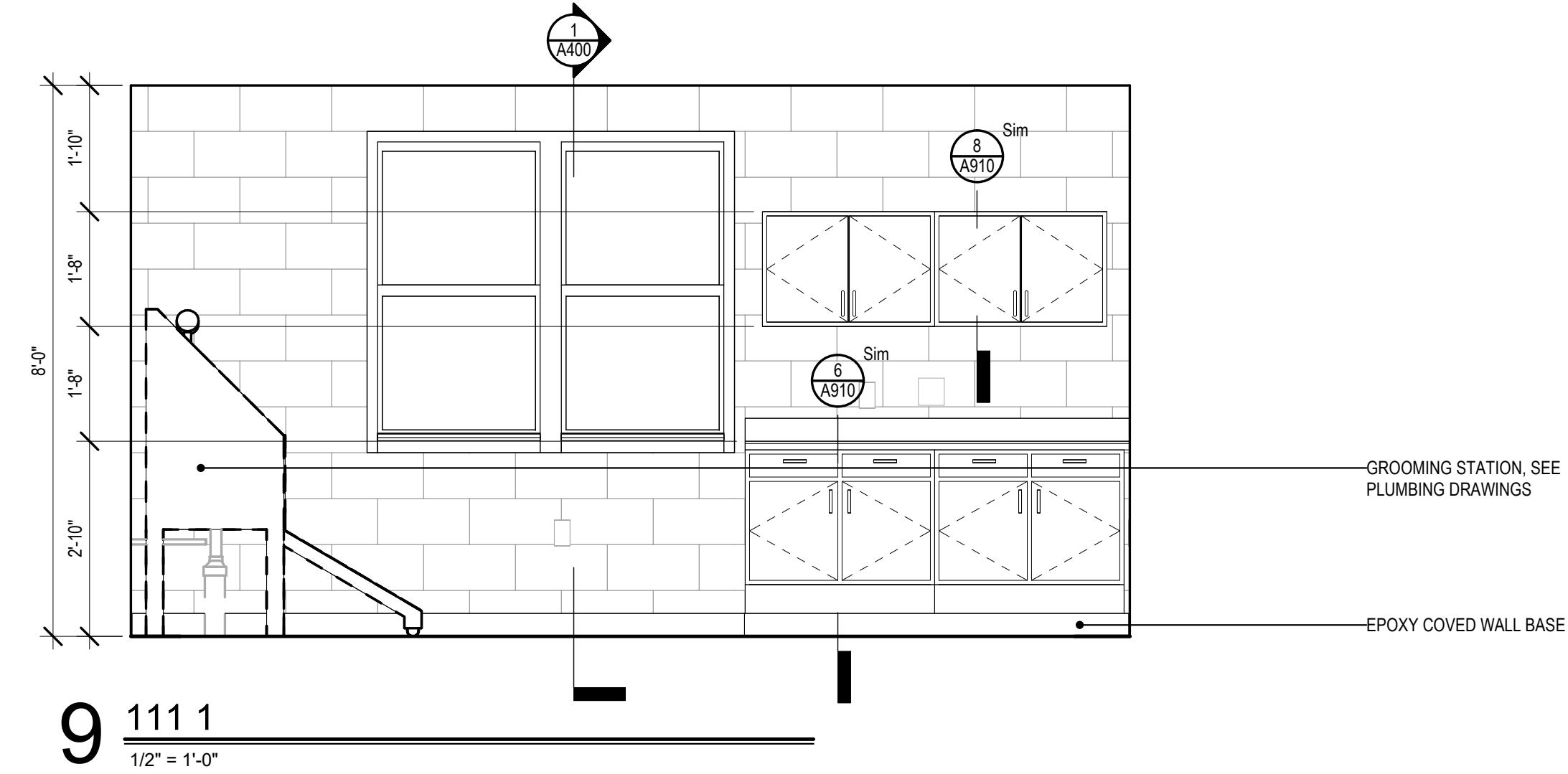
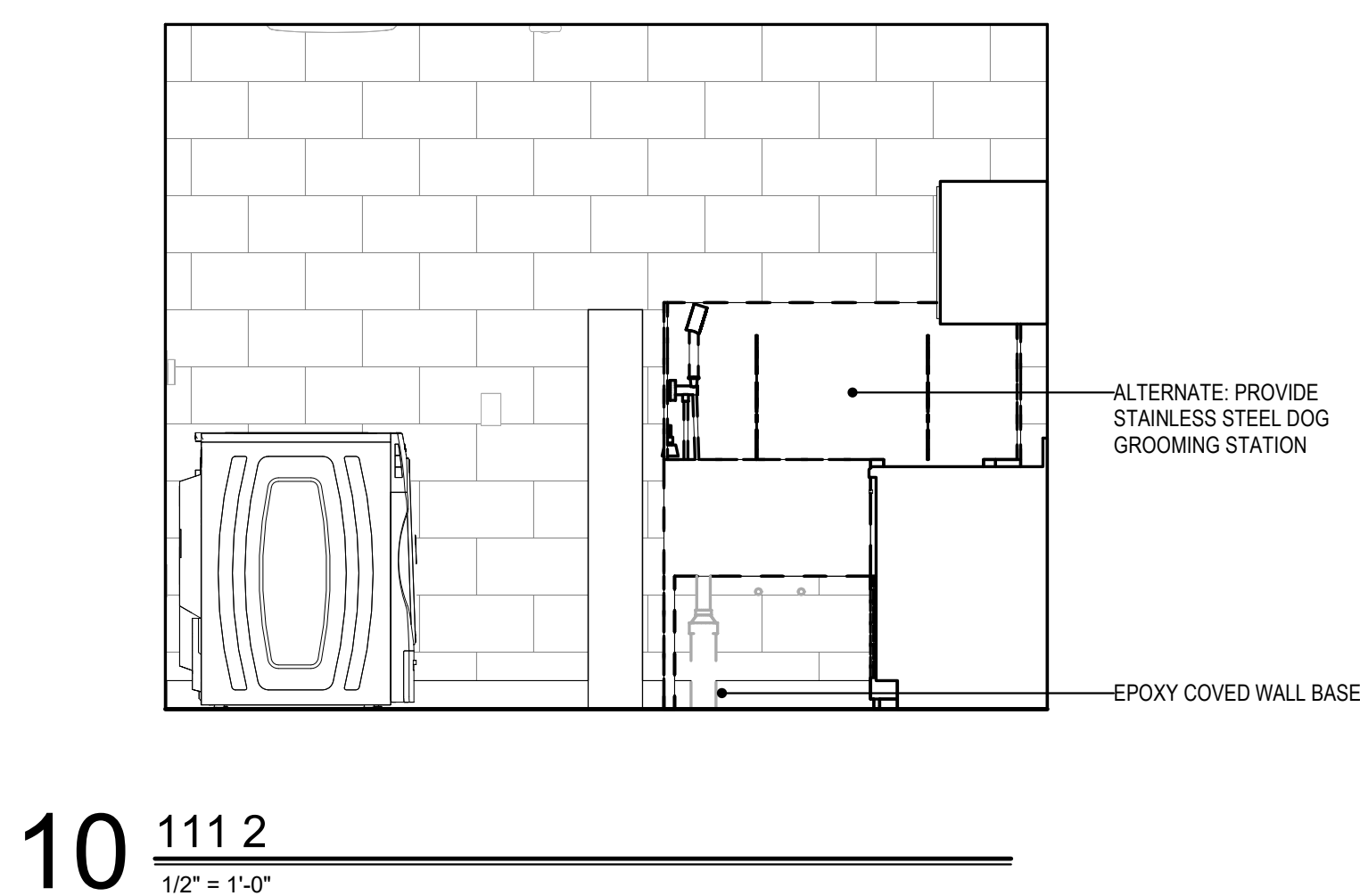
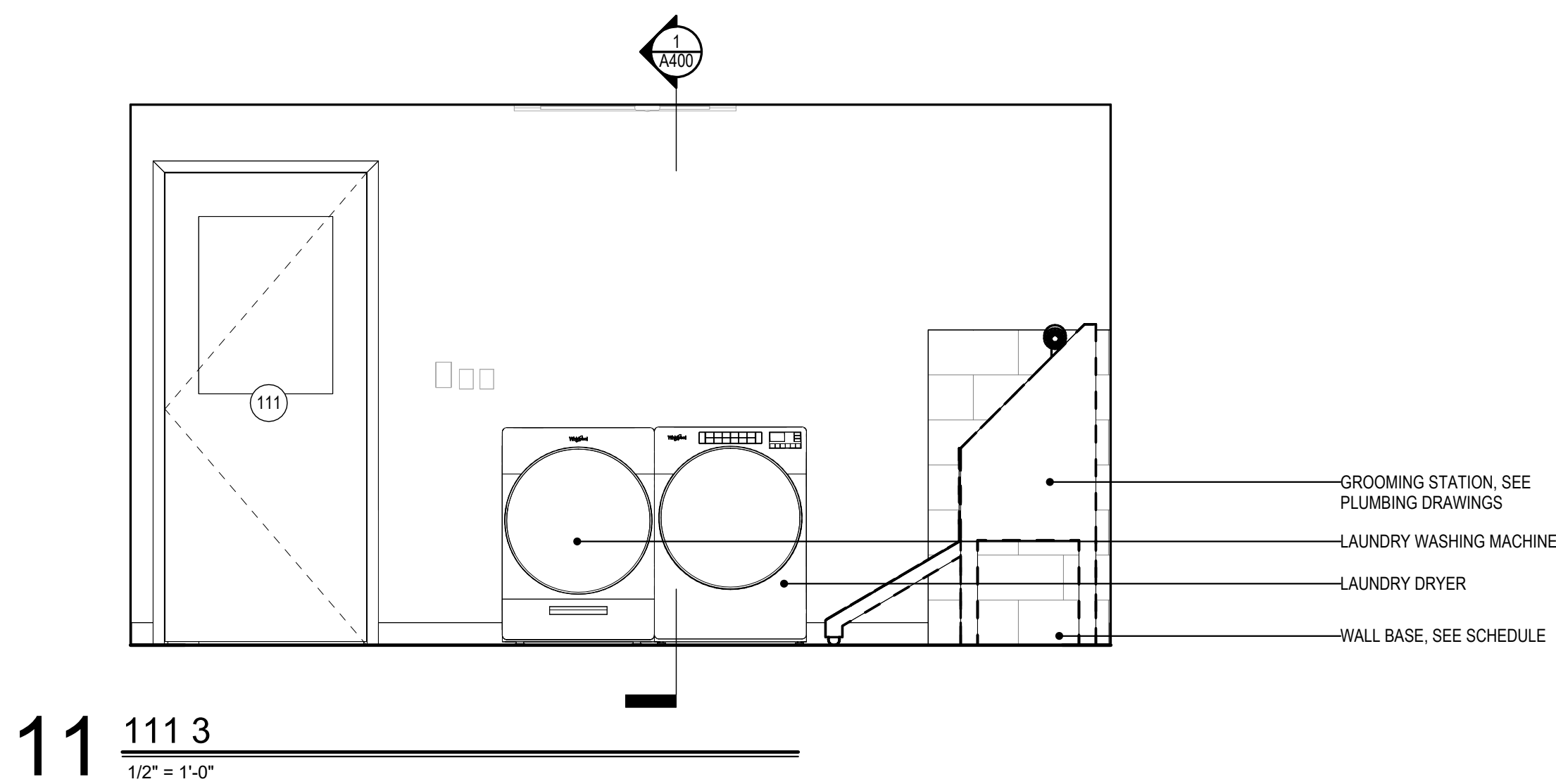
4 AL. FRAME WINDOW IN VEST. SILL & HEAD
3\"/>



2 DOUBLE HUNG WINDOW SILL & HEAD
3\"/>



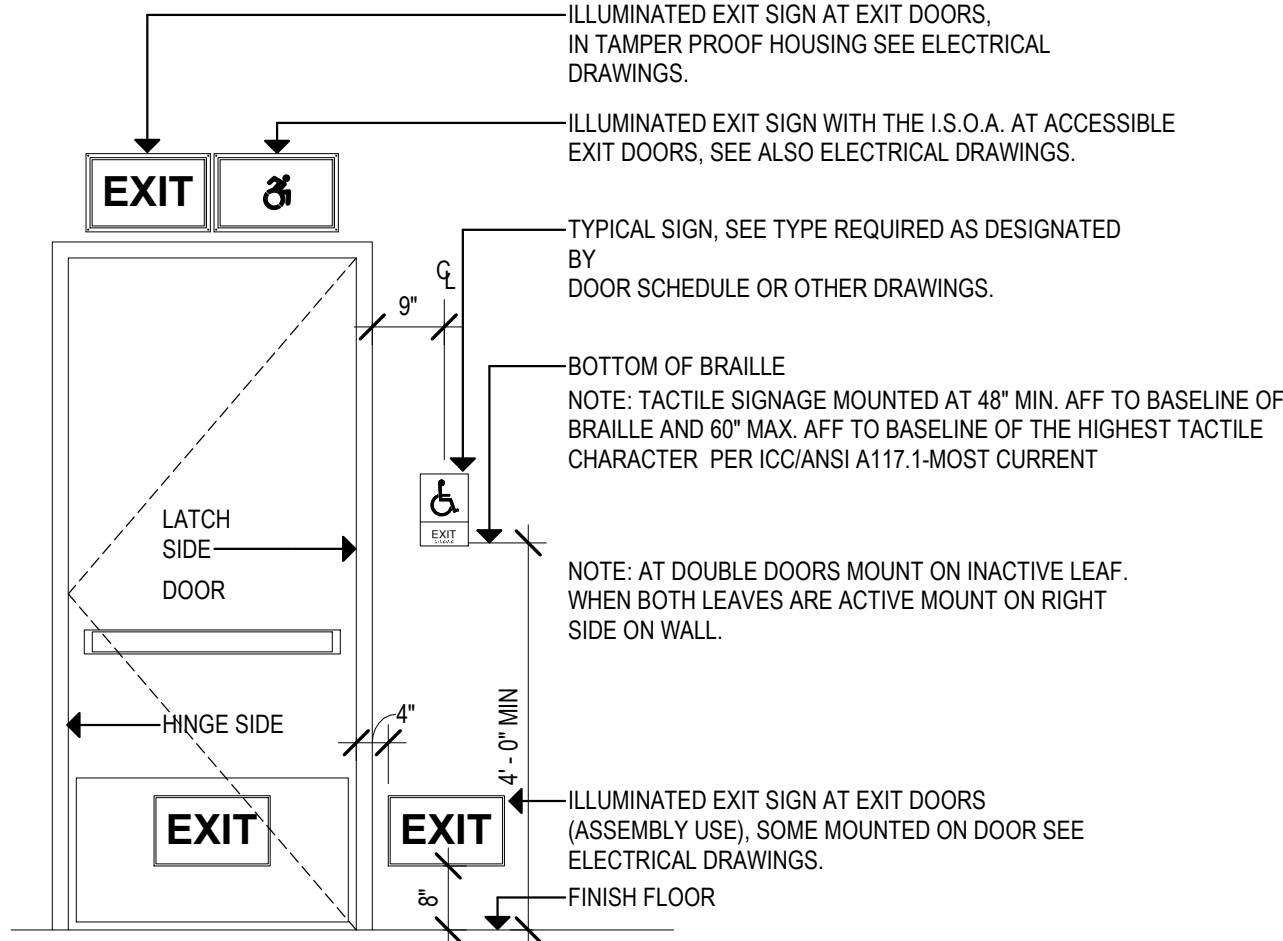
1 WINDOW ELEVATIONS
1/2\"/>



FINISH SCHEDULE									
NO.	NAME	FLOOR FINISH	BASE FINISH	NORTH WALL FINISH	SOUTH WALL FINISH	EAST WALL FINISH	WEST WALL FINISH	CEILING FINISH	COMMENTS
100	VESTIBULE	VCT	RUBBER WALL BASE	PAINT	PAINT	PAINT	PAINT	ACOUSTIC CEILING TILE	
101	CORR.	VCT	RUBBER WALL BASE	PAINT	PAINT	PAINT	PAINT	PAINT	
102	TOILET	EP	COVERED EP	PAINT	PAINT	PAINT	PAINT	PAINT	
103	CATTERY	VCT	RUBBER WALL BASE	PAINT	PAINT	PAINT	PAINT	ACOUSTIC CEILING TILE	
104	CATO	BRUSHED CONCRETE	--	--	--	--	--	--	
105	QUARANTINE CORR.	EP	COVERED EP	PAINT	PAINT	PAINT	PAINT	PAINT	
106	MECH.	EP	COVERED EP	PAINT	PAINT	PAINT	PAINT	ACOUSTIC CEILING TILE	
107	ITELEC.	EP	COVERED EP	PAINT	PAINT	PAINT	PAINT	ACOUSTIC CEILING TILE	
108	STOR.	VCT	RUBBER WALL BASE	PAINT	PAINT	PAINT	PAINT	ACOUSTIC CEILING TILE	
109	KENNEL CORR.	EP	COVERED EP	PAINT	PAINT	PAINT	PAINT	PAINT	
110	DRY STOR./FOOD PANTRY	VCT	RUBBER WALL BASE	PAINT	PAINT	PAINT	PAINT	ACOUSTIC CEILING TILE	
111	UTILITY / GROOMING	EP	RUBBER WALL BASE	PAINT	PAINT	PAINT	PAINT	ACOUSTIC CEILING TILE	
112	OFFICE	VCT	RUBBER WALL BASE	PAINT	PAINT	PAINT	PAINT	ACOUSTIC CEILING TILE	
200	ATTIC	--	--	--	--	--	--	--	

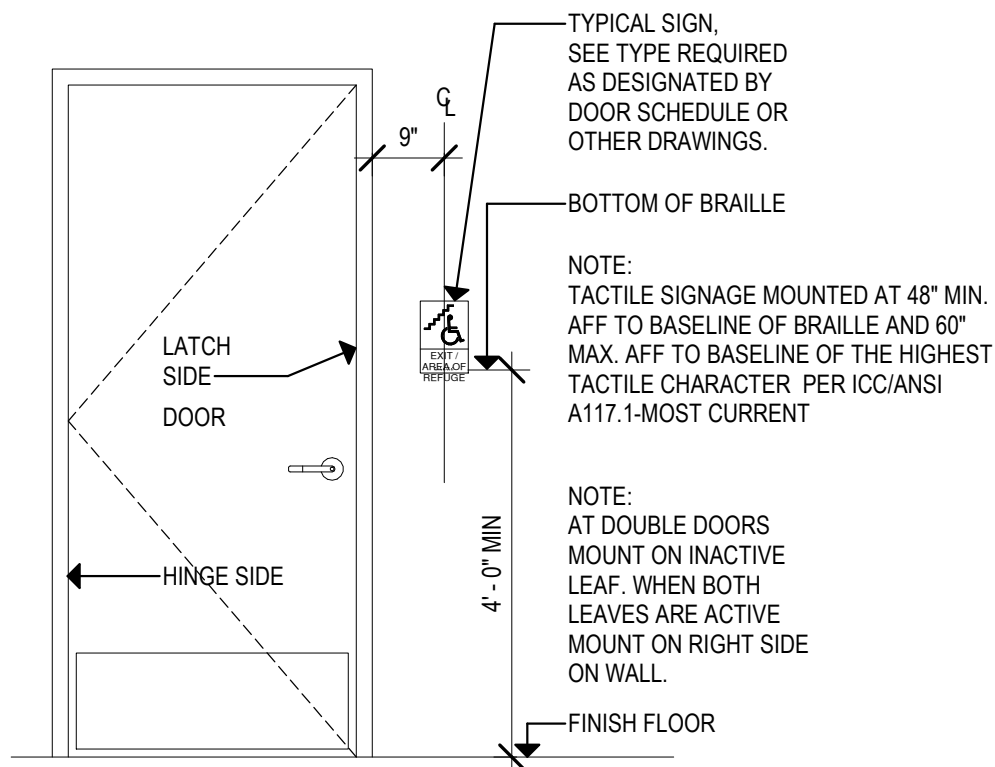
GENERAL FINISH NOTES:

- ALL COLORS TO BE SELECTED BY ARCHITECT FROM MANUFACTURER'S FULL RANGE OF STANDARD COLORS
- VCT FLOORING TO BE A "WOODLIKE" PATTERN
- EP FLOORING TO BE SLIP RESISTANT
- FLOOR TRANSITIONS BETWEEN VCT AND EP SHALL OCCUR AT DOOR THRESHOLD PER MANUFACTURER REQUIREMENTS



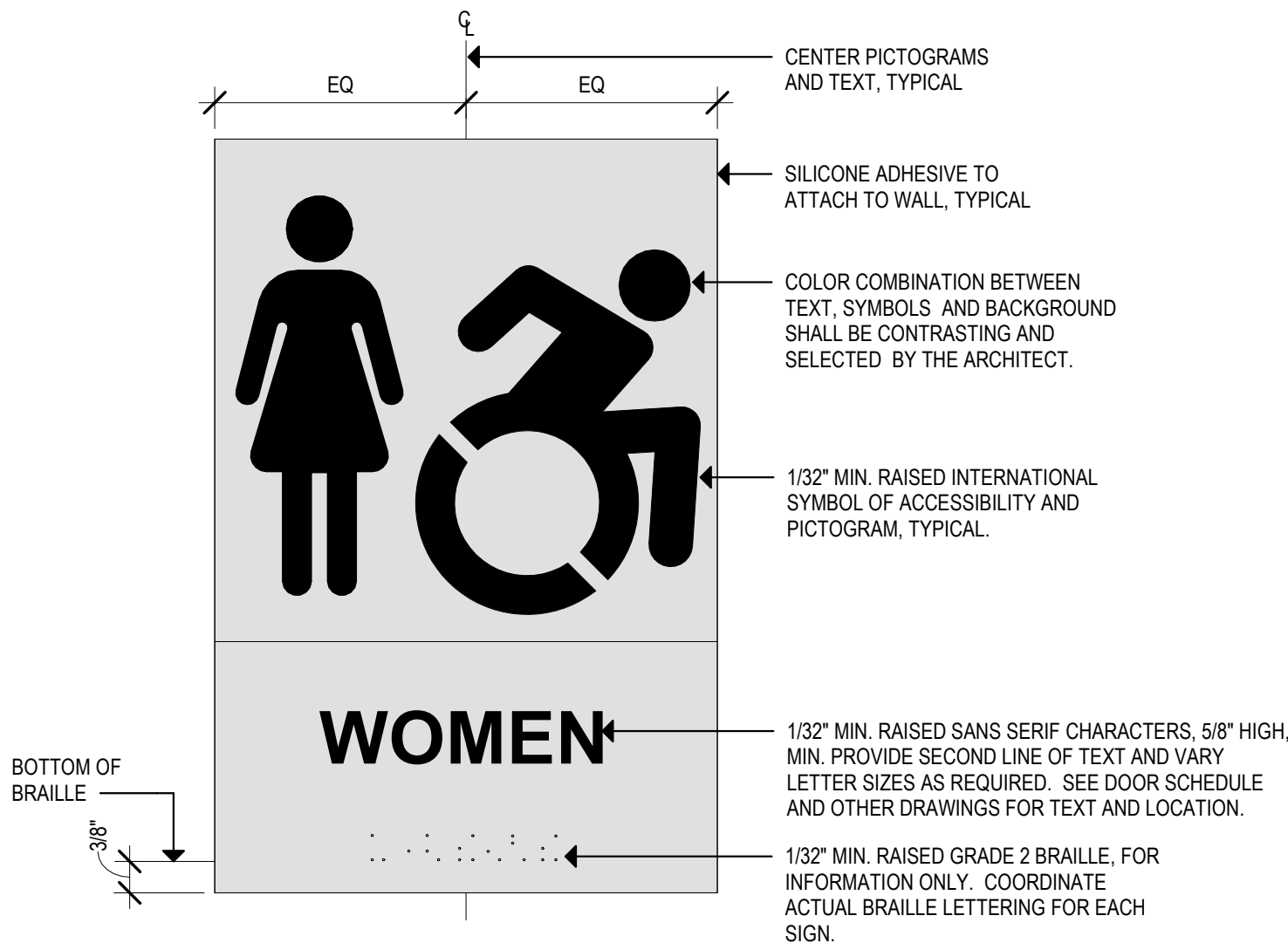
4 TYPICAL EXIT SIGN MOUNTING DETAIL

1/2" = 1'-0"



3 TYPICAL SIGN MOUNTING DETAIL

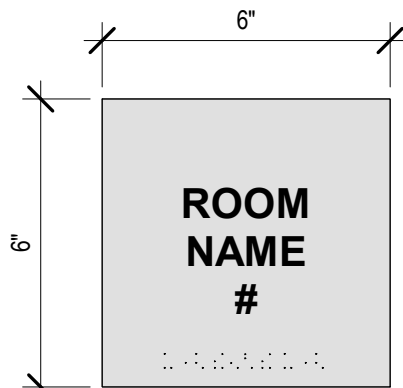
1/2" = 1'-0"



2 TYPICAL SIGN DETAIL

6" = 1'-0"

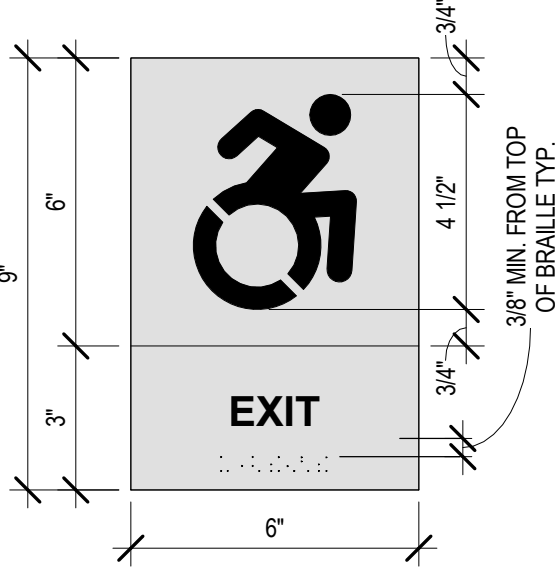
NOTE: COORDINATE TEXT AS INDICATED ON PLAN OR DOOR SCHEDULE. NOTE: COORDINATE TEXT AS INDICATED ON DOOR SCHEDULE. ADJUST FOR ONE-LINE TEXT. NOTE: COORDINATE TEXT AS INDICATED ON PLAN OR DOOR SCHEDULE.



TYPE S1



TYPE S2

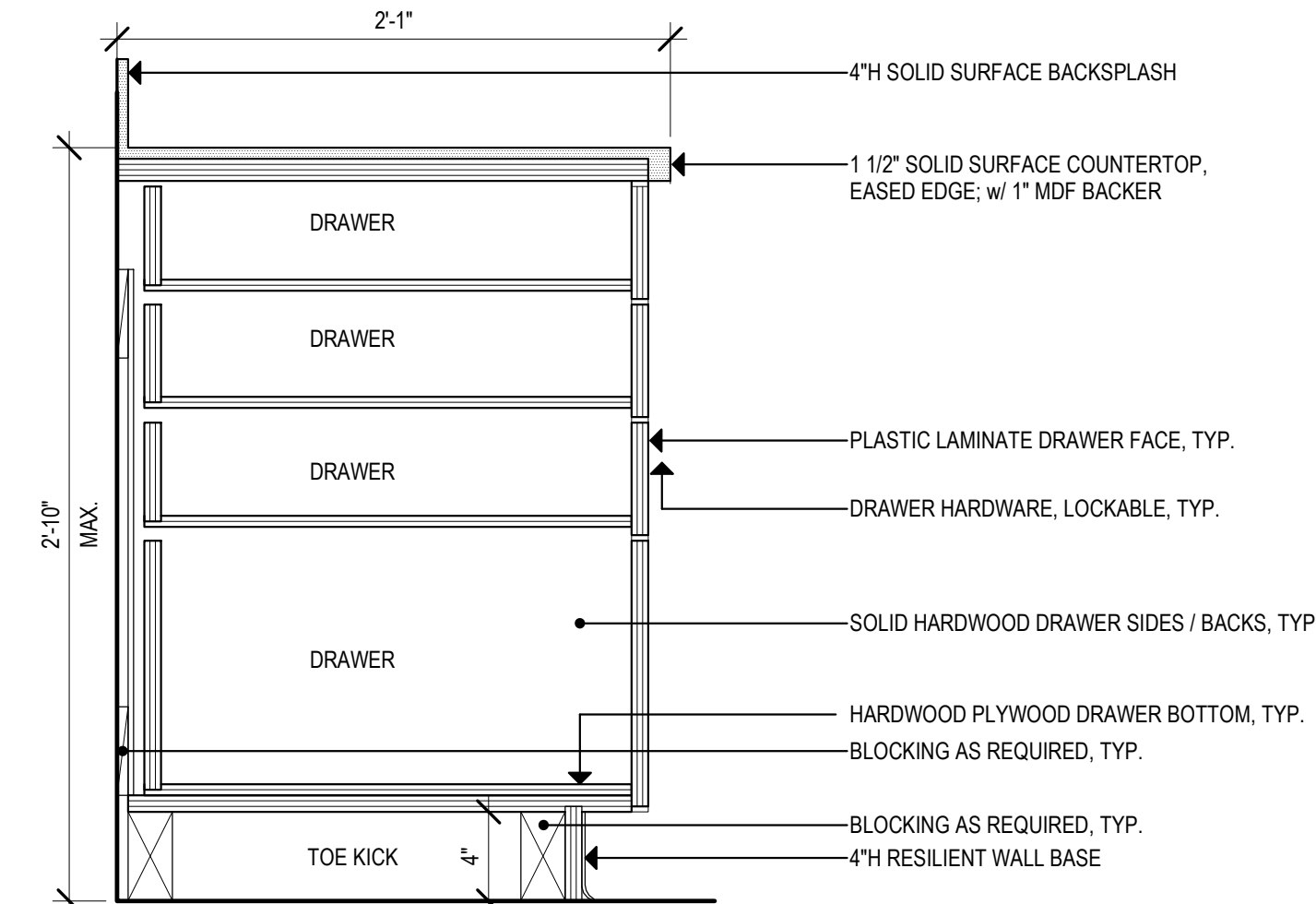


TYPE S3

- SIGNAGE NOTES:
- SIGNS SHALL COMPLY WITH CURRENT BUILDING CODE, ANSI STANDARDS, ADA REGULATIONS AND GUIDELINES, AND ALL OTHER APPLICABLE REGULATIONS.
 - TEXT ON SIGNS SHALL BE COORDINATED IN FIELD TO REFLECT ROOM USE, AND SHALL BE APPROVED BY ARCHITECT AND OWNER PRIOR TO FABRICATION.
 - SEE ALSO TYPICAL SIGN DETAIL AND TYPICAL SIGN MOUNTING DETAILS ON THIS DRAWING.
 - SEE ELECTRICAL DRAWINGS FOR ALL ILLUMINATED SIGNAGE.

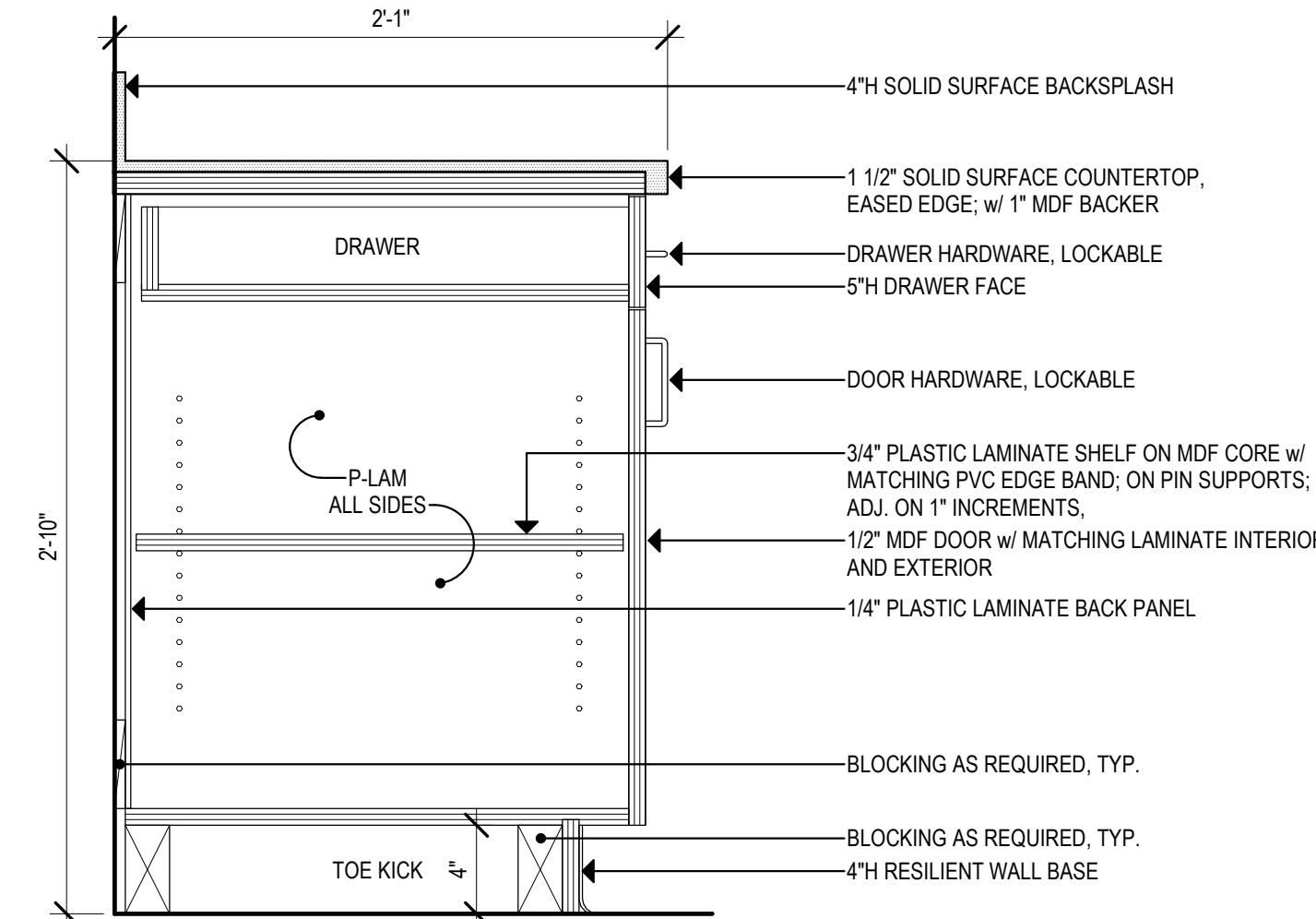
1 SIGNAGE TYPE ELEVATIONS

3" = 1'-0"



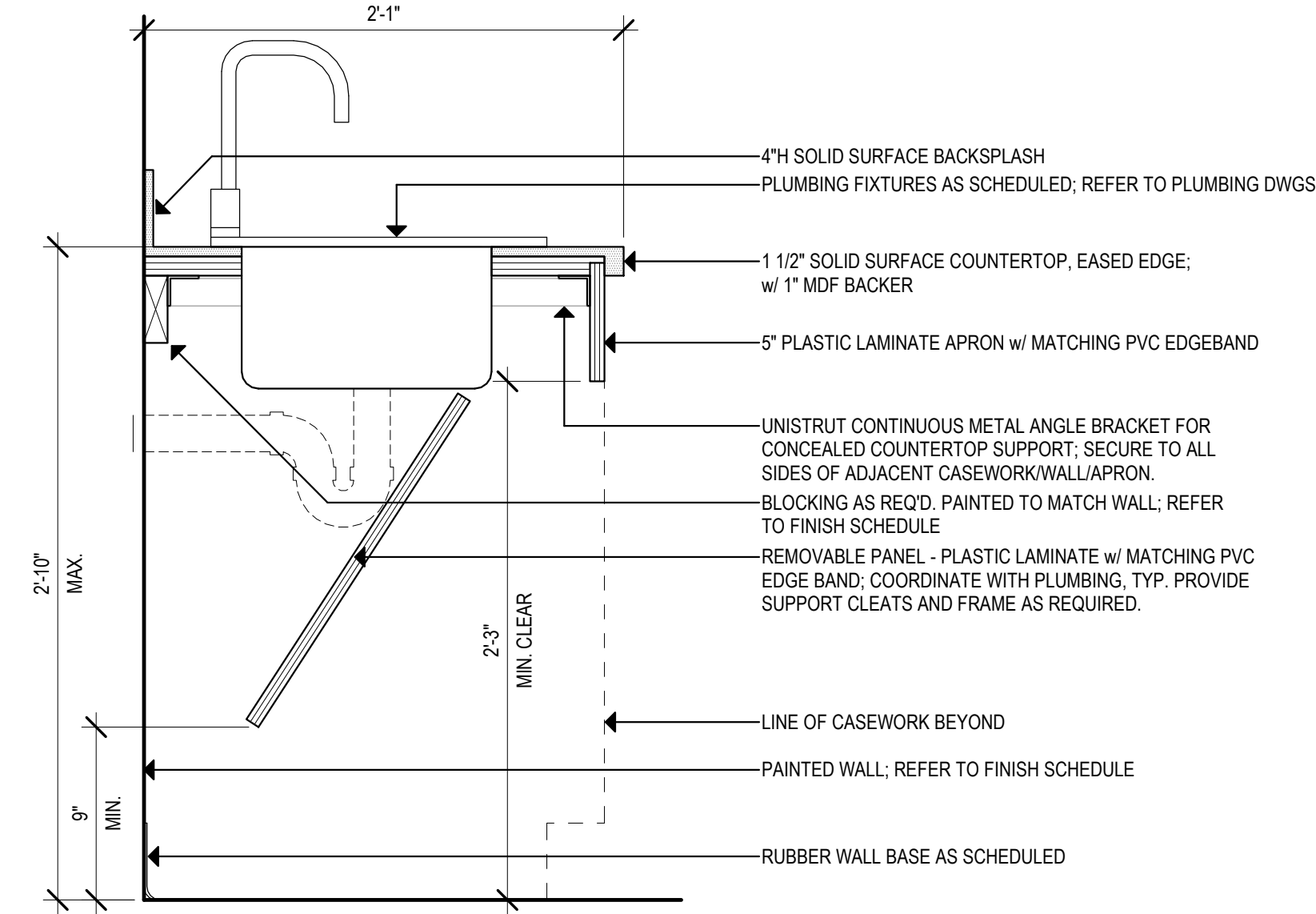
7 LOWER FOUR DRAWERS DETAIL

1 1/2" = 1'-0"



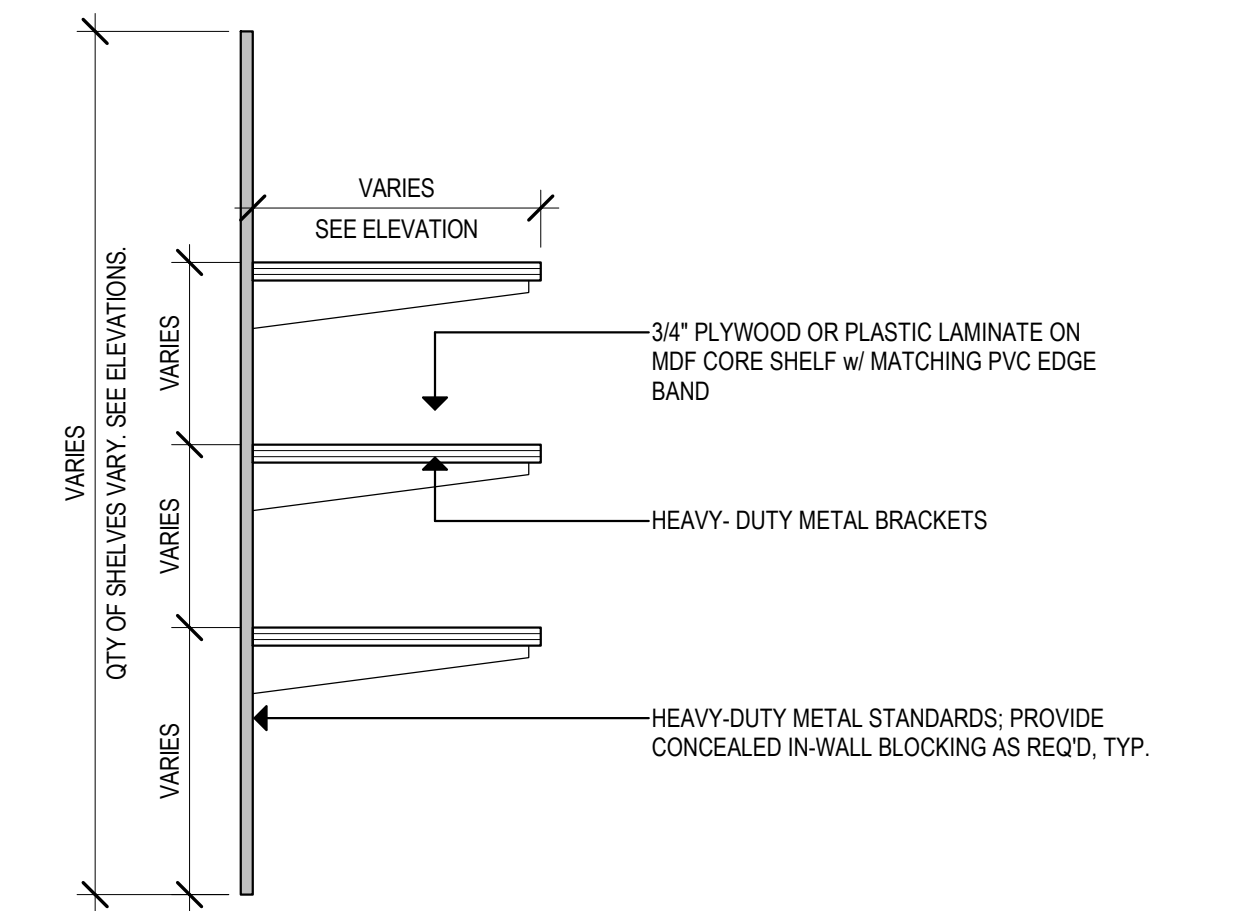
6 LOWER CABINET WITH DRAWER DETAIL

1 1/2" = 1'-0"



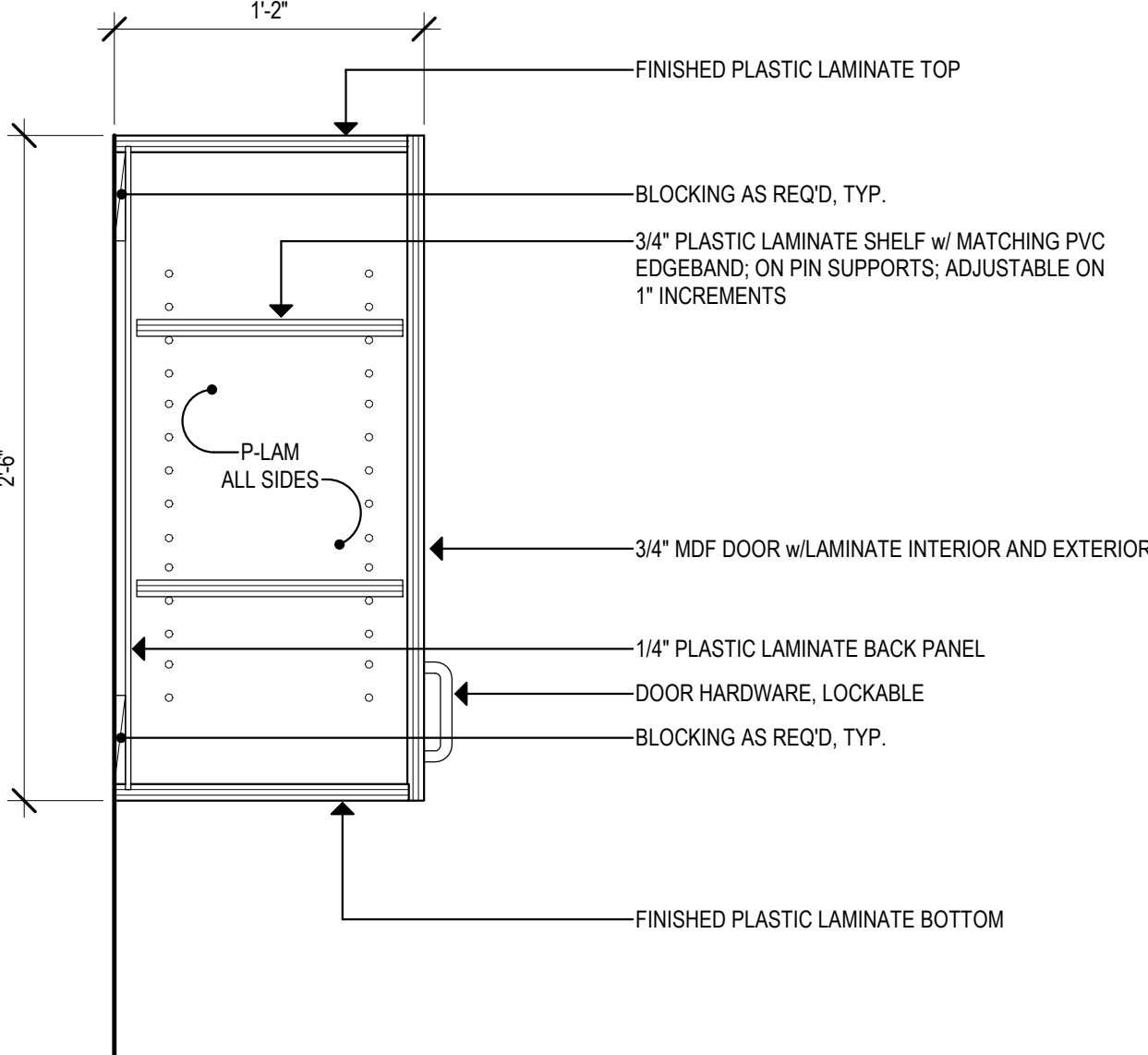
5 ACCESSIBLE SINK DETAIL

1 1/2" = 1'-0"



9 SHELVING DETAIL

1 1/2" = 1'-0"



8 UPPER CABINET DETAIL

1 1/2" = 1'-0"

Project Title:
NEW ANIMAL FACILITY AT:
MONTVILLE ANIMAL SHELTER
225 Maple Ave. Parcel ID: 077-041-000
Montville, CT



SILVER PETRUCCELLI + ASSOCIATES

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311 STATE STREET NEW LONDON CT 06320
203 230 9007 silverpetrucci.com

Revision	Description	Date	Revised By
1	ISSUED FOR BID	09/27/2024	

Drawing Title:
SIGNAGE DETAILS, FINISH SCHEDULE
& CASEWORK DETAILS

Date:
09/27/2024
Scale:
As Indicated
Drawn By:
MES
Project Number:
22.130

Drawing Number:

A910