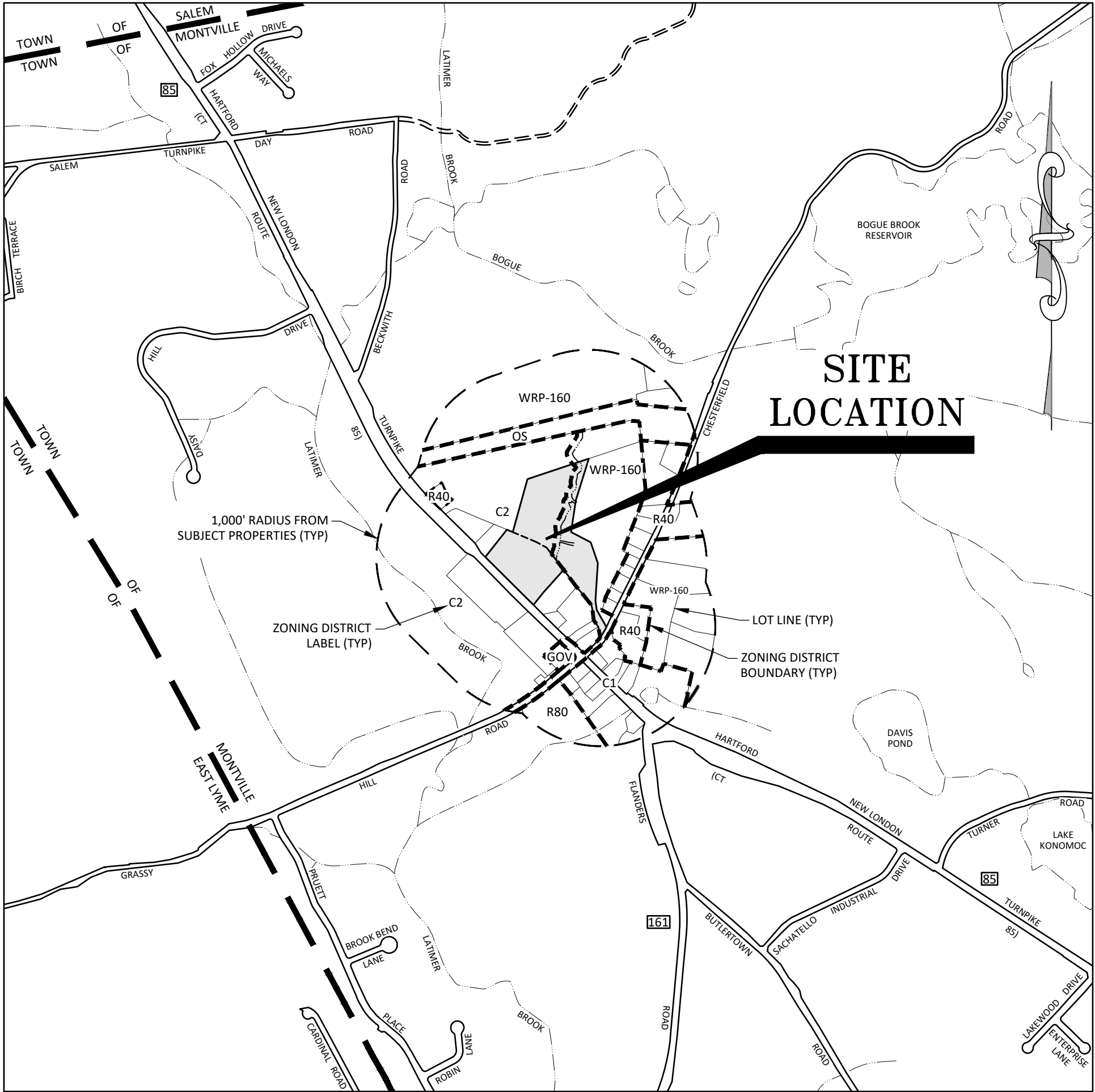


Site Development Plans

Prepared For
Cricket's Corner, LLC
1645 Route 85
Montville, Connecticut
February 2025



Location Map
Scale: 1" = 1,000'

FOR REVIEW AND
PERMITTING ONLY

Sheet No.	Description
1	Cover Sheet
2	Existing Conditions
3	Existing Conditions
4	Overall Site Development Plan & Key Map
5	Site Layout - South
6	Site Layout - North
7	Subsurface Sewage Disposal System Design Plan
8	Driveway Profile
9	Sight Line Demonstration Plan
10	Lighting & Landscape Plan
11	Notes & Details
12	Notes & Details
13	Notes & Details
Applicants/Owners:	Cricket's Corner, LLC c/o Roger L. Phillips 1650 Route 85 Oakdale, CT 06370
Subject Properties:	1645 Route 85 012-009-000 Area: 5.95± Acres Deed Reference: Volume 701, Page 64 879 Chesterfield Road 005-015-00C Area: 11.15± Acres Deed Reference: Volume 701, Page 91

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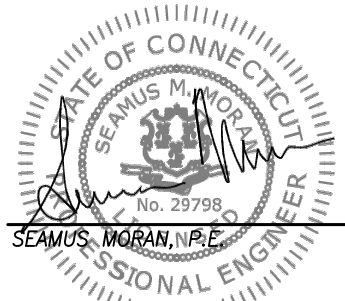
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860-680-8008
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APPROVED BY THE TOWN OF MONTVILLE PLANNING
AND ZONING COMMISSION

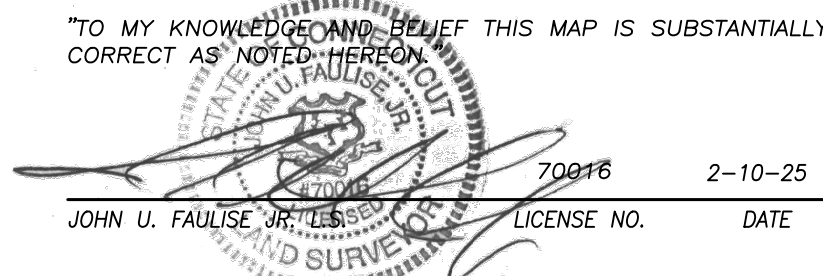
I have delineated the inland wetlands and watercourses as shown on the subject site plans
in accordance with the standards and definitions found in the Connecticut General
Statutes, Chapter 440, Sections 22a-36 through 22a-45 as amended.

[Signature]

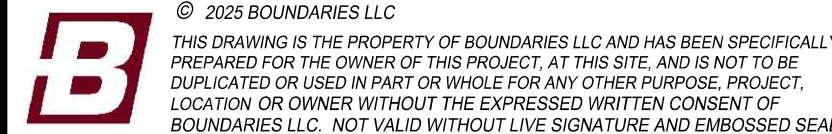
Ian T. Cole, P.W.S. #2006, Registered Soil Scientist



29798 2-10-25
LICENSE NO. DATE




70016 2-10-25
LICENSE NO. DATE



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TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY
CORRECT AS NOTED HEREON.



JOHN U. FAULISE JR. LICENSE NO. 70016 DATE 2-10-25

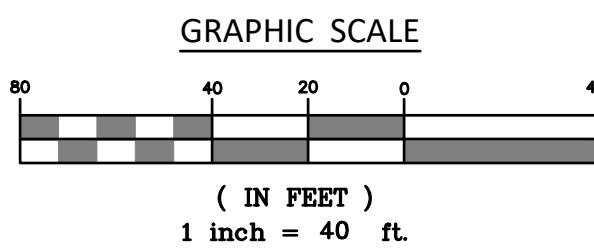
SEE SHEET 3 FOR LEGEND AND ABBREVIATIONS

13

P:\CIVIL 3D PROJECTS\2024\24-3432 ROGEC PHILLIPS.DWG\DESIGN\24-3432 PHILLIPS DAYCARE SITE PLAN.DWG



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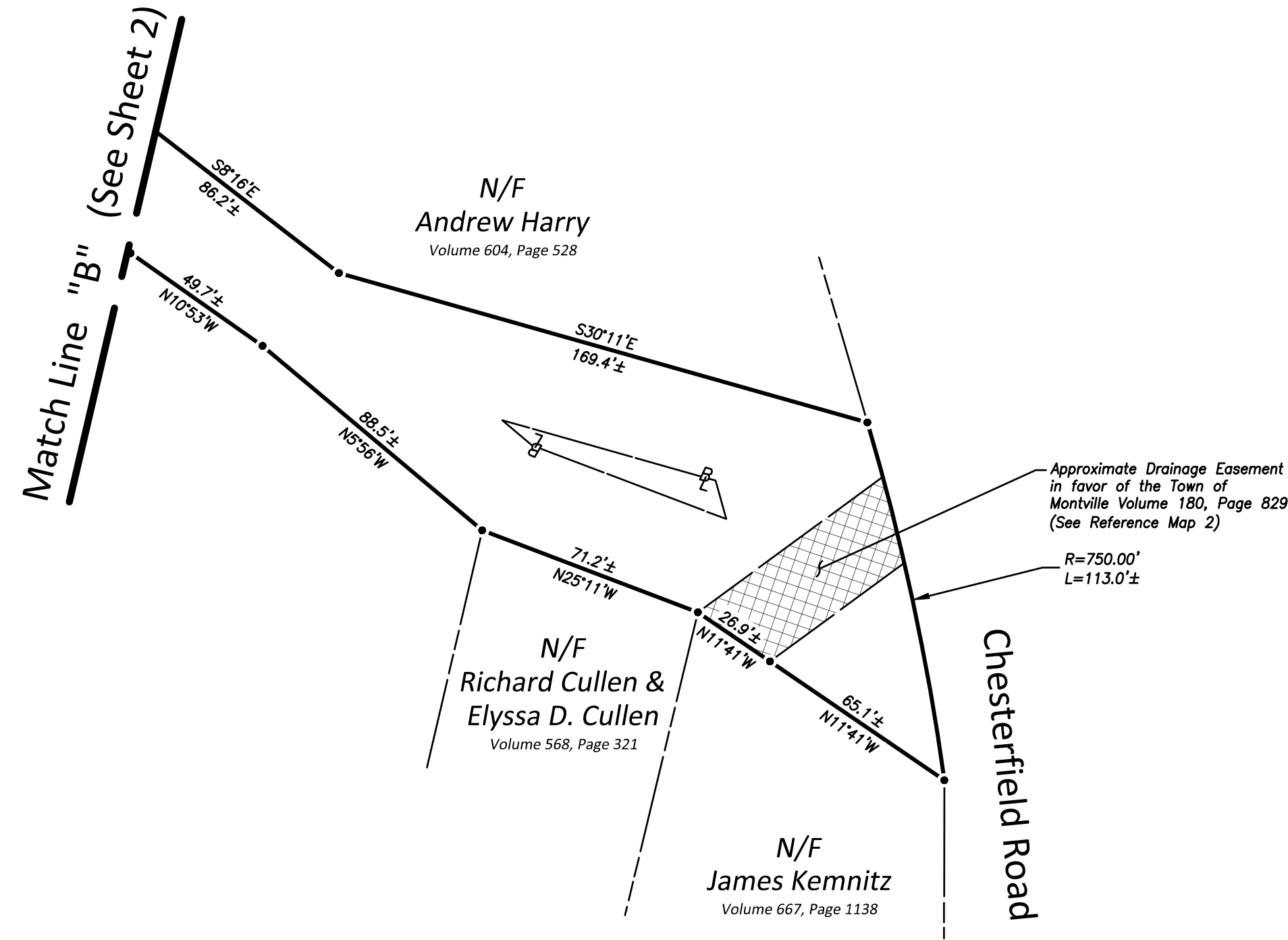
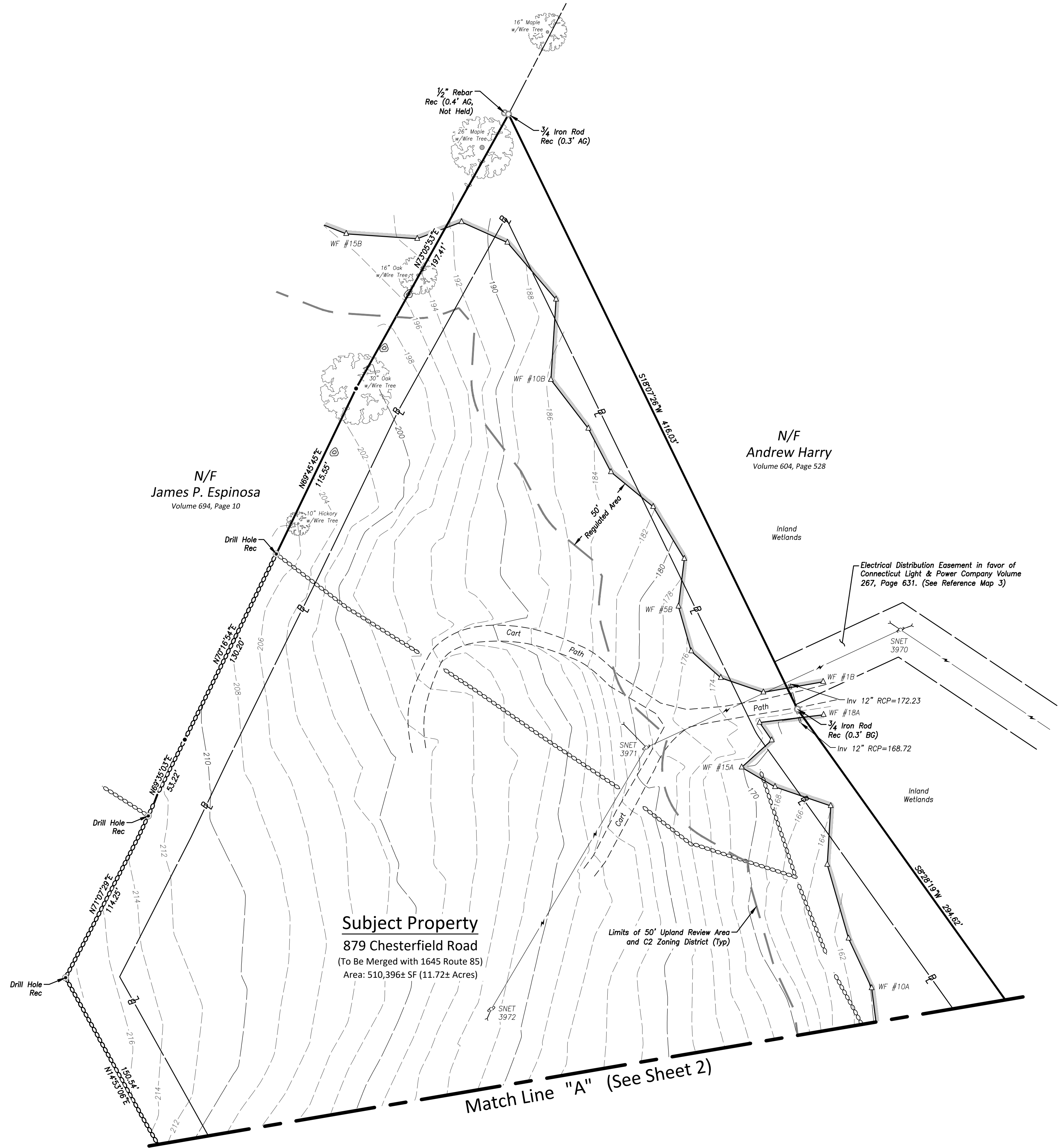
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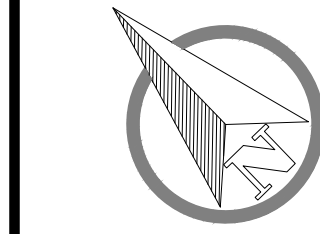
JOHN U. FAULSE JR.
LICENSE NO. 70816
DATE 2-10-25

LEGEND & ABBREVIATIONS

±	MORE OR LESS	x 180.0	EXISTING SPOT ELEVATION
TYP	TYPICAL	x 180.0	PROPOSED SPOT ELEVATION
PVC	POLYVINYL CHLORIDE	— B	BUILDING SETBACK LINE
RCP	REINFORCED CONCRETE PIPE	— 180	EXISTING CONTOUR
SF	SQUARE FEET	— 180	PROPOSED CONTOUR
FF	FINISHED FLOOR	—	TREE LINE
ELEV	ELEVATION	—	LIMITS OF CLEARING
SSDS	SUBSURFACE SEWAGE DISPOSAL SYSTEM	—	STONE WALL
INV	INVERT	—	STONE WALL REMAINS
TF	TOP OF FRAME	—	RETAINING WALL
LF	LINEAR FEET	—	CHAIN-LINK FENCE
S	SLOPE	—	OVERHEAD WIRES
R	RADIUS	— U	UNDERGROUND UTILITIES
SCHED	SCHEDULE	— E/W	ELECTRIC & WATER
CB	CATCH BASIN	— RD	ROOF DRAIN
RD	ROOF DRAIN	— FD	FOOTING DRAIN
P-CB	PROPOSED CATCH BASIN	○	REBAR, IRON PIPE OR IRON ROD
P-YD	PROPOSED YARD DRAIN	○	DRILL HOLE
P-FEU	PROPOSED FLARED END UNIT	□	MONUMENT
BC	BOTTOM OF CURB	•	ANGLE POINT
TC	TOP OF CURB	△	STONE PILE
W/	WITH	△	STONE ON STONE
CHD	CONNECTICUT HIGHWAY DEPARTMENT	○	UTILITY POLE
MON	MONUMENT	○	UTILITY POLE WITH LIGHT
REC	RECOVERED	Y	GUY WIRE
AG	ABOVE GRADE	□	CATCH BASIN
BG	BELOW GRADE	○	YARD DRAIN
AT&T	AMERICAN TELEPHONE & TELEGRAPH	—	SIGN
SNET	SOUTHERN NEW ENGLAND TELEPHONE	—	TEST PIT
FRNT	FRONTIER	—	PERCOLATION TEST
N/F	NOW OR FORMERLY	—	WELL
MB	MAILBOX	—	WETLAND FLAG
TBR	TO BE REMOVED		



Improvement Location & Topographic Survey
"Existing Conditions"
Prepared For
Cricket's Corner, LLC
1645 Route 85 - Montville, Connecticut



SCALE: 1" = 40'
DATE: February 2025
JOB I.D. NO. 24-3432
Revisions

SHEET NO.
3
13

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ZONING COMPLIANCE TABLE: COMMERCIAL-2 (C-2)			
ITEM	REQUIRED	1645 ROUTE 85	879 CHESTERFIELD RD
MINIMUM LOT SIZE	40,000 SF	268,543± SF	510,396± SF
MINIMUM LOT FRONTAGE	80 FT	633.51 FT	113.0± FT
MINIMUM FRONT YARD	50 FT	N/A*	1,117.1± FT
MINIMUM SIDE YARD	30 FT	N/A*	117.9± FT
MINIMUM REAR YARD	30 FT	N/A*	320.2± FT
WATER SUPPLY		PRIVATE WELL	
SANITARY		ON-SITE SSDS	

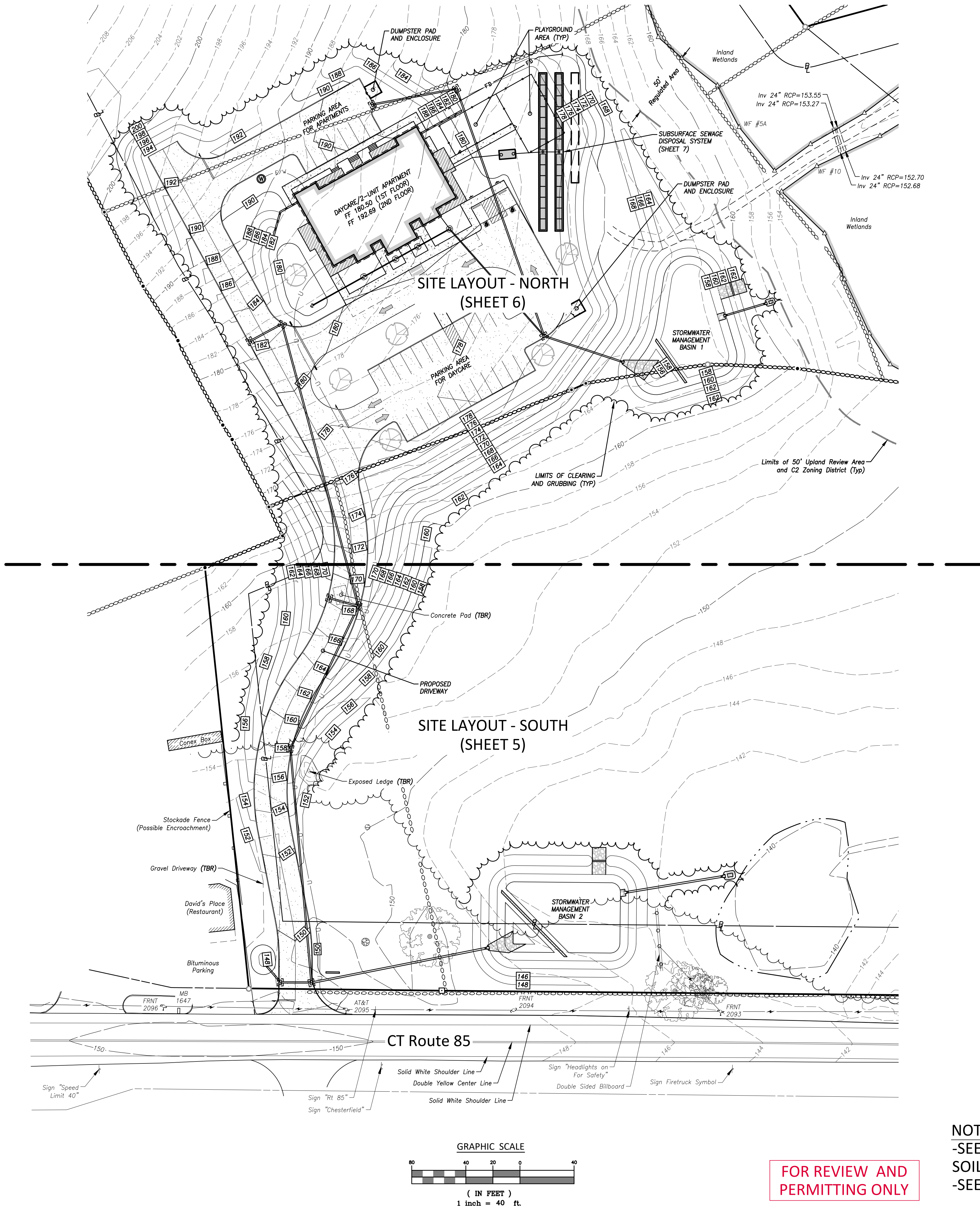
*PROPOSED BUILDING TO BE LOCATED ON 879 CHESTERFIELD RD ONLY

PARKING REQUIREMENTS: DAYCARE			
ITEM	REQUIRED	PROVIDED	
① 51 PUPILS @ 1 SPACE PER 6 STUDENTS*	8 1/2	10	
① 13 EMPLOYEES @ 1 SPACE PER EMPLOYEE	13	13	
△ ADA ACCESSIBLE @ 1 SPACE PER 25 SPACES	1	2	
TOTAL SPACES	22 1/2	25	

*PER CITY OF NORWICH ZONING REGULATIONS (MONTVILLE DOES NOT SPECIFY DAYCARE REQUIREMENT)

PARKING REQUIREMENTS: 2-UNIT APARTMENT			
ITEM	REQUIRED	PROVIDED	
① 2-UNITS @ 2.5 SPACES PER UNIT*	5	7	
TOTAL SPACES	5	7	

*PER SECTION 18.3.2 OF TOWN OF MONTVILLE ZONING REGULATIONS



NOTES:
-SEE SHEET 1 FOR ENGINEER, SURVEYOR AND
SOIL SCIENTIST SIGNATURES AND SEALS
-SEE SHEET 3 FOR LEGEND AND ABBREVIATIONS

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Improvement Location & Topographic Survey
"Overall Site Development Plan & Key Map"
Prepared For
Cricket's Corner, LLC
1645 Route 85 - Montville, Connecticut

SCALE: 1" = 40'
DATE: February 2025
JOB I.D. NO. 24-3432
Revisions

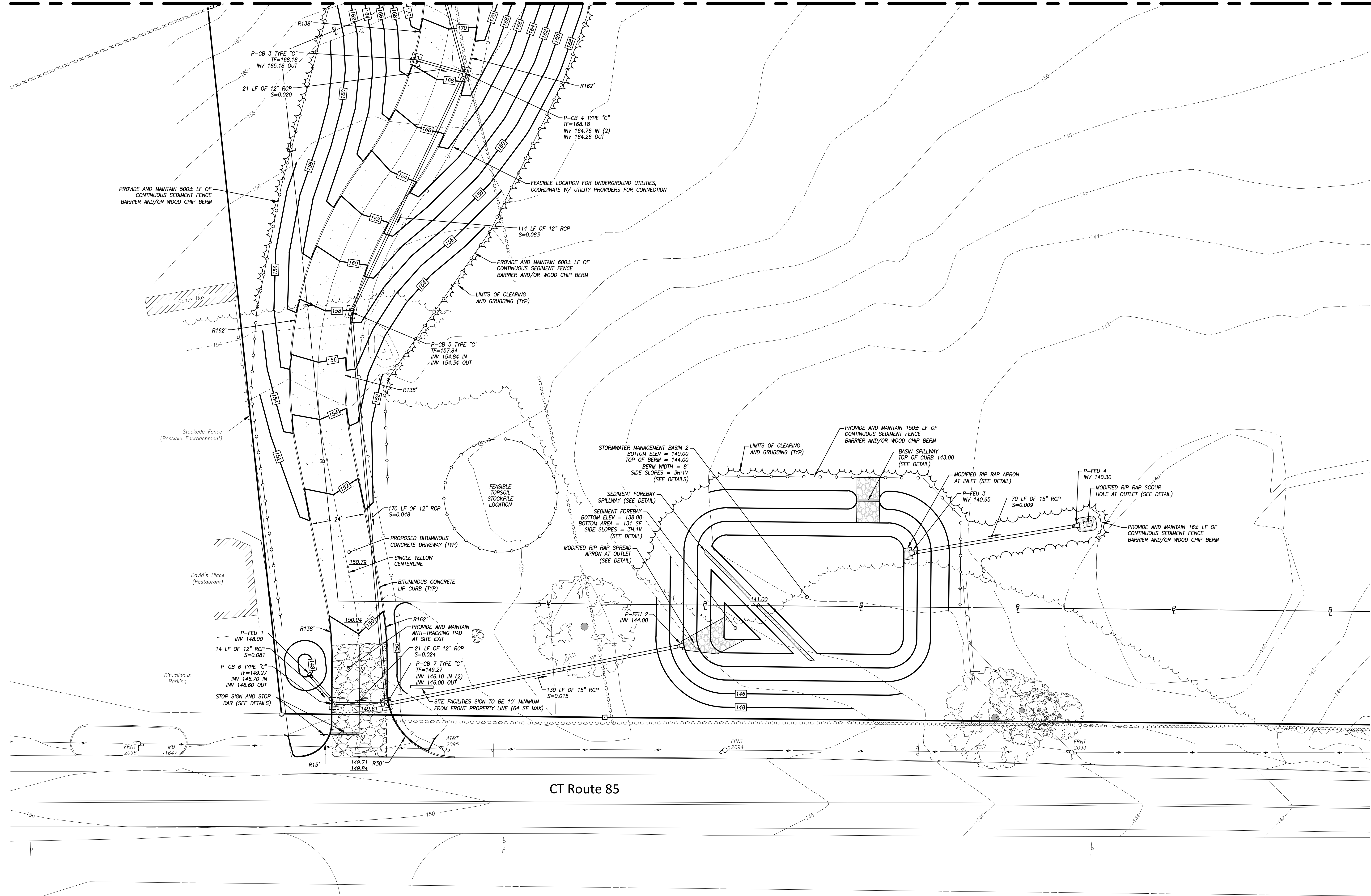
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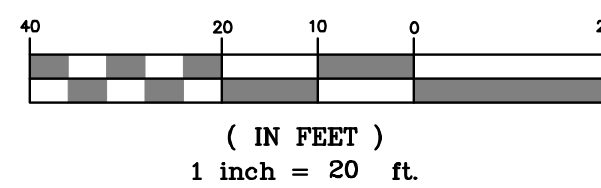
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Match Line (See Sheet 6)



CT Route 85

GRAPHIC SCALE



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NOTES:

-SEE SHEET 1 FOR ENGINEER, SURVEYOR AND
SOIL SCIENTIST SIGNATURES AND SEALS
-SEE SHEET 3 FOR LEGEND AND ABBREVIATIONS

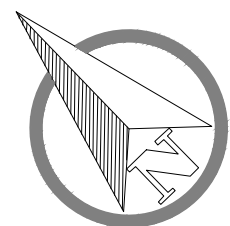
Improvement Location & Topographic Survey

"Site Layout - South"

Prepared For

Cricket's Corner, LLC

1645 Route 85 - Montville, Connecticut



SCALE: 1" = 20'

DATE: February 2025

JOB I.D. NO. 24-3432

Revisions

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TEST HOLES WERE PERFORMED ON SEPTEMBER 25, 2024 AND WITNESSED BY ALYSSA BROCHU, R.E.H.S./R.S. OF THE UNCAS HEALTH DISTRICT.

TP#1
0" - 7" TOPSOIL
7" - 38" ORANGE BROWN FINE SAND W/ LOAM
38" - 115" LIGHT BROWN COARSE SAND & GRAVEL W/ ROCKS
NO MOTTLING, NO GROUNDWATER, NO LEDGE
ROOTS TO 38", RESTRICTIVE @ 115"

TP#2
0"- 6" TOPSOIL
6"- 37" ORANGE BROWN FINE SAND W/ LOAM
37"- 104" LIGHT BROWN COARSE SAND & GRAVEL W/ ROCKS
NO MOTTLING, NO GROUNDWATER, NO LEDGE
ROOTS TO 37", RESTRICTIVE @ 104"

TP#3
0" - 7" TOPSOIL
7" - 28" ORANGE BROWN FINE SAND
28" - 65" LIGHT BROWN COARSE SAND & GRAVEL W/ ROCKS
NO MOTTLING, NO GROUNDWATER, LEDGE @ 53-65"
ROOTS TO 53", RESTRICTIVE @ 53"

TP#4
0" - 5" TOPSOIL
5" - 29" ORANGE BROWN FINE SAND
29" - 99" LIGHT BROWN COARSE SAND & GRAVEL W/ ROCKS
NO MOTTLING, NO GROUNDWATER, NO LEDGE
ROOTS TO 56", RESTRICTIVE @ 99"

TP#5
0"- 6" TOPSOIL
6"- 25" ORANGE BROWN FINE SAND
25"- 108" LIGHT BROWN COARSE SAND & GRAVEL W/ ROCKS
NO MOTTLING, NO GROUNDWATER, NO LEDGE
ROOTS TO 85", **RESTRICTIVE @ 108"**

PERCOLATION TESTS WERE PERFORMED ON SEPTEMBER 25, 2024
BY BOUNDARIES, LLC.

P-1	P-2
DEPTH = 26"	DEPTH = 24"
PRESOAK @ 3:20	PRESOAK @ 3:35

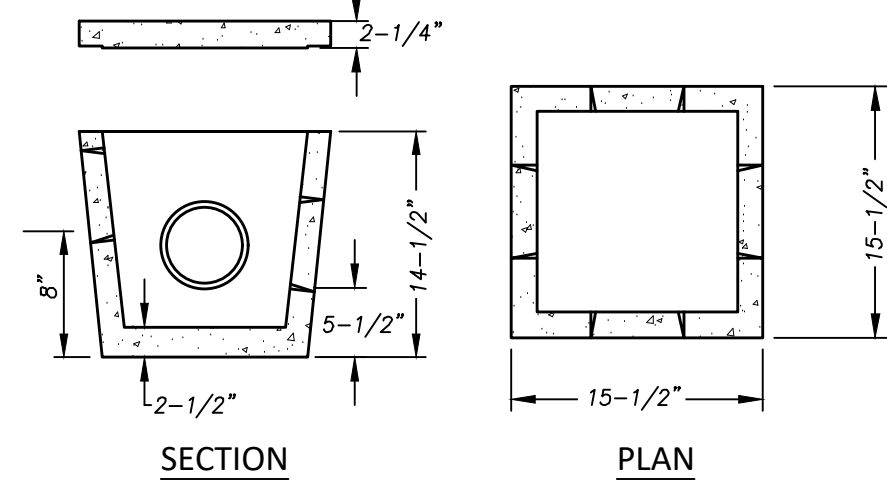
<i>TIME</i>	<i>READING</i>	<i>TIME</i>	<i>READING</i>
4:25	8-3/4"	4:26	7-1/2"
4:30	12-3/4"	4:31	11-1/4"
4:35	15-1/4"	4:36	13-1/2"
4:40	17-1/4"	4:41	15-1/2"
4:45	18-3/4"	4:46	16-3/4"
4:50	20"	4:51	18"
4:55	20-3/4"	4:56	19"
5:00	21-1/2"	5:01	19-3/4"
5:05	22-1/4"	5:06	20-1/2"
5:10	23"	5:11	21-1/2"
5:15	23-3/4"	5:16	22-1/4"
5:20	DRY	5:21	DRY

PERCOLATION RATE AT 26"
DEPTH = 6.7 MINUTES/INCH

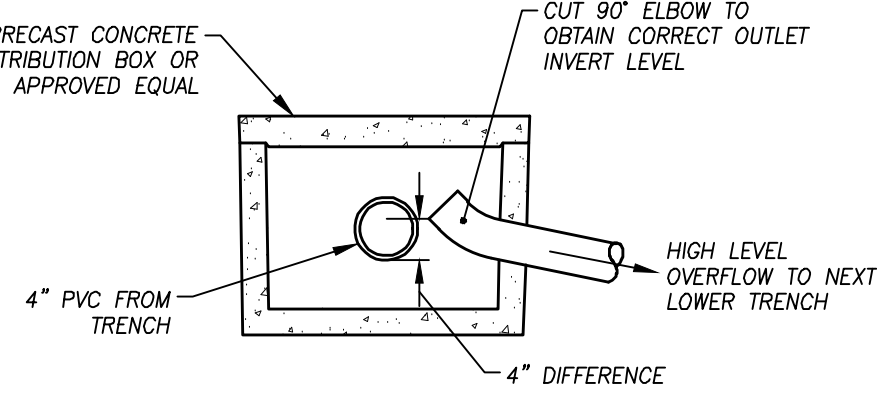
PROPOSED 551-PUPIL DAYCARE CENTER & 6-BEDROOM, 2-UNIT APARTMENT
DESIGN PERCOLATION RATE < 10.1 MINUTES/INCH
DESIGN FLOW:
DAYCARE = 51 PUPILS X 10 GPD/PUPIL = 510 GPD
APARTMENTS = 150 GPD X 3 BEDROOMS + (125 GPD X 3 BEDROOMS) = 825 GPD
LEACHING AREA REQUIRED = 1,338 SF
DAYCARE = 51 GPD/1.5 APP. RATE = 340 SF EFFECTIVE
APARTMENTS = 495 SF X (3 X 137.5 SF) = 907.5 SF EFFECTIVE
TOTAL REQUIRED = 1,247.5 SF
DESIGN: 3,000 GALLONS SEPTIC TANK AND 2 CROWNS OVER 116" OF 12" HIGH, 4" WIDE CONCRETE
LEACHING CHANNELS SURROUNDED W/ 12" OF CRUSHED STONE
LEACHING AREA PROVIDED = 1,368 SF EFFECTIVE (116 LUX X 2 X 5.9 SF/FT)
1026 LBS OF MEDIA PROVIDED = 1026 LBS OF 1/2" TO 2" LEACHING MEDIA
INSTALLED PER MANUFACTURER'S SPECIFICATIONS (1,466 SF EFFECTIVE)

MINIMUM LEACHING SYSTEM SPREAD (MLSS) CALCULATION

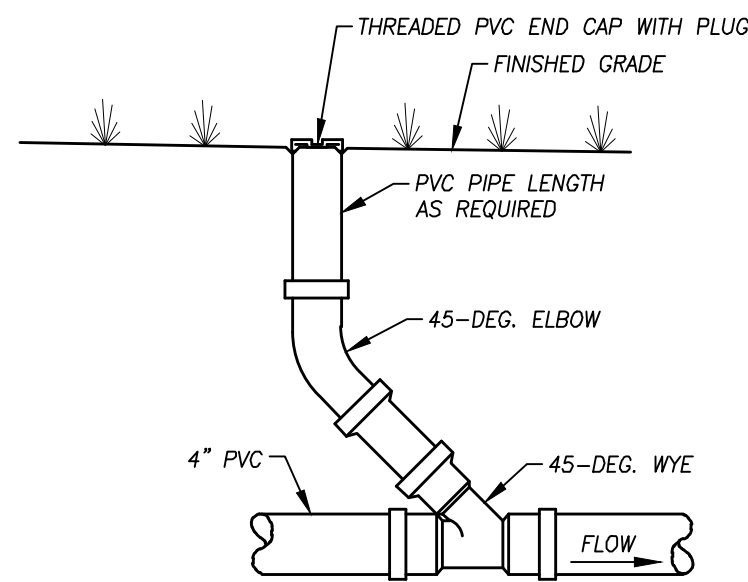
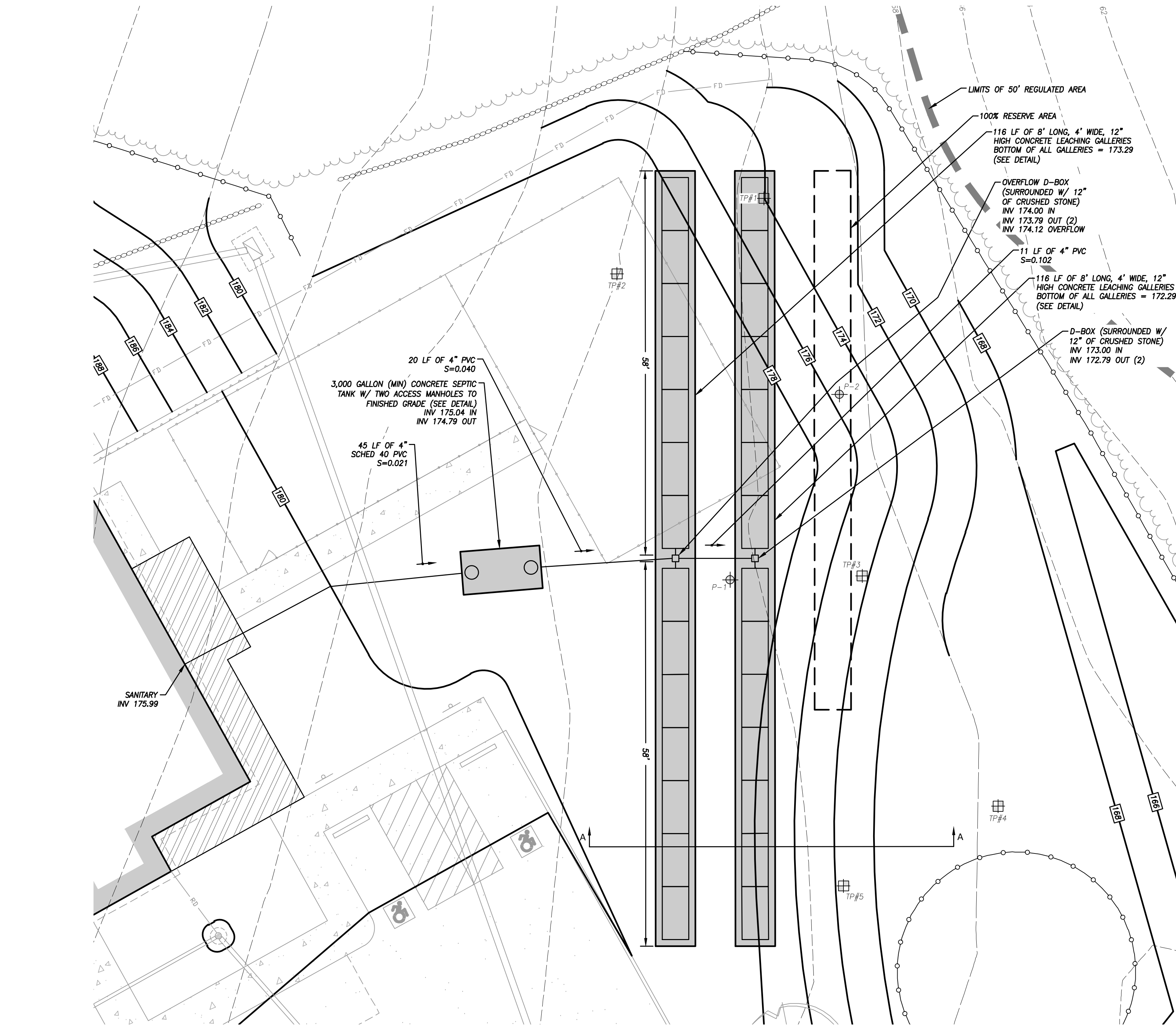
HYDRAULIC GRADIENT	= 6.38
RECEIVING SOIL (TP#3)	= 53"
HYDRAULIC FACTOR	= 18
FLOW FACTOR (DESIGN FLOW/300)	
(510 GPD + 825 GPD)/300	= 4.45
PERCOLATION FACTOR FOR UP TO 10.0 MIN/INCH	= 1.0
MLSS REQUIRED	= 80.7%
MLSS PROVIDED	= 116%



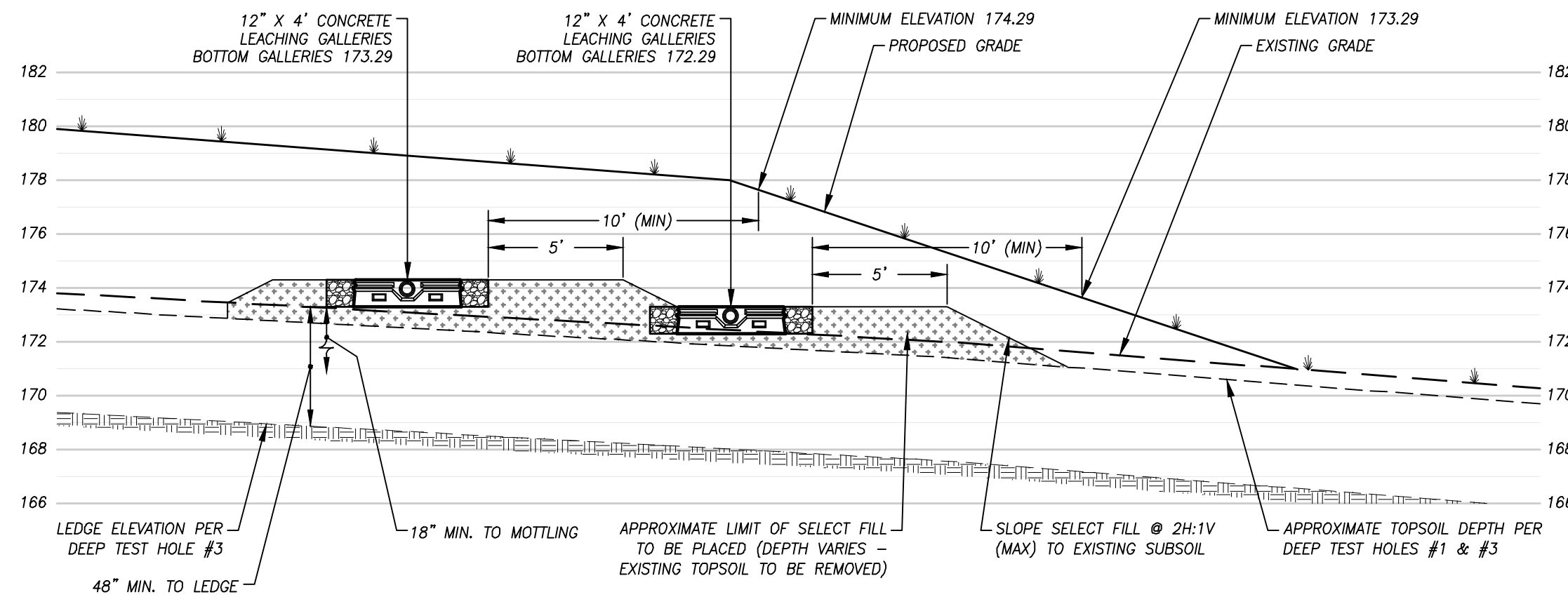
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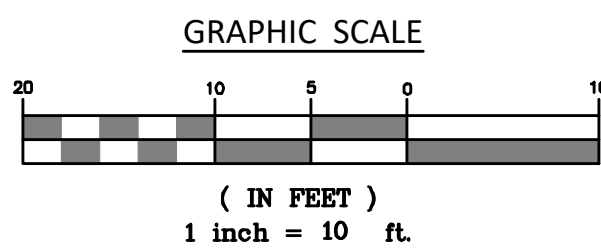
NOT TO SCALE



NOT TO SCALE



SCALE: 1" = 5' (HORIZONTAL & VERTICAL)



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THIS SEPTIC SYSTEM INSTALLATION INCLUDING ALL MATERIALS (PIPING, SEPTIC TANK, STONE, FILL, ETC.) USED FOR THIS SEPTIC SYSTEM SHALL CONFORM TO THE CURRENT EDITION/REVISION OF THE TECHNICAL STANDARDS FOR SUBSURFACE SEWAGE DISPOSAL SYSTEMS" REVISED JANUARY 2024 OF THE CONNECTICUT PUBLIC HEALTH CODE BY THE STATE OF CONNECTICUT DEPARTMENT OF PUBLIC HEALTH (TECHNICAL STANDARDS).

THIS SEPTIC SYSTEM SHALL NOT BE USED TO INCLUDE CAPACITY FOR A GARBAGE GRINDER AND/OR LARGE TUB. THE SEPTIC TANK, IF A GARBAGE GRINDER OR LARGE TUB IS DESIRED THEN THE SEPTIC TANK SIZE SHALL BE INCREASED IN ACCORDANCE WITH SECTION V.8.4 OF THE TECHNICAL STANDARDS. WATER TREATMENT WASTEWATER (WATER SOFTENER) SHALL NOT BE DISCHARGED TO THIS SYSTEM.

3. THE PROPOSED BUILDING SEWER FROM THE BUILDING TO THE SEPTIC TANK SHALL BE SCHEDULE 40 PVC ASTM D 1785/ASTM D 2665 OR APPROVED EQUIV AND INDICATED IN TABLE 2 OF THE TECHNICAL STANDARDS. ALL OTHER GRAVITY SEWER PIPE FOR THIS SEPTIC SYSTEM SHALL BE 4" PVC ASTM D3034, SDR 35 WITH RUBBER COMPRESSION GASKET JOINTS AND SLOPE SHALL BE INDICATED IN TABLE 2 OF THE TECHNICAL STANDARDS.

4. THERE ARE NO WELLS (POTABLE, GEOTHERMAL, OR IRRIGATION) WITHIN 75' OF THE PROPOSED SEPTIC SYSTEM. THERE ARE NO SEPTIC SYSTEMS WITHIN 75' OF THE EXISTING WELL.

5. THERE SHALL BE NO STUMPS OR BOULDER BURIED WITHIN 50' DOWN GRADIENT OF THE SEPTIC SYSTEM. SHOULD ANY STUMP OR BOLLER BE REMOVED WITHIN 50' DOWN GRADIENT DURING A CONSTRUCTION (LEDGE, GROUNDWATER, MOTTILING, SOIL TYPE, ETC.), THE DESIGN ENGINEER SHALL BE NOTIFIED PRIOR TO INSTALLATION OF THE SEPTIC SYSTEM.

6. ALL EXISTING UTILITIES ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS AND ELEVATIONS PRIOR TO ANY CONSTRUCTION. CONTRACTOR SHALL CONTACT "CALL-BEFORE-YOU-DIG" AT 1-800-922-4455 AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION.

7. THE PROPOSED FILL FOR THIS SEPTIC SYSTEM SHALL MEET THE FOLLOWING SPECIFICATIONS:

A. 100% OF FILL SHALL PASS THROUGH A #1 SIEVE.

B. MAXIMUM % OF GRAVEL BETWEEN #4 & #10 SIEVE = 45%.

C. GRADATION OF FILL WITHOUT THE GRAVEL SHALL MEET THE FOLLOWING CRITERIA:

SIEVE SIZE	% PASSING (WET)	% PASSING (DRY)
#4	100%	100%
#10	70 - 100%	70 - 100%
#20	10 - 50%*	10 - 75%
#40	0 - 20%	0 - 5%
#100	0 - 5%	0 - 2.5%

D. IF PERCENT PASSING THE #20 SIEVE SIZE CAN BE INCREASED TO NO GREATER THAN 75% IF THE PERCENT PASSING THE #100 SIEVE DOES NOT EXCEED 10% AND THE #200 SIEVE DOES NOT EXCEED 5%.

E. PERCOLATION RATE AFTER PLACEMENT AND COMPACTION SHALL BE FASTER THAN OR EQUAL TO 10.0 MINUTES/INCH. A WET OR DRY SIEVE ANALYSIS MAY BE REQUIRED PRIOR TO FILL PLACEMENT TO VERIFY THAT IT MEETS THESE SPECIFICATIONS. FILL SHALL BE CRUSHED BY THE LOCAL HEALTH DISTRICT/DEPARTMENT OR DESIGN ENGINEER PRIOR TO BE PLACED INTO THE SEPTIC TANK.

8. STONE AGGREGATE MEANS BRK OR APPROVED STONES, OR SCREENED GRAVEL MEETING DEPARTMENT OF TRANSPORTATION FORM 818 SPECIFICATION M-01.01 FROM 1 TO 4 STONE (SIEVE SIZES 3/8 THROUGH 2-INCH AS SHOWN BELOW OR LATEST SPECIFICATION) SHALL BE USED FOR THE GRAVEL FOR THE #200 AND #40 SIEVE SHOWN BELOW BASED ON THE #200 SIEVE TEST. STONE AGGREGATE SHALL BE FREE OF SILT, DIRT OR DEBRIS, AND SHALL SHOW A LOSS OF ABRASION OF NOT MORE THAN 50% USING AASHTO METHOD T-96, AND WHEN TESTED FOR SOUNDNESS USING AASHTO METHOD T-104 NOT HAVE A LOSS OF MORE THAN 15% AT THE END OF 5 CYCLES.

SIEVE SIZE	% PASSING
2" NCH	100%
1.5" NCH	90 - 100%
1" NCH	20 - 55%
3/4" NCH	0 - 15%
3/8" NCH	0 - 5%
#40	0 - 3%
#200	0 - 1.5%

9. NO DEVIATION FROM THE APPROVED DESIGN PLAN SHALL BE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL FROM THE LOCAL HEALTH DEPARTMENT/DISTRICT AND THE DESIGN ENGINEER.

10. THE SEPTIC TANK SHALL BE PRECAST CONCRETE UNLESS OTHERWISE AUTHORIZED BY THE DESIGN ENGINEER. THE SEPTIC TANK SHALL BE FULLY VERIFIED BY THE LOCAL HEALTH DEPARTMENT/DISTRICT (VACUUM TEST OR WATER PRESSURE TEST) IN ACCORDANCE WITH SECTION V.6.6. OF THE TECHNICAL STANDARDS. IF RISER ASSEMBLIES ARE UTILIZED OVER CLEANOUT OPENINGS, THE COVERS SHALL BE LEFT ON THE TANK. RISER COVERS SHALL WEIGH AT LEAST 50 LBS.

11. SEPTIC TANK PREPARATION PROCEDURE FOR THE INSTALLATION OF THE PROPOSED SEPTIC SYSTEM:

A. STRIP ALL TOPSOIL, VEGETATION AND ORGANIC MATERIAL IN THE AREA OF AND 5' SURROUNDING THE PRIMARY LEACHING GALERIES.

B. USING A HEAVY RAKE OR EQUAL, THOROUGHLY SCARIFY AND ROUGHEN UP THE EXPOSED SUBSOIL. PREVENT ANY OTHER MATERIAL TO BE ON BACKHOLE, TRUCKS, ETC. FROM SMOOTHING/COMPACTING THIS EXPOSED SUBSOIL.

C. PLACE AND COMPACT SELECT FILL MATERIAL MEETING SPECIFICATIONS INDICATED ABOVE (#7) IN LIFTS OF NOT GREATER THAN 12" IN THE AREA OF THE PROPOSED LEACHING GALERIES UP TO AT LEAST THE ELEVATION OF THE TOP OF THE LEACHING GALERIES. SELECT FILL SHALL BE PLACED 5' FROM THE DOWNWARD SLOPE EDGE OF THE SYSTEM, 2' FROM THE SLOPE OF THE SYSTEM, 2' FROM THE SIDES OF THE SYSTEM, AND SLOPE TO THE EXISTING SUBSOIL AT 2H:1V (MAX) OUTSIDE OF THAT LIMIT.

D. PERFORM AT LEAST 1 PERCOLATION TEST ON PLACED FILL. FILL MUST HAVE A PERCOLATION RATE EQUAL TO OR FASTER THAN AS INDICATED IN NOTE #7.E. IF PERCOLATION RATE IS SLOWER THAN THAT RATE, ALL FILL SHALL BE REMOVED AND REPLACED WITH ACCEPTABLE FILL MEETING PROPER SPECIFICATIONS.

E. INSTALL SEPTIC SYSTEM PER PLAN USING APPROVED STONE AGGREGATE AS INDICATED IN NOTE #8.

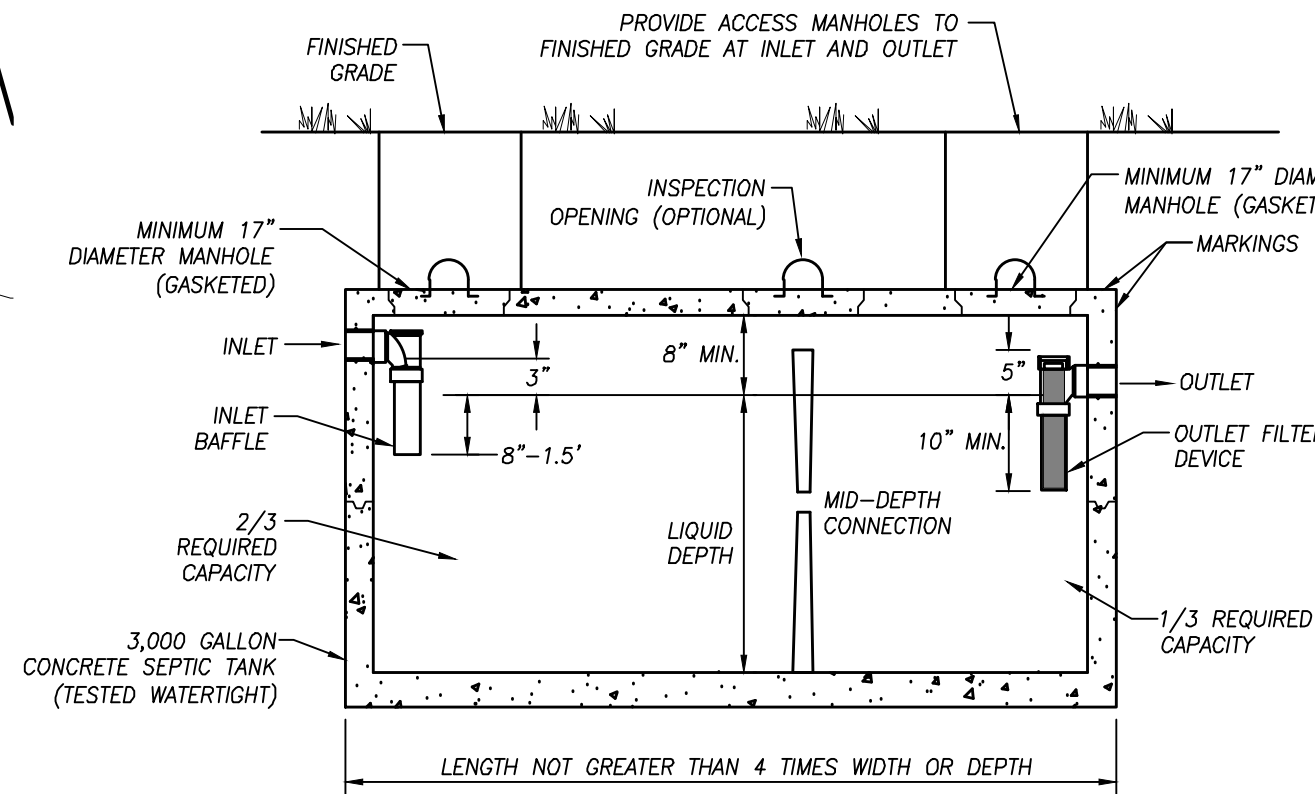
F. COVER SYSTEM WITH APPROVED FILL FABRIC AND A MINIMUM OF 6" OF LOAM IN LAWN AREAS. GRADE TO PREVENT PONDING AND SEEDED WITH GRASS TO STABILIZE. THE FINISHED GRADE 10' FROM ANY PART OF THE PROPOSED LEACHING GALERIES SHALL BE AT LEAST THE SAME ELEVATION AS THE TOP OF THE RESPECTIVE LEACHING GALLEY.

G. ACCESS MANHOLES AT THE INLET Baffle AND AT THE OUTLET FILL OF THE SEPTIC TANK SHALL BE INSTALLED TO FINISHED GRADE.

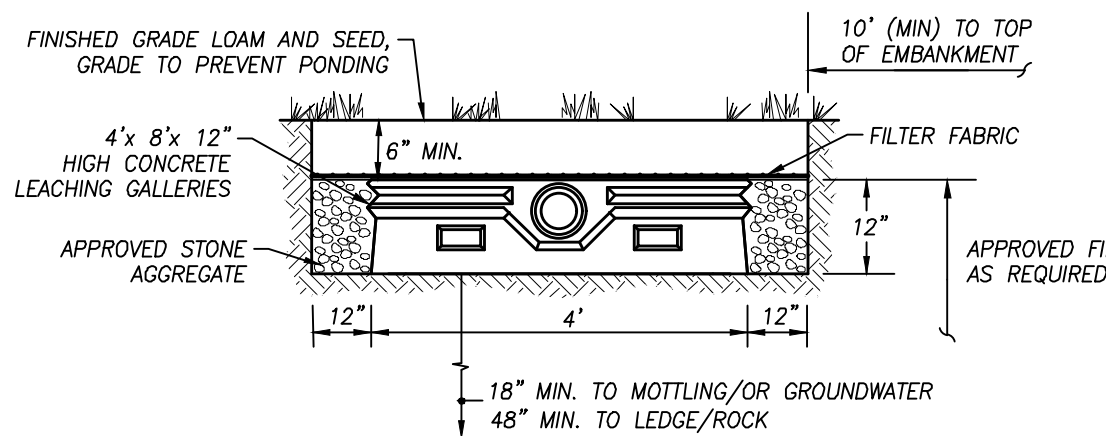
12. BENCHMARK SHALL BE SET BY A LICENSED LAND SURVEYOR WITHIN 15 FEET OF THE PROPOSED SSDS.

13. PRIOR TO CONSTRUCTION THE BUILDING AND SEPTIC SYSTEM SHALL BE STAKED OUT BY A LICENSED LAND SURVEYOR.

14. INSTALLER TO SUBMIT SCALED AND/OR TIED AS-BUILT TO THE HEALTH DEPARTMENT WITHIN 30 DAYS OF COMPLETION WITH COPIES TO DESIGNER AND RECORDING AGENCY. ALL COVERS OF THE (P-BOXES, CLEANOUT, AND END OF LEACHING ROWS, WELL, FOOTING/CURTAIN DRAINS AND BETWEEN THE POINTS, IN ADDITION, PROVIDE THE NAME OF INSTALLER, DATE, LOCATION AND STREET/DIRECTIONAL ARROW.



NOT TO SCALE



NOT TO SCALE

NOTES:

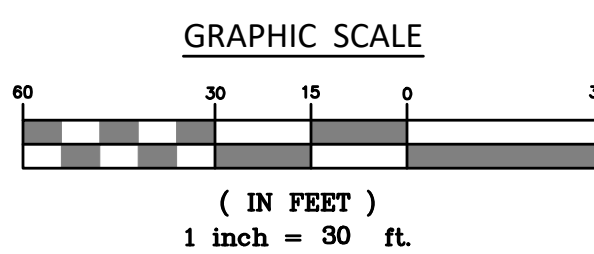
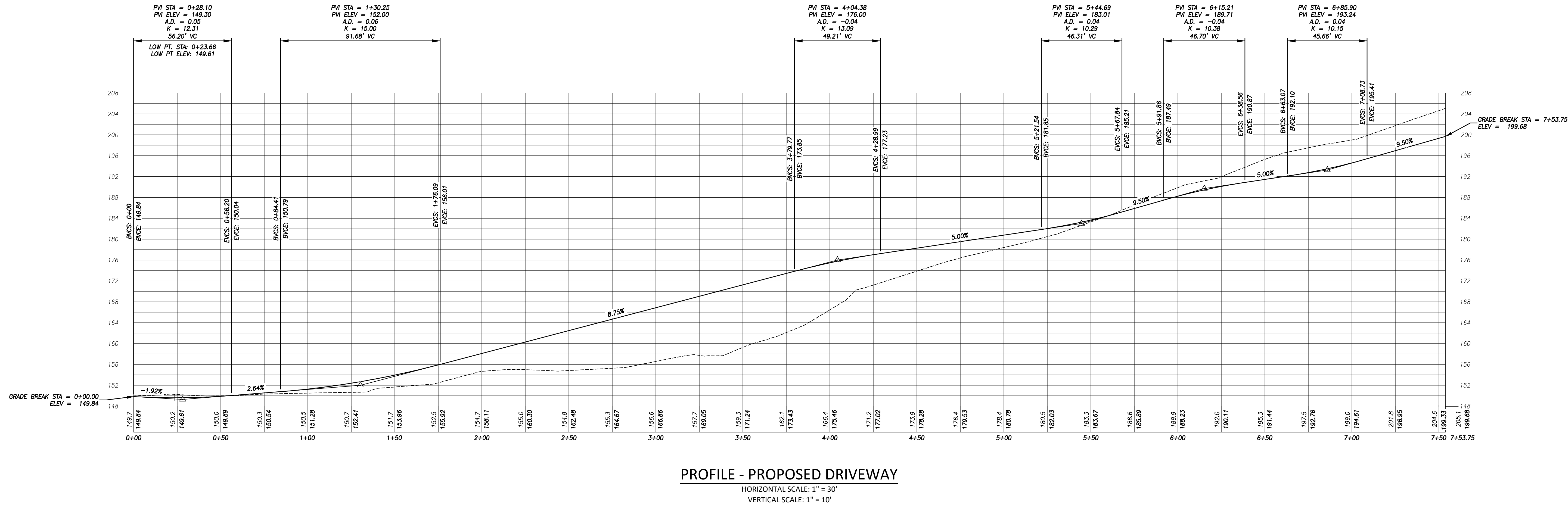
-SEE SHEET 1 FOR ENGINEER, SURVEYOR AND
SOIL SCIENTIST SIGNATURES AND SEALS

-SEE SHEET 3 FOR LEGEND AND ABBREVIATIONS

P:\CIVIL 3D PROJECTS\2024\24-3432 ROGER PHILLIPS\DWG\DESIGN\24-3432 PHILLIPS DAYCARE SITE PLAN.DWG



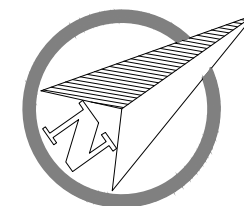
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Improvement Location & Topographic Survey
"Driveway Profile"
Prepared For
Cricket's Corner, LLC
1645 Route 85 - Montville, Connecticut



SCALE: 1" = 30'
DATE: February 2025
JOB I.D. NO. 24-3432
Revisions

SHEET NO.

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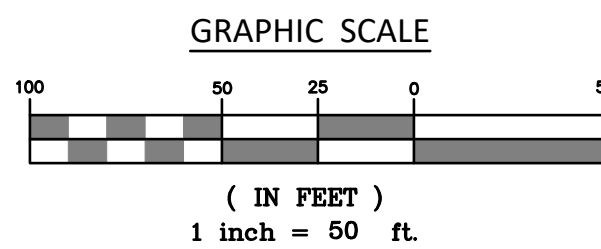
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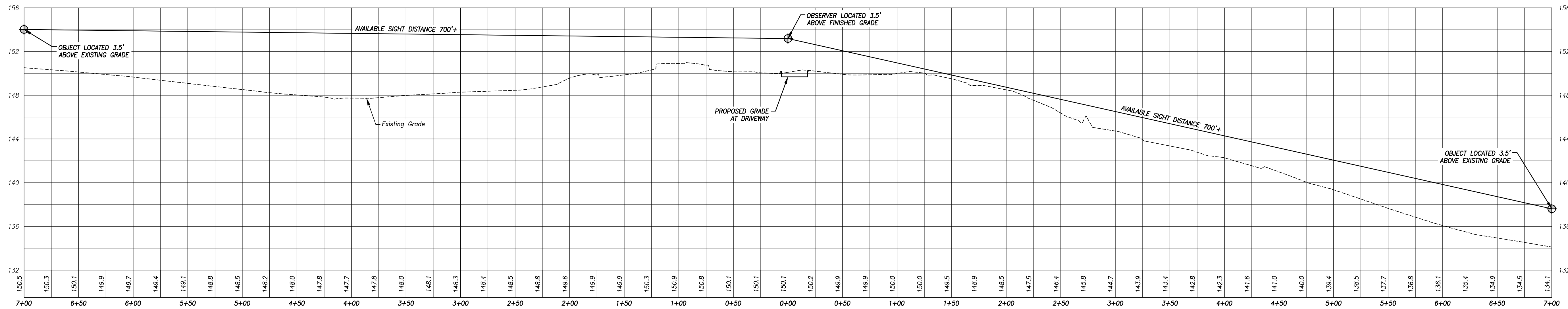
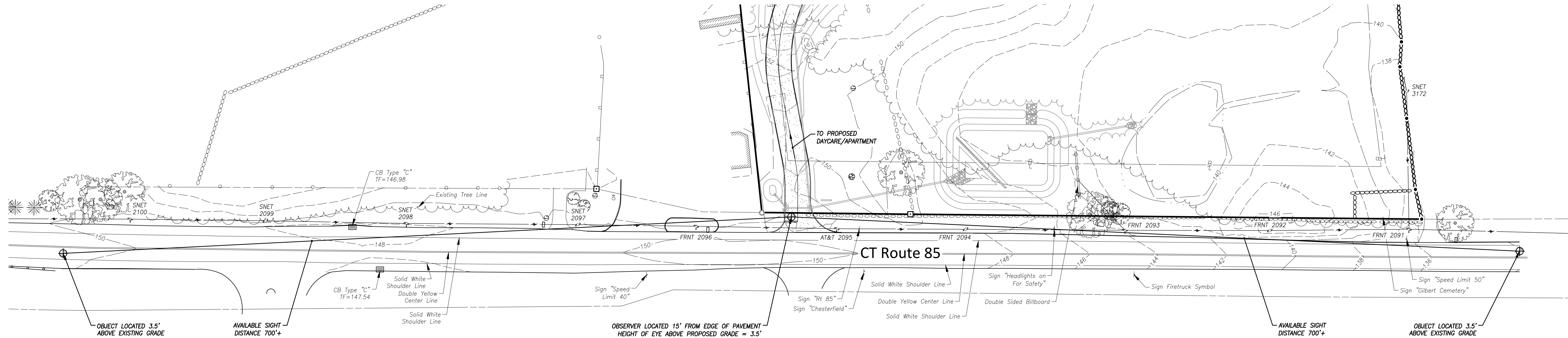


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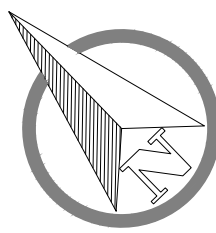
NOTES:
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PROFILE - SIGHT LINE NORTHWEST
HORIZONTAL SCALE: 1" = 50'
VERTICAL SCALE: 1" = 5'

PROFILE - SIGHT LINE SOUTHEAST
HORIZONTAL SCALE: 1" = 50'
VERTICAL SCALE: 1" = 5'

Improvement Location & Topographic Survey
"Sight Line Demonstration Plan"
Prepared For
Cricket's Corner, LLC
1645 Route 85 - Montville, Connecticut



SCALE: 1" = 50'
DATE: February 2025
JOB I.D. NO. 24-3432
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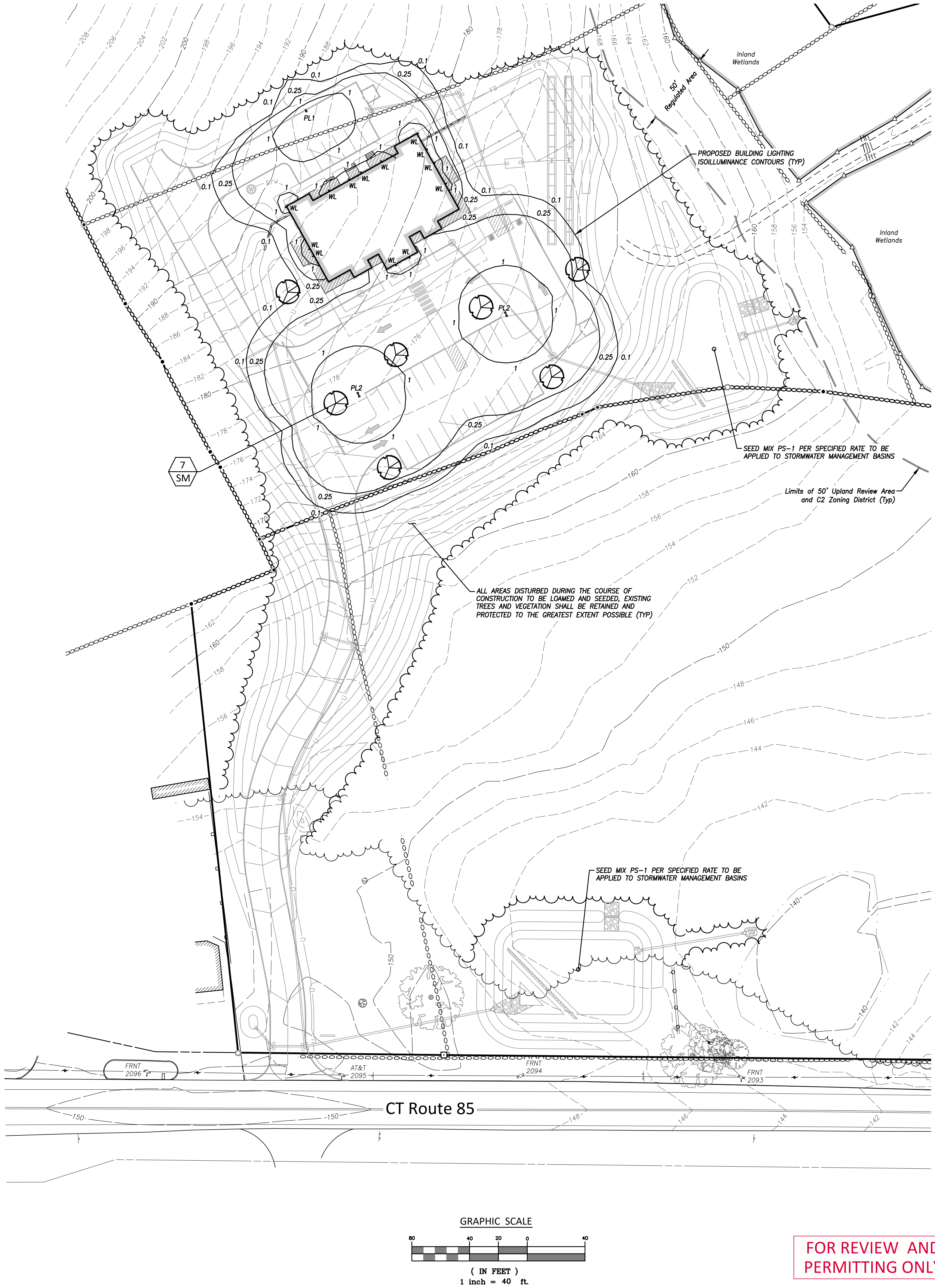
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T 860.376.2006 | www.boundariesllc.net

LIGHTING NOTES

1. CATALOG SPECIFICATIONS FOR THE LIGHTING FIXTURES SPECIFIED ON THIS PLAN HAVE BEEN SUBMITTED WITH THE APPLICATION FOR SITE PLAN REVIEW AND ARE INCLUDED IN THE COMMISSION'S PERMANENT FILE.
2. ALL SITE LIGHTING SHALL BE FULL CUTOFF STYLE FIXTURES AND INCORPORATE FEATURES THAT MINIMIZE LIGHT TRESPASS ONTO ADJACENT PROPERTIES TO THE GREATEST EXTENT PRACTICABLE. NO SITE FEATURE OR ACTIVITY ASSOCIATED WITH THE OPERATION SHALL CREATE GLARE OR ILLUMINATION WHICH EXTENDS BEYOND THE SITE'S PROPERTY LINES AND CREATES A HAZARD OR NUISANCE TO A NEIGHBORING PROPERTY OR ON THE ADJACENT ROADWAY.
3. ALL SITE LIGHTING, EXCEPT THAT DEEMED NECESSARY FOR SECURITY PURPOSES, SHALL BE TURNED OFF WHEN THE FACILITY IS NOT IN USE.

LIGHTING SCHEDULE

- WL LUXMODE L0049-07804-04(3-4098D) LED OUTDOOR
- PL1 GARCO ECF-S-32L-700-WW-G2-3-HIS ECOFORM AREA LED ECF - SMALL, 32 LED'S, 3000K CCT, TYPE 3-HIS OPTIC, HOUSE-SIDE INTERNAL SHIELDING
- PL2 GARCO ECF-S-32L-700-WW-G2-4-HIS ECOFORM AREA LED ECF - SMALL, 32 LED'S, 3000K CCT, TYPE 4-HIS OPTIC, HOUSE-SIDE INTERNAL SHIELDING

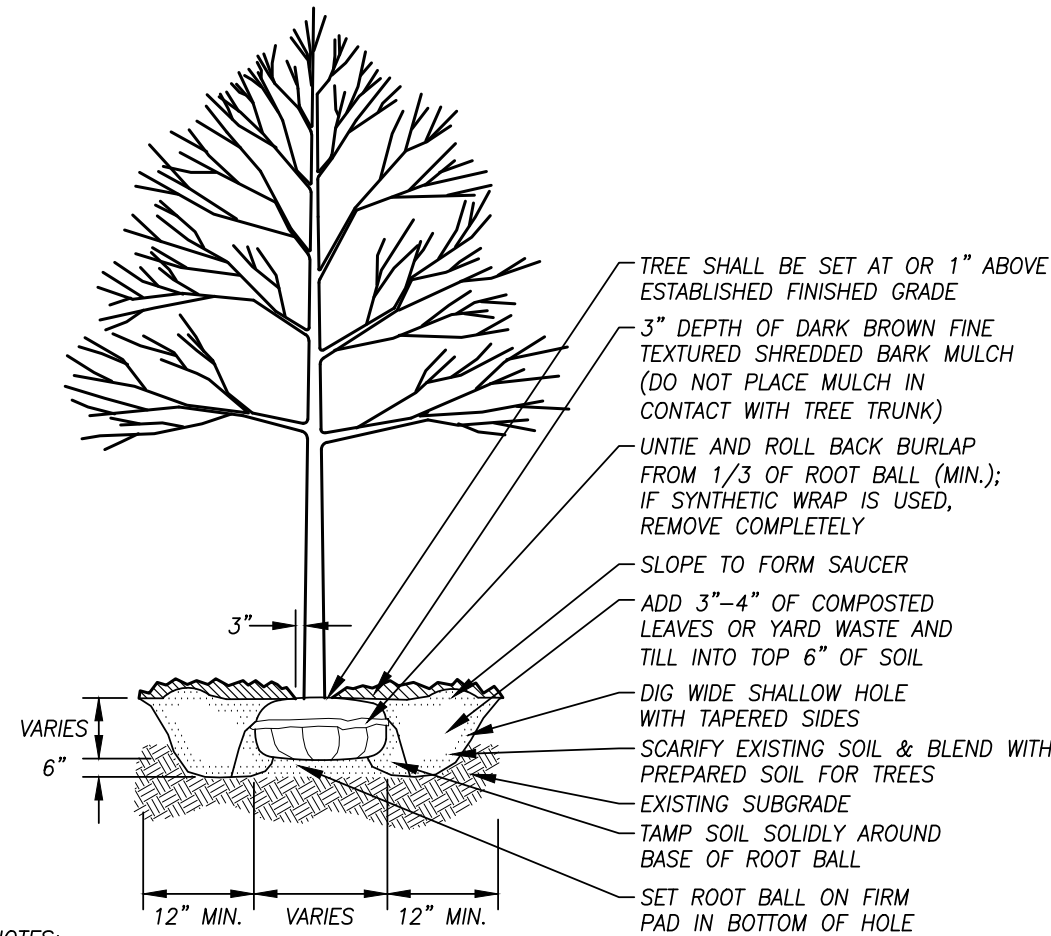


LANDSCAPING SCHEDULE

DECIDUOUS TREES					
SYM	KEY	QTY.	NAME (BOTANICAL/COMMON)	SIZE	COMMENTS
	SM	7	Acer saccharum Sugar Maple	6-8' ht.	B.B.

LANDSCAPE PLANTING MATERIALS AS PROPOSED BY THIS PLAN ARE CONNECTICUT NATIVE AND/OR NON-INVASIVE SPECIES. THIS LANDSCAPE PLAN HAS BEEN DESIGNED TO INCORPORATE SPECIES WHICH ARE PROLIFIC IN USDA PLANT HARDINESS ZONE 6B AND WHICH REQUIRE MINIMAL ENERGY INPUT FOR UPKEEP AND MAINTENANCE. REFERENCES UTILIZED FOR CONNECTICUT NATIVE AND NON-INVASIVE SPECIES SELECTION INCLUDE THE CONNECTICUT BOTANICAL SOCIETY, THE CONNECTICUT AGRICULTURAL EXPERIMENT STATION, THE U.S. DEPARTMENT OF TRANSPORTATION FEDERAL HIGHWAY ADMINISTRATION AND OTHER SOURCES.

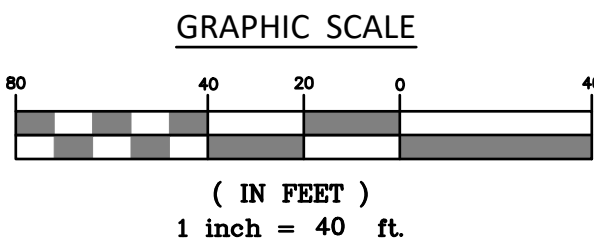
LANDSCAPE PLANTING MATERIALS AS PROPOSED BY THIS PLAN ARE INTENDED TO BE A MINIMUM. THE APPLICANT RESERVES THE RIGHT TO ADD ADDITIONAL LANDSCAPE MATERIALS AT THEIR DISCRETION.



- NOTES:
- DO NOT STAKE OR WRAP TRUNK.
 - FOR CONTAINER-GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL; THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.
 - FOR RED CEDARS INCORPORATE COMMERCIALY PREPARED MYCORRHIZA SPORES IN THE SOIL IMMEDIATELY AROUND THE ROOT BALL AT RATES SPECIFIED BY THE MANUFACTURER.
 - AT PLANTING THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT SOIL, REPEAT SEVERAL TIMES DURING THE FIRST MONTH AND THROUGHOUT THE FOLLOWING TWO SUMMERS.

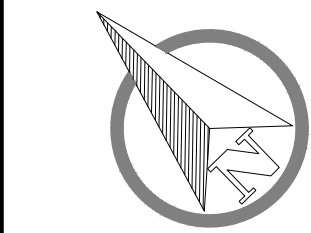
TREE PLANTING DETAIL
NOT TO SCALE

- NOTES:
- SEE SHEET 1 FOR ENGINEER, SURVEYOR AND SOIL SCIENTIST SIGNATURES AND SEALS
 - SEE SHEET 3 FOR LEGEND AND ABBREVIATIONS



FOR REVIEW AND
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Improvement Location & Topographic Survey
"Landscaping & Lighting Plan"
Prepared For
Cricket's Corner, LLC
1645 Route 85 - Montville, Connecticut



SCALE: 1" = 40'
DATE: February 2025
JOB I.D. NO. 24-3432
Revisions

SHEET NO.
10
13

NARRATIVE

THIS PROPOSAL INVOLVES IMPROVEMENTS TO AN EXISTING 6.16± ACRE PROPERTY LOCATED AT 1685 ROUTE 85 AND AN EXISTING 11.72± ACRE PROPERTY LOCATED AT 879 CHESTERFIELD ROAD, BOTH IN THE TOWN OF MONTVILLE, CONNECTICUT. 1685 ROUTE 85 PREVIOUSLY CONTAINED A RESIDENCE THAT HAS SINCE BEEN DEMOLISHED AND REMOVED AND BOTH PROPERTIES ARE CURRENTLY VACANT. THE PROPERTIES ARE MOSTLY WOODED WITH THE EXCEPTION OF A GRASSED AREA ALONG THE FRONTAGE OF 1685 ROUTE 85. THE CURRENT ZONING DESIGNATION OF BOTH PROPERTIES IS COMMERCIAL-2 (C-2). 879 CHESTERFIELD ROAD IS TO BE MERGED WITH 1685 ROUTE 85.

THE PROPOSED USE OF THESE PROPERTIES IS TO SERVE AS A DAYCARE WITH A 2-UNIT APARTMENT ABOVE, A USE PERMITTED IN THE C-2 ZONE PER SECTION 11.2 OF THE MONTVILLE ZONING REGULATIONS BY SITE PLAN APPROVAL.

IMPROVEMENTS TO THE SITE REQUIRED TO SUPPORT THE PROPOSED USE INCLUDES: CONSTRUCTION OF A 2-STORY WOOD FRAMED BUILDING HAVING A 6,300± SF FOOTPRINT TO CONTAIN A 6-CLASSROOM DAYCARE FACILITY CONTAINING 6,103 SF ON THE GROUND FLOOR AND 2 3-BEDROOM APARTMENTS CONTAINING 2,362 SF EACH ON THE SECOND FLOOR. CONSTRUCTION OF 2 PLAYGROUND AREAS TO SUPPORT THE DAYCARE FACILITY, CONSTRUCTION OF A NEW BITUMINOUS CONCRETE ACCESS DRIVEWAY AND REQUIRED PARKING INCLUDING ADA ACCESSIBLE SPACES MEETING THE ZONING REQUIREMENTS, INSTALLATION OF A SUBSURFACE SEWAGE DISPOSAL SYSTEM TO SERVE THE BUILDING, INSTALLATION OF A NEW DRILLED WELL, AND STORMWATER MANAGEMENT FEATURES.

ACCORDING TO THE UNITED STATES DEPARTMENT OF AGRICULTURE (USDA), NATURAL RESOURCES CONSERVATION SERVICE (NRCS) WEB SOIL SURVEY FOR THE STATE OF CONNECTICUT, THE SOILS LOCATED UPON THE SUBJECT PROPERTY CONSIST OF:

- 3 RIDGEBURY, LEICESTER, AND WHITMAN SOILS, 0-8% SLOPES, EXTREMELY STONY, HYDROLOGIC SOIL GROUP D
- 29B AGAWAM FINE SANDY LOAM, 3-8% SLOPES, HYDROLOGIC SOIL GROUP B
- 62C CANTON AND CHARLTON FINE SANDY LOAMS, 3-15% SLOPES, EXTREMELY SONY, HYDROLOGIC SOIL GROUP B
- 73C CHARLTON-CHAFFIELD COMPLEX, 0-15% SLOPES, VERY ROCKY, HYDROLOGIC SOIL GROUP B
- 75E HOLLISS-CHAFFIELD-ROCK OUTCROP COMPLEX, 15-45% SLOPES, HYDROLOGIC SOIL GROUP D

THERE ARE INLAND WETLANDS LOCATED ON THE EASTERN PORTION OF 879 CHESTERFIELD ROAD. THERE ARE NO INLAND WETLANDS LOCATED ON 1685 ROUTE 85. INLAND WETLANDS WERE DELINEATED BY W. W. COLE, A REGISTERED SOIL SCIENTIST, ON MARCH 27, 2024. NO ACTIVITY WITHIN DELINEATED WETLANDS OR THE 50 FOOT UPLAND REVIEW AREA IS PROPOSED BY THIS PLAN.

TOPSOIL SHALL BE STOCKPILED ON SITE FOR REUSE IN CONJUNCTION WITH FINAL GRADING AND STABILIZATION, FOR STABILIZING AREAS OUTSIDE OF BUILDING, CIRCULATION AND PARKING AREAS AFTER GRADING IS COMPLETED, A 4" MINIMUM DEPTH OF TOPSOIL SHALL BE PLACED AND SEEDED WITH GRASS AND MULCHED FOR PERMANENT STABILIZATION.

SEDIMENT FENCE AND/OR WOOD CHIP BERMS WILL BE INSTALLED AT LOCATIONS SHOWN PRIOR TO ANY EARTHWORK OPERATIONS. THESE MEASURES WILL BE MAINTAINED UNTIL ALL DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED.

CONSTRUCTION SEQUENCE

1. SECURE ALL NECESSARY LOCAL, STATE AND FEDERAL PERMITS.
2. CLEAR VEGETATION IN THE PROPOSED DEVELOPMENT AREA. PROPERLY DISPOSE OF VEGETATION.
3. REMOVE EXISTING GRAVEL DRIVEWAY, PAVED APRON AND CONCRETE PAD PER PLANS.
4. INSTALL SEDIMENT FENCE AND/OR WOOD CHIP BERMS AS SHOWN DOWNGRADEMENT OF PROPOSED DEVELOPMENT AREA. STRIP TOPSOIL FROM DEVELOPMENT AREA AND STOCKPILE AT AN APPROVED LOCATION FOR LATER REUSE. SEED TOPSOIL STOCKPILE WITH RYEGRASS FOR TEMPORARY STABILIZATION. REMOVE AND DISPOSE OF STUMPS AT AN APPROVED LOCATION.
5. CONSTRUCT PROPOSED IMPROVEMENTS, INSTALL PROPOSED SITE UTILITIES AND SUBSURFACE DISPOSAL SYSTEM, GRADE PROPOSED PARKING AREA AND CIRCULATION DRIVES, AND CONSTRUCT PROPOSED BUILDING.
6. AFTER STABILIZATION OF THE CIRCULATION DRIVES AND OTHER UPGRADEMENT AREAS EXCAVATE AND INSTALL THE PROPOSED STORMWATER INFILTRATION SYSTEMS.
7. AT COMPLETION OF CONSTRUCTION, LOAM ALL DISTURBED AREAS (4" MINIMUM), SEED WITH GRASS. AFTER ALL AREAS HAVE BEEN PERMANENTLY STABILIZED, REMOVE EROSION CONTROL MEASURES.

OPERATION & MAINTENANCE OF EROSION CONTROLS

NO CONSTRUCTION SHALL PROCEED UNTIL PROPER SEDIMENTATION AND EROSION CONTROL METHODS HAVE BEEN INSTALLED AS THE SEQUENCE OF CONSTRUCTION NECESSITATES.

ALL TEMPORARY FILL, STORAGE OR STOCKPILE AREAS SHALL BE PROPERLY STABILIZED TO PREVENT EROSION AND SUITABLY CONTAINED TO PREVENT TURBID RUNOFF. ALL AREAS AFFECTED BY TEMPORARY FILLS MUST BE RESTORED TO THEIR ORIGINAL CONTOURS, AND REVEGETATED WITH SUITABLE VEGETATION. THE USE OF TEMPORARY FILL AND/OR EXCAVATION SHALL BE MINIMIZED TO ONLY THAT AREA REQUIRED TO PERFORM THE WORK.

DUMPING OF OIL OR OTHER DELETERIOUS MATERIALS ON THE GROUND IS FORBIDDEN. THE DEVELOPER OR CONTRACTOR SHALL PROVIDE A MEANS OF CATCHING, RETAINING AND PROPERLY DISPOSING OF DRAINED OIL, REMOVED OIL FILTERS, OR OTHER DELETERIOUS MATERIAL FROM EQUIPMENT USED ON SITE. VEHICLE MAINTENANCE SHALL BE COMPLETED OFF SITE. ALL OIL SPILLS SHALL BE IMMEDIATELY REPORTED TO THE DEPARTMENT OF ENERGY AND ENVIRONMENTAL PROTECTION/HAZARDOUS MATERIALS OFFICE. FAILURE TO DO SO MAY RESULT IN THE IMPOSITION OF FINES UNDER THE APPLICABLE CONNECTICUT GENERAL STATUTES.

EVERY PRECAUTION SHALL BE USED DURING CONSTRUCTION TO PREVENT AND MINIMIZE THE DEGRADATION OF THE EXISTING WATER QUALITY. ALL ACTIVITIES SHALL BE IN CONFORMANCE TO AND CONSISTENT WITH ALL APPLICABLE WATER QUALITY STANDARDS AND MANAGEMENT PRACTICES AS SET FORTH BY LOCAL, STATE AND FEDERAL AGENCIES.

DURING THE PERIOD OF CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR ALL EROSION AND SEDIMENT CONTROL MEASURES. SAID MEASURES SHALL BE INSPECTED WEEKLY AND AFTER EACH RAINSTORM WITH GREATER THAN 0.5-INCHES OF RAINFALL. ACCUMULATED DEPOSITS OF SEDIMENT AND SILT SHALL BE PERIODICALLY REMOVED FROM THE UPSTREAM SIDE OF THE EROSION AND SEDIMENT CONTROL BARRIERS, AND UPON ESTABLISHMENT OF PERMANENT VEGETATIVE COVER. SUCH MATERIALS REMOVED SHALL BE SPREAD AND STABILIZED IN NON-WETLAND AREAS WHICH ARE NOT SUBJECT TO EROSION, OR WHICH ARE NOT TO BE PAVED OR BUILT UPON.

SEDIMENT FENCE, WOOD CHIP BERMS AND OTHER EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REPAIRED, CLEANED AND/OR REPLACED AS NECESSARY THROUGHOUT THE CONSTRUCTION PERIOD IN ORDER TO MAINTAIN COMPLETE AND INTEGRAL EROSION AND SEDIMENT CONTROL PROTECTION. ONCE IN PLACE, ALL EROSION AND SEDIMENT CONTROL FACILITIES AND MEASURES ARE TO REMAIN IN PLACE AND IN PROPER CONDITION AND BE CONTINUOUSLY MAINTAINED UNTIL FINAL GRADING HAS BEEN COMPLETED. ALL DISTURBED AREAS UPGRADEMENT OF SAID FACILITIES HAVE BEEN PERMANENTLY STABILIZED, AND ALL NEWLY GRASSED AREAS HAVE HAD AT LEAST TWO MOWINGS. FOLLOWING SUCH PERMANENT STABILIZATION, THE FACILITIES SHALL BE DISMANTLED, REMOVED, AND DISPOSED OF IN AN APPROVED MANNER. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES BEYOND THOSE SHOWN ON THE PLANS OR PRESCRIBED HEREIN SHALL BE PUT IN PLACE, WHENEVER NECESSARY, TO ADDRESS FIELD CONDITIONS AND/OR AS ORDERED BY TOWN STAFF.

DISTURBANCE OF THE LAND SHALL BE LIMITED TO THE MINIMUM EXTENT NECESSARY TO COMPLETE THE PROPOSED DEVELOPMENT. ALL EXISTING TREES AND SHRUBS SHALL BE CONSERVED WHERE POSSIBLE, EXCEPT THOSE WHOSE REMOVAL IS REQUIRED TO PERFORM THE PROPOSED WORK. THE LIMITS OF DISTURBANCE SHALL BE ESTABLISHED IN THE FIELD PRIOR TO STARTING ANY ACTUAL CONSTRUCTION ACTIVITIES AND SHALL BE GENERALLY AS DEPICTED ON THIS PLAN.

THE SITE CONTRACTOR SHALL BE RESPONSIBLE TO INSPECT THE SITE IN ACCORDANCE WITH THE PROCEDURES AS OUTLINED IN THE "GENERAL PERMIT FOR THE DISCHARGE OF STORMWATER AND DEWATERING WASTEWATERS FROM CONSTRUCTION ACTIVITIES" AS ADOPTED BY THE DEPARTMENT OF ENERGY AND ENVIRONMENTAL PROTECTION, EFFECTIVE ON DECEMBER 31, 2020.

THE CONTRACTOR SHALL INSPECT ALL DISTURBED AREAS OF CONSTRUCTION ACTIVITY THAT HAVE NOT BEEN FINALLY STABILIZED, STRUCTURAL CONTROL MEASURES, AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF ALL RAIN EVENTS. WHERE SITES HAVE BEEN TEMPORARILY OR FINALLY STABILIZED, SUCH INSPECTION SHALL BE CONDUCTED AT LEAST ONCE EVERY MONTH FOR THREE CONSECUTIVE MONTHS.

DURING CONSTRUCTION AND IMMEDIATELY FOLLOWING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE INSPECTION AND MAINTENANCE TO ASSURE PROPER PERFORMANCE OF THE SEDIMENTATION AND EROSION CONTROL SYSTEM. INSPECTING AND MAINTAINING SHALL INCLUDE, AT A MINIMUM, THE FOLLOWING:

- INSPECTION OF ALL SEDIMENT FENCE/WOOD CHIP BERMS. REMOVE ACCUMULATED SEDIMENT IF REQUIRED (GREATER THAN 4" DEPTH)
- INSPECTION OF ANTI-TRACKING PAD, REMOVE, DISPOSE AND REPLACE IF PAD IS NO LONGER FUNCTIONAL IN THE COLLECTION OF SEDIMENTS FROM VEHICULAR/TRUCK TRAFFIC.
- INSPECTION OF ALL DRIVEWAY AND PARKING AREAS AFTER PAVING, REMOVE ACCUMULATED SEDIMENT AND ANY LITTER/DEBRIS.

DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE. EROSION AND SEDIMENT CONTROL MEASURES CONTINUED IN THE PLAN SHALL BE INSPECTED TO INSURE THAT THEY ARE OPERATING CORRECTLY. DISCHARGE LOCATIONS OR POINTS SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO DOWNSTREAM WATERS. LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE SHALL BE INSPECTED FOR EVIDENCE OF OFF-SITE SEDIMENT TRACKING.

ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES BEYOND THOSE DEPICTED HEREIN SHALL BE PUT IN PLACE WHENEVER NECESSARY TO ADDRESS FIELD CONDITIONS AND/OR AS ORDERED BY TOWN STAFF, OR THEIR DESIGNATED AGENT.

THE SITE CONTRACTOR SHALL APPOINT AN AGENT WHO SHALL BE PERSONALLY RESPONSIBLE FOR IMPLEMENTING THIS EROSION AND SEDIMENT CONTROL PLAN AND ENFORCING THE PRESCRIBED SAFEGUARDS DURING THE CONSTRUCTION PERIOD.

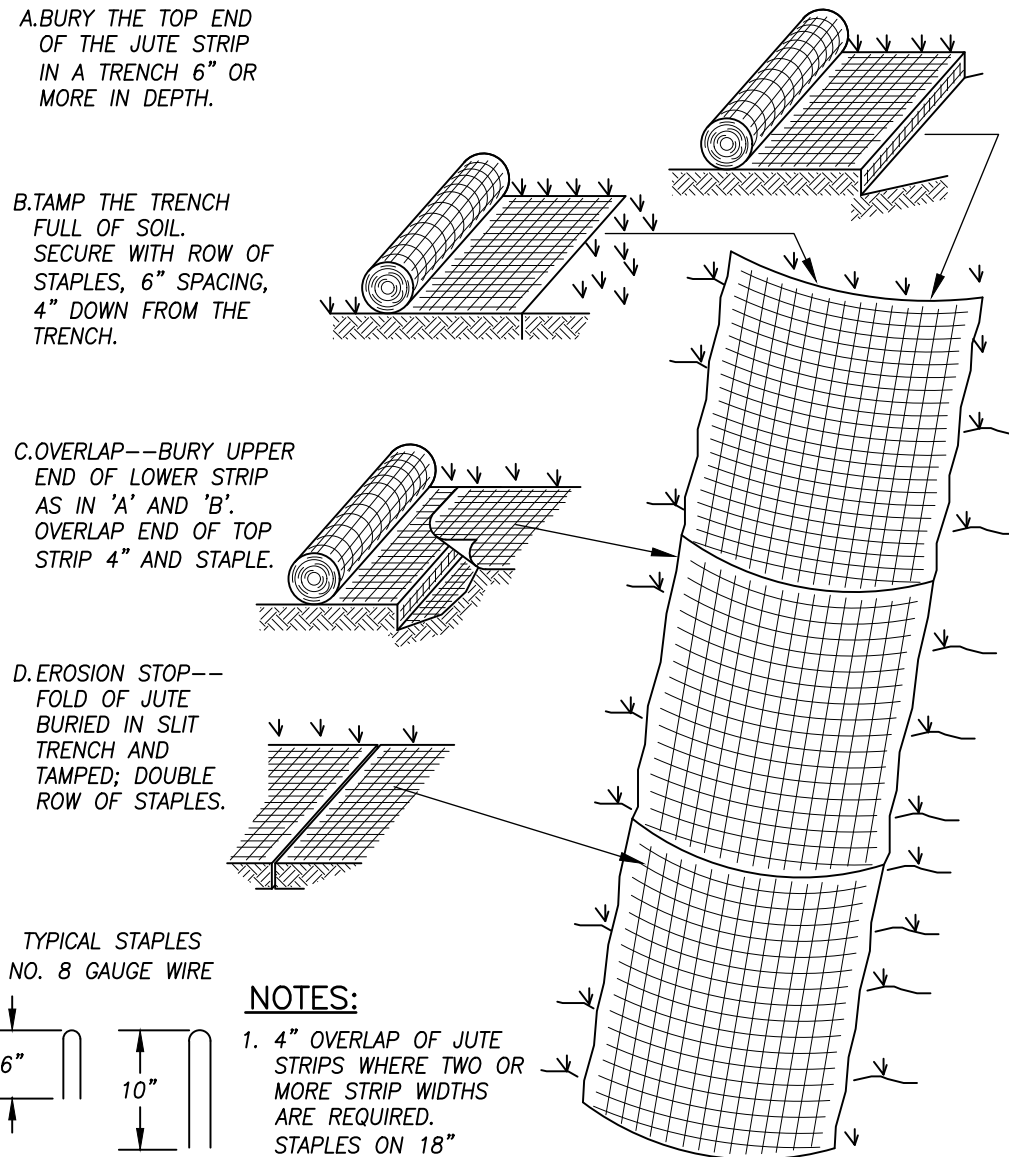
THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, NOTIFYING THE PROPER TOWN AGENCIES AND OFFICIALS OF ANY TRANSFER OF THIS RESPONSIBILITY, AND CONVEYING A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN IF THE TITLE OF THE LAND IS TRANSFERRED TO A THIRD PARTY.

EROSION CONTROL NOTES

1. ALL UTILITIES ARE APPROXIMATE. CONTRACTOR TO VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION. CONTACT "CALL-BEFORE-YOU-DIG" AT 1-800-922-4455 AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION.
2. THE RESPONSIBLE PARTY WITH RESPECT TO THE INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE THE SITE CONTRACTOR (TO BE DETERMINED).
3. THE "CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" BY THE COUNCIL ON SOIL AND WATER CONSERVATION IN COLLABORATION WITH THE CONNECTICUT DEPARTMENT OF ENERGY AND ENVIRONMENTAL PROTECTION PUBLICATION DATE: SEPTEMBER 30, 2023, SHALL BE USED FOR INSTALLING AND MAINTAINING ALL EROSION CONTROL MEASURES. THE SITE CONTRACTOR SHALL INSTALL ADDITIONAL MEASURES AS NECESSARY IF DIRECTED BY THE ENGINEER OR TOWN STAFF.
4. SEEDING FOR PERMANENT STABILIZATION SHALL BE DONE BETWEEN APRIL 15 THROUGH JUNE 15 OR BETWEEN AUGUST 15 THROUGH SEPTEMBER 15. IF SEEDING CANNOT BE DONE WITHIN THESE TIMES, APPLICATION OF TEMPORARY MULCH WILL BE CONDUCTED UNTIL THE NEXT SEEDING PERIOD. SEED MIXTURE SHALL BE AS FOLLOWS:
 - KENTUCKY BLUEGRASS 20 LBS/ACRE OR 0.45 LBS/1,000 SF
 - CREeping RED FESCUE 20 LBS/ACRE OR 0.45 LBS/1,000 SF
 - PERENNIAL RYEGRASS 5 LBS/ACRE OR 0.10 LBS/1,000 SF
5. MULCH SHALL BE A GOOD QUALITY HAY OR STRAW AND SHALL BE APPLIED AT A RATE OF APPROXIMATELY 2-3 BALES/1,000 SF.
6. ALL EROSION CONTROL MEASURES SHALL BE INSPECTED WITHIN 24 HOURS AFTER RAIN EVENTS WITH GREATER THAN 0.5" OF RAINFALL IN A 24-HOUR PERIOD, AND REPAIRED OR REPLACED AS NECESSARY TO INSURE COMPLIANCE WITH THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN.

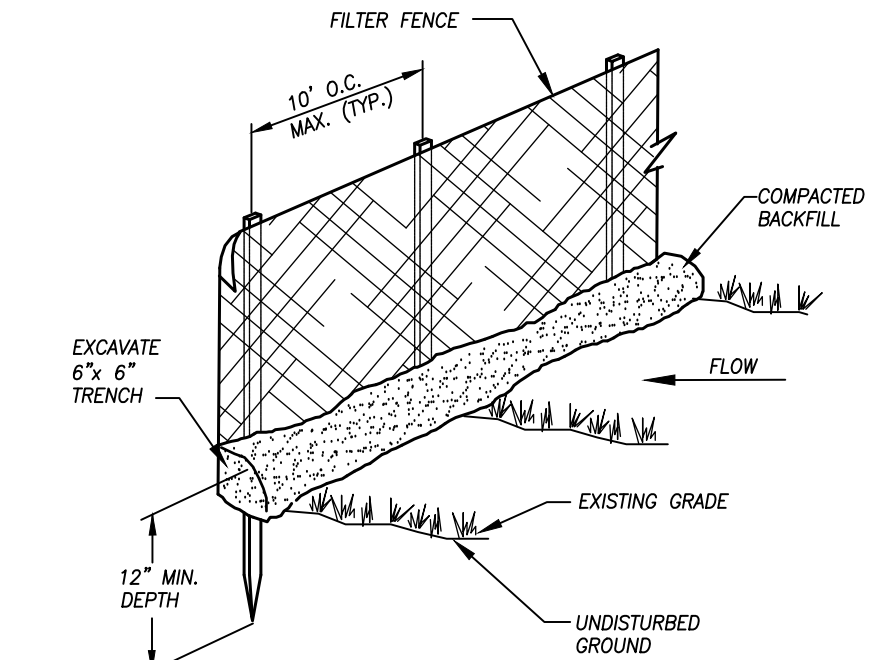
STORMWATER SYSTEM OPERATION AND MAINTENANCE

1. THE PROPOSED STORMWATER MANAGEMENT SYSTEM INCLUDES DEEP SUMP CATCH BASINS, STORMWATER BASINS, SPILLWAYS, AND RIP RAP APRONS.
 - 1.1. CATCH BASINS SHALL BE INSPECTED ANNUALLY, AS SOON AS POSSIBLE FOLLOWING THE SNOW AND ICE REMOVAL SEASON, PREFERABLY PRIOR TO SPRING RAINFALL EVENTS. CATCH BASIN CLEANING SHOULD OCCUR IF SEDIMENT HAS FILLED ONE HALF OF THE TOTAL SUMP DEPTH (I.E. LESS THAN TWO FEET FROM THE INVERT OF THE OUTLET PIPE TO THE SEDIMENT DEPOSIT). SEDIMENT SHALL BE DISPOSED OF IN ACCORDANCE WITH APPLICABLE REGULATIONS.
 - 1.2. THE STORMWATER BASINS SHALL BE INSPECTED SEMI-ANNUALLY FOR SIGNS OF SCOUR/EROSION. EVIDENCE OF STORMWATER PONDING GREATER THAN 48-HOURS AFTER THE END OF A STORM EVENT, ACCUMULATION OF DEBRIS AND SEDIMENT IN THE BASINS AND AT THE SPILLWAYS, AREAS OF EROSION SHALL BE REPAIRED BY LOAMING AND SEEDING OR REPLACING GRAVEL AND RIP RAP AS APPROPRIATE. SEDIMENT AND DEBRIS SHALL BE REMOVED AND DISPOSED OF AS REQUIRED. VEGETATION WITHIN THE BASIN SHALL BE MOWED ANNUALLY AND ALL WOODY BRUSH SHALL BE REMOVED.
 - 1.3. THE SPILLWAYS SHALL BE INSPECTED SEMI-ANNUALLY FOR SIGNS OF SCOUR/EROSION. IF SCOUR HAS OCCURRED THE RIP RAP AND GRAVEL SHALL BE REPLACED AND THE SPILLWAY SHALL BE EVALUATED FOR POSSIBLE MODIFICATIONS TO PREVENT FUTURE SCOUR.
 - 1.4. RIP RAP APRONS SHALL BE INSPECTED SEMI-ANNUALLY FOR SIGNS OF SCOUR AND ACCUMULATION OF DEBRIS AND SEDIMENT. IF SCOUR HAS OCCURRED THE RIP RAP AND GRAVEL SHALL BE REPLACED. DEBRIS SHALL BE DISPOSED OF AS REQUIRED.
2. STORMWATER MANAGEMENT SYSTEM MAINTENANCE COSTS MAY BE REDUCED BY IMPLEMENTING A STREET SWEEPING PROGRAM, TO BE PERFORMED AT LEAST ANNUALLY IMMEDIATELY FOLLOWING THE SNOW AND ICE REMOVAL SEASON.



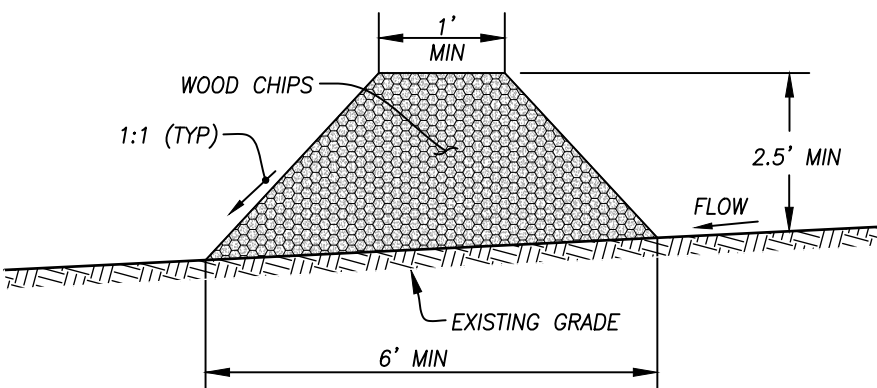
JUTE NETTING DETAIL

NOT TO SCALE



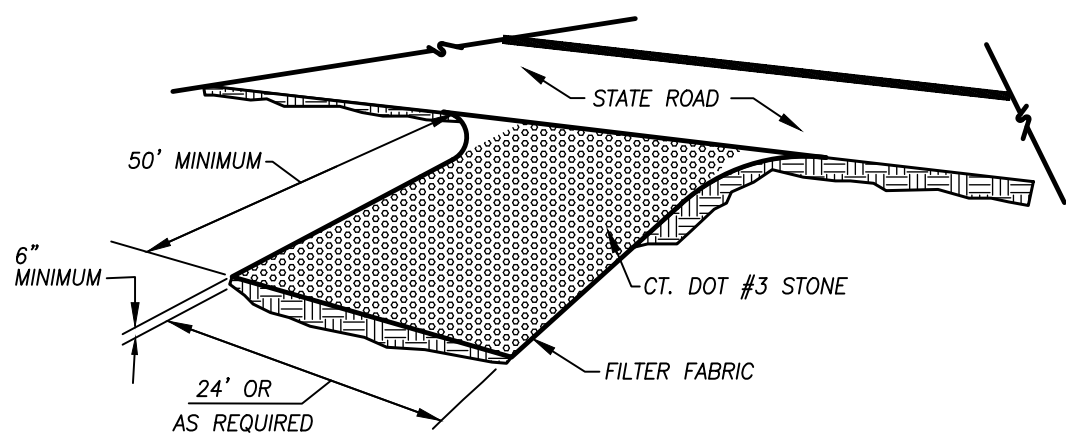
SEDIMENT FENCE DETAIL

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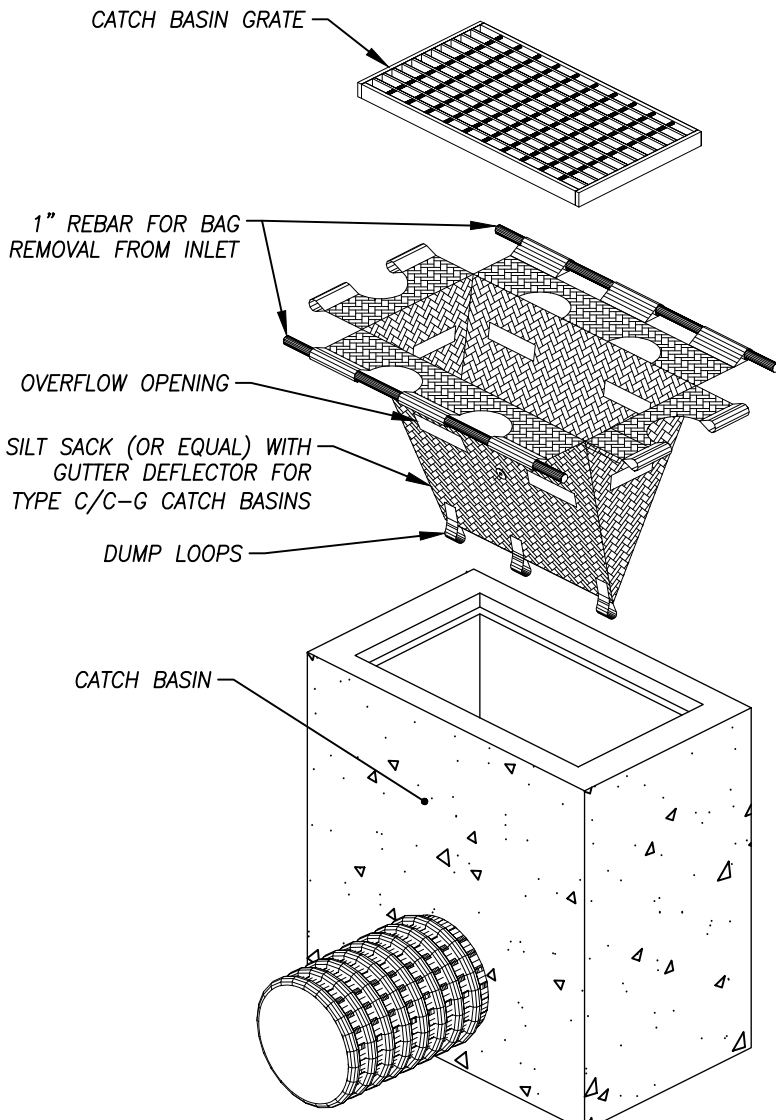
WOOD CHIP BERM DETAIL

NOT TO SCALE



ANTI-TRACKING PAD AT DRIVEWAY

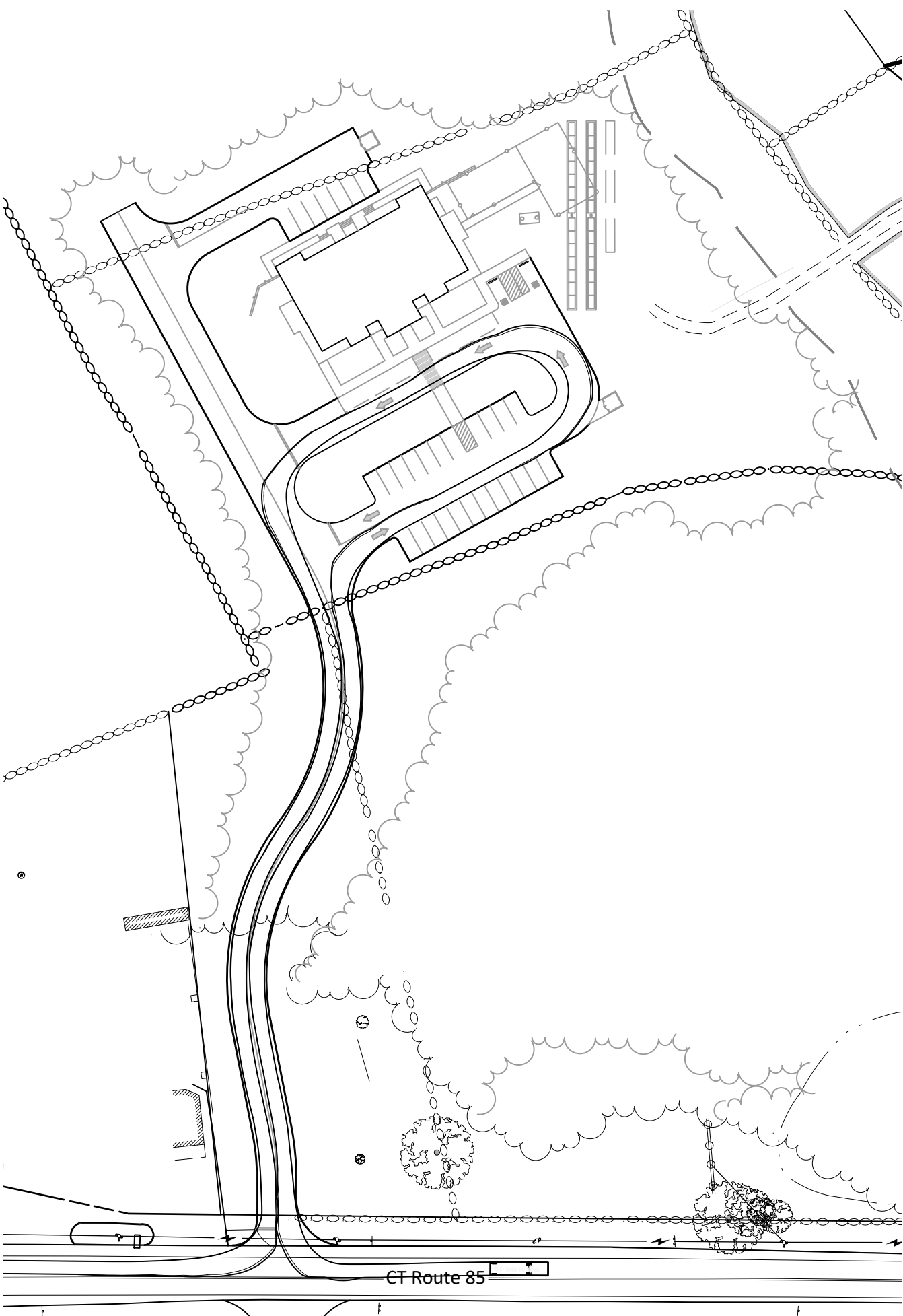
NOT TO SCALE



NOTE: TO BE INSTALLED ON ALL PROPOSED CATCH BASINS AND YARD DRAINS UNTIL FINAL SITE STABILIZATION.

CATCH BASIN INLET PROTECTION

NOT TO SCALE



S-BUS 36 DESIGN VEHICLE TURNING MOVEMENT

SCALE: 1" = 80'

NOTES:
-SEE SHEET 1 FOR ENGINEER, SURVEYOR AND SOIL SCIENTIST SIGNATURES AND SEALS
-SEE SHEET 3 FOR LEGEND AND ABBREVIATIONS

Improvement Location & Topographic Survey
"Notes & Details"
Prepared For
Cricket's Corner, LLC
1645 Route 85 - Montville, Connecticut

CIVIL ENGINEERING LAND SURVEYING LAND USE PLANNING SOIL SCIENCE
BOUNDARIES
Boundaries LLC
179 Pachaug River Drive, Griswold, CT 06331
T 860.376.2006 | www.boundariesllc.net

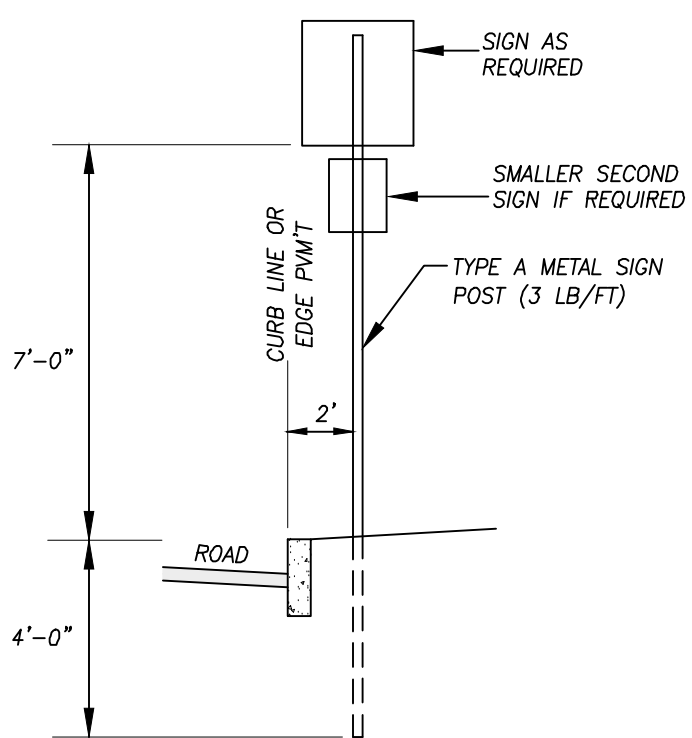
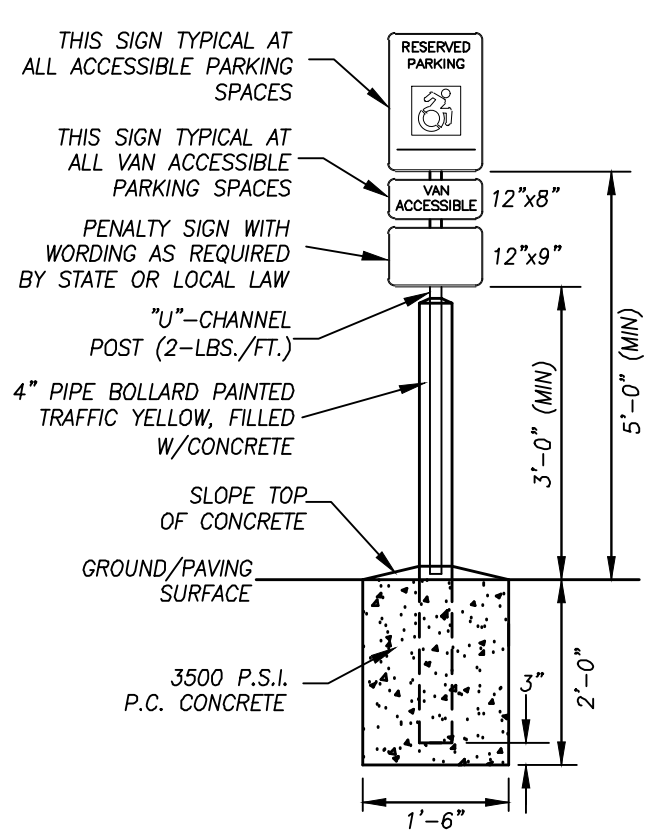
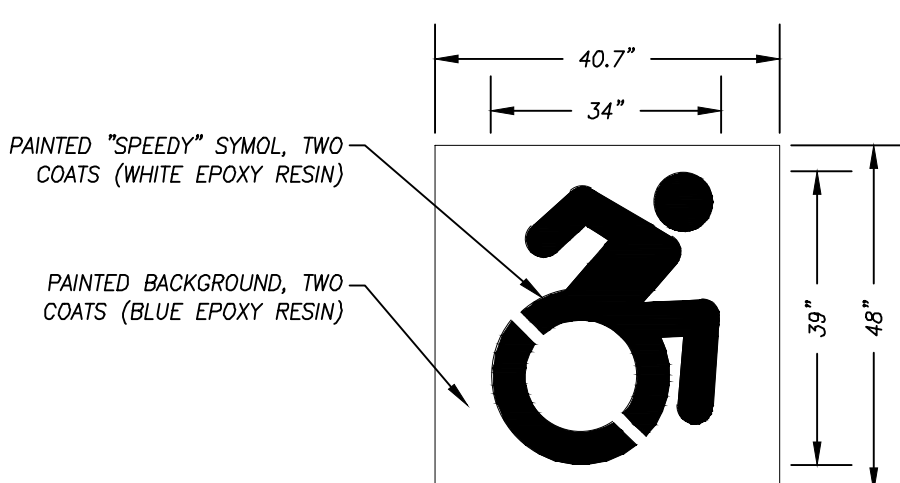
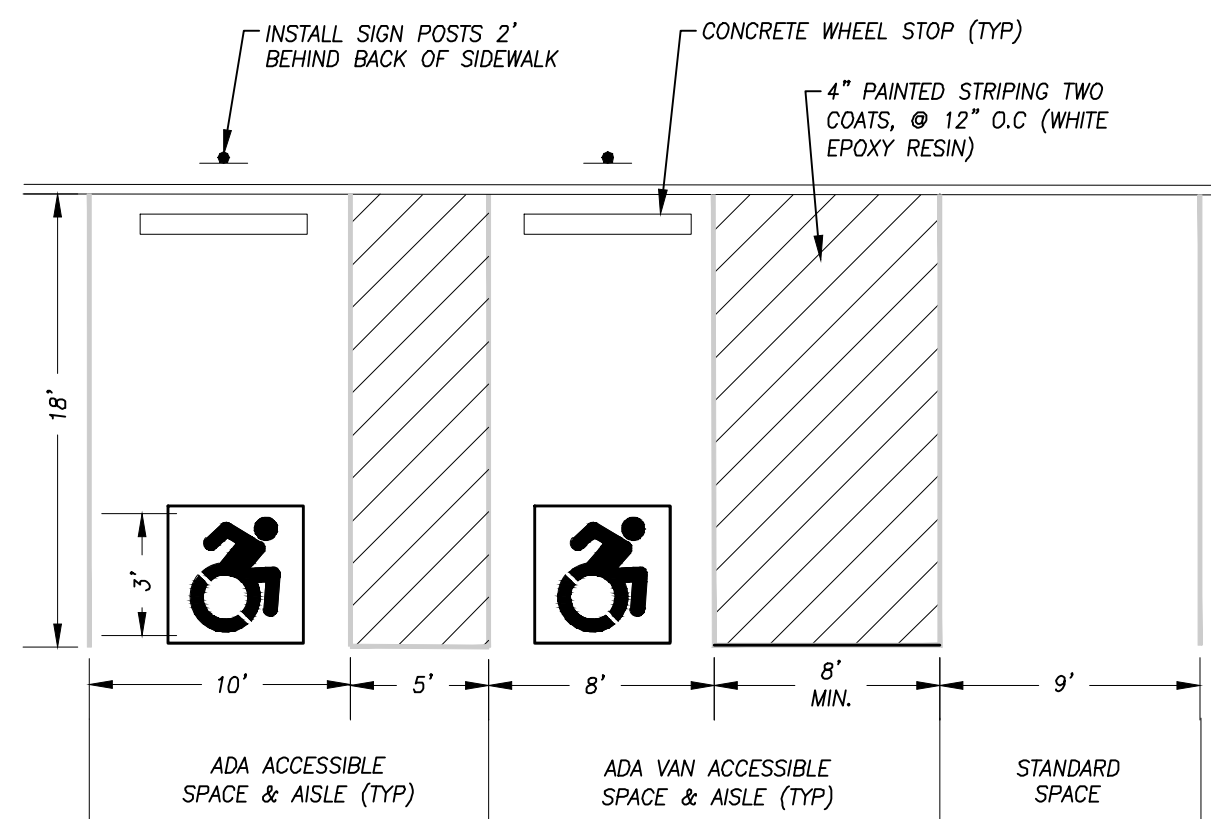
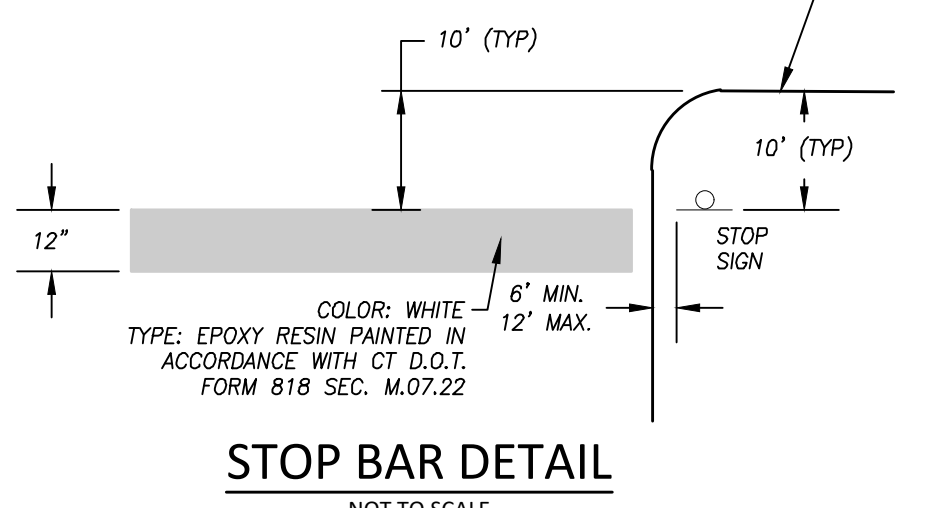
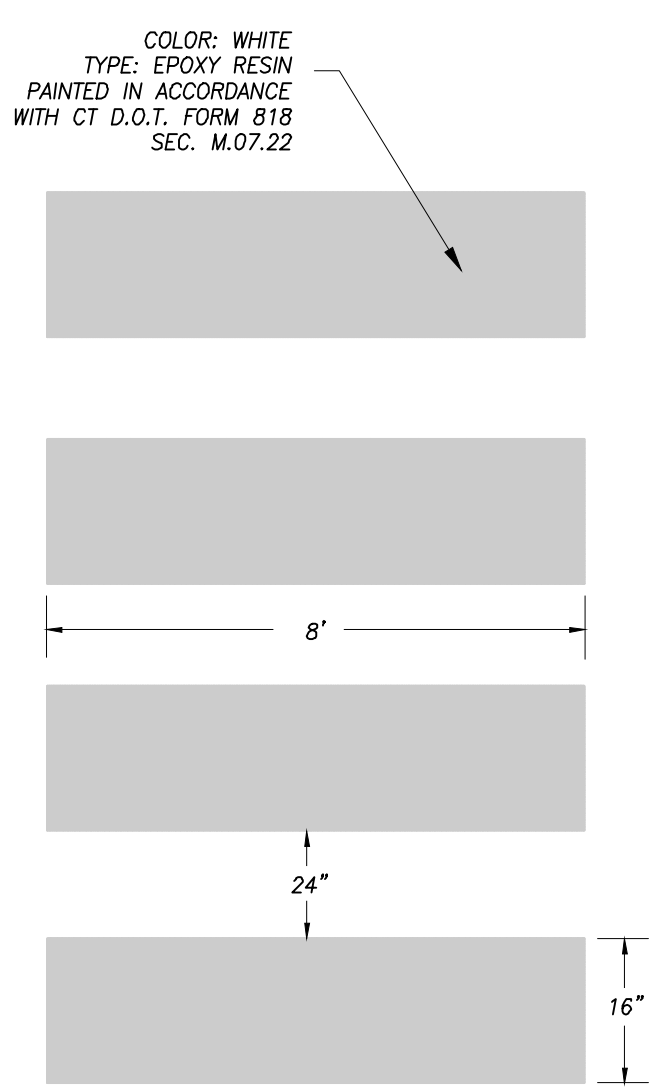
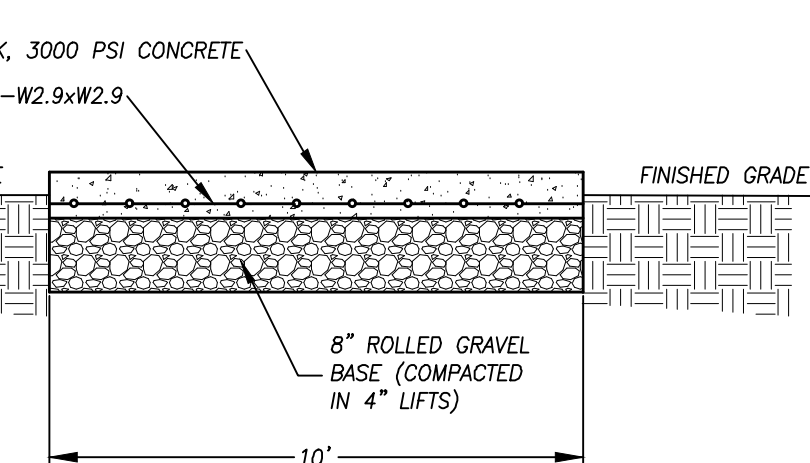
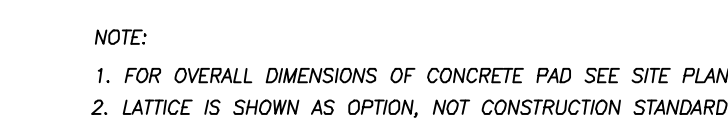
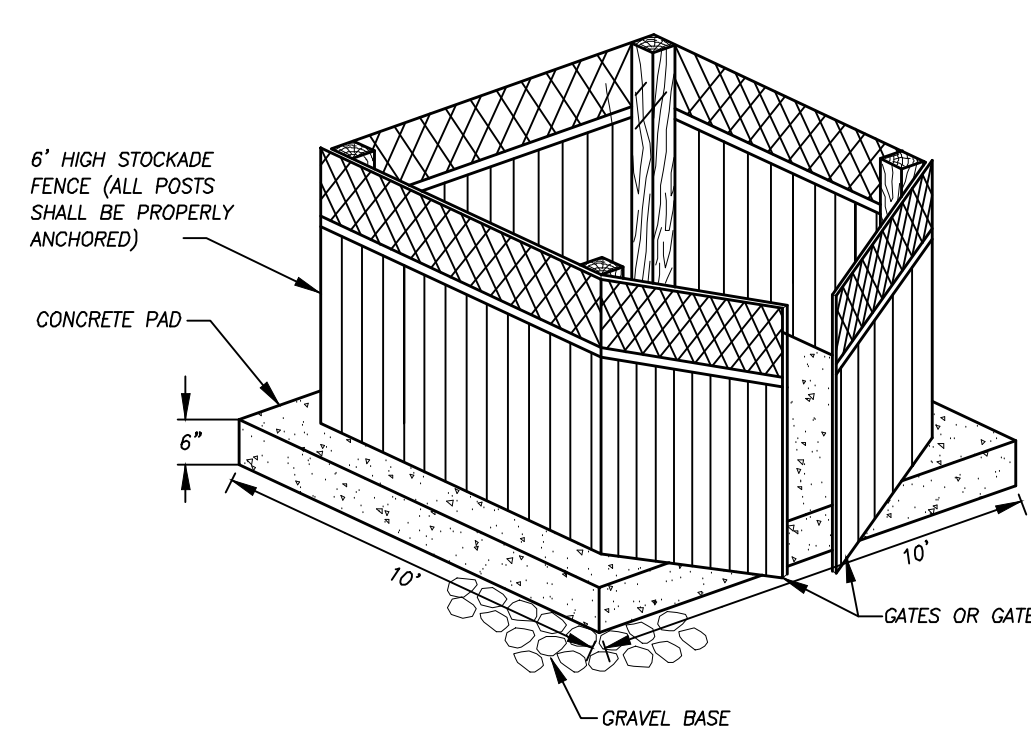
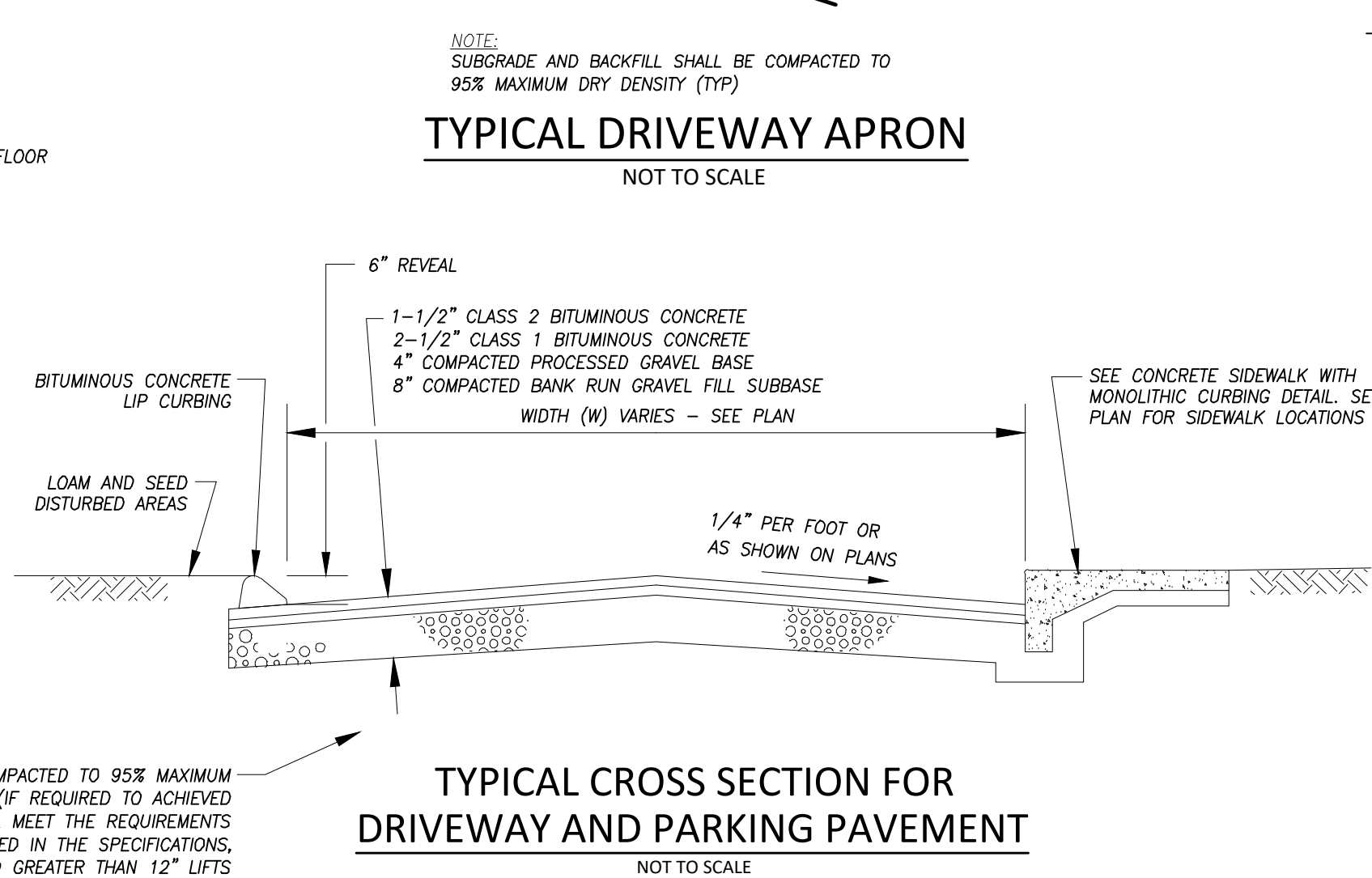
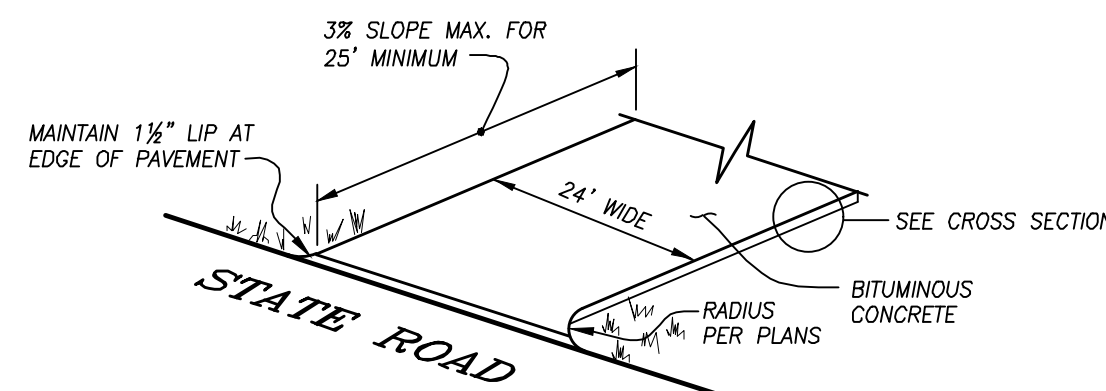
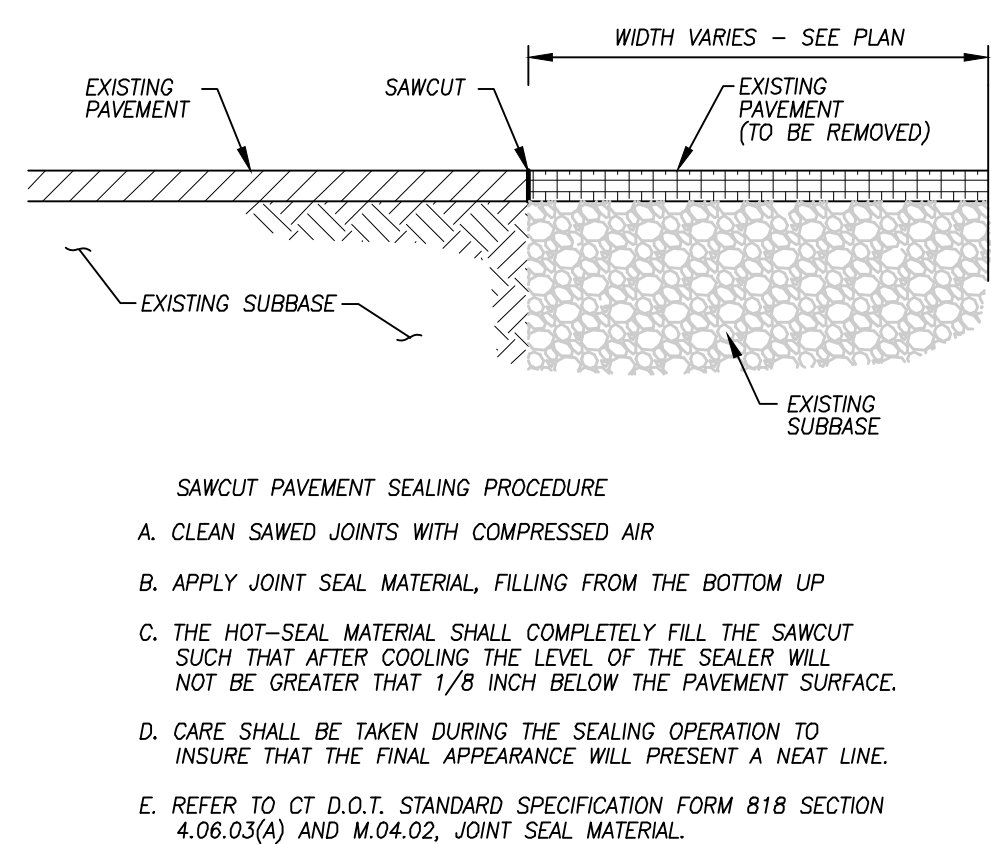
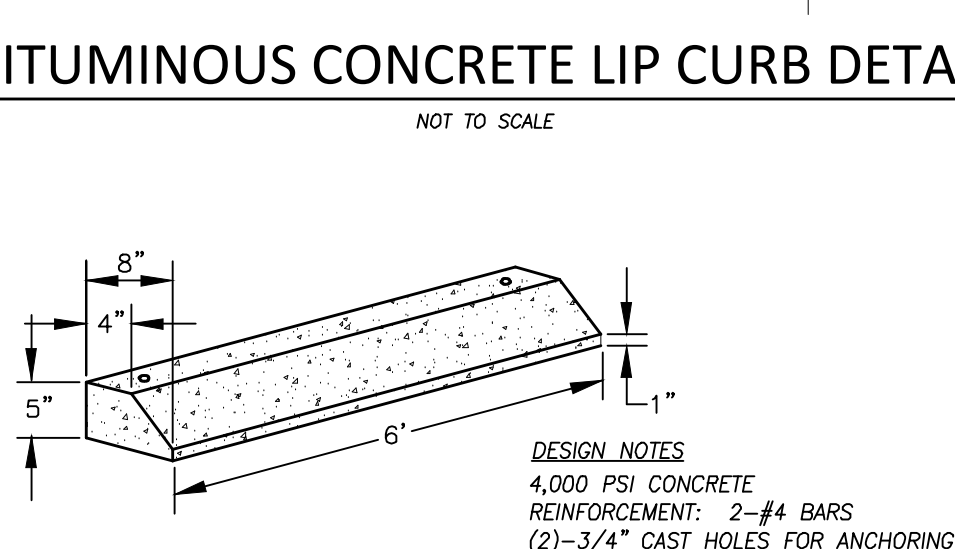
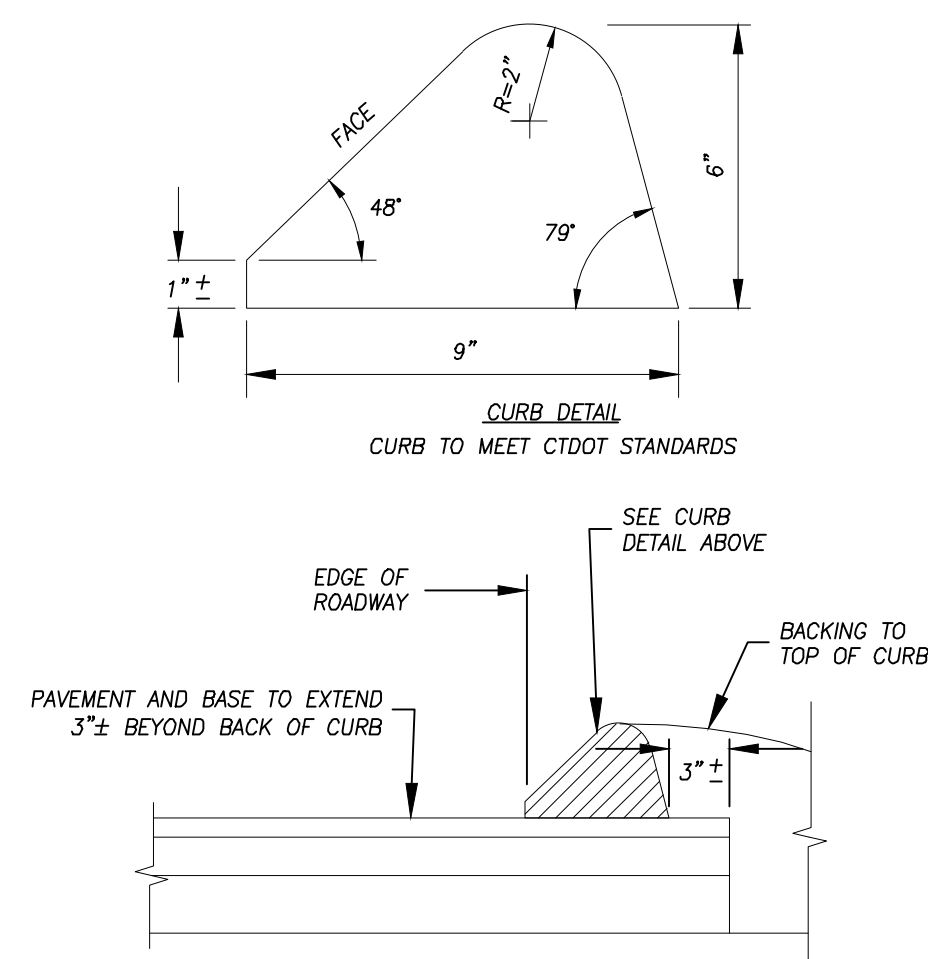
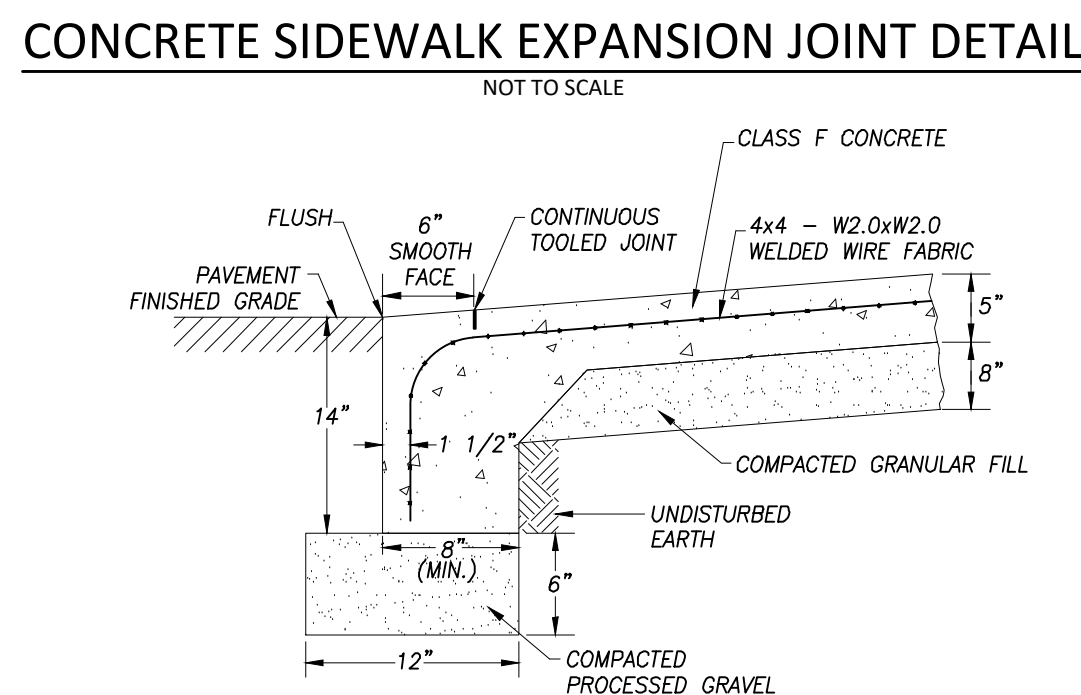
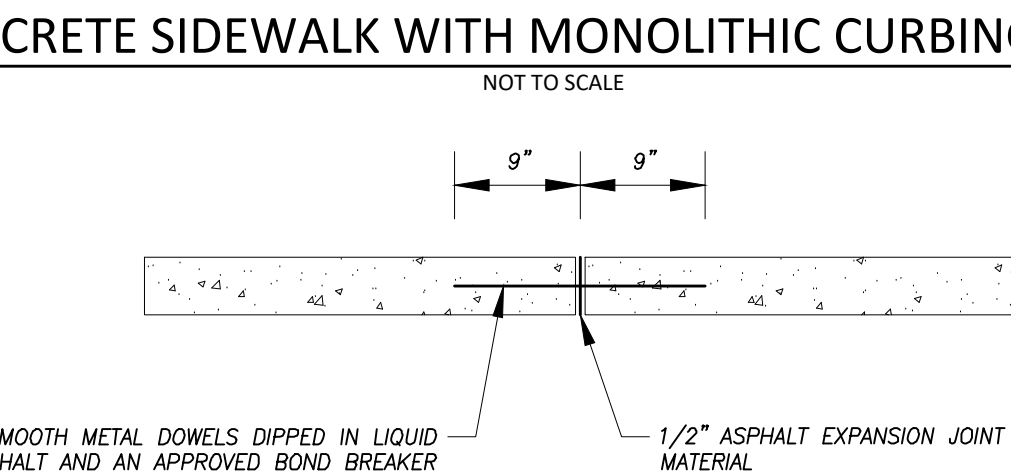
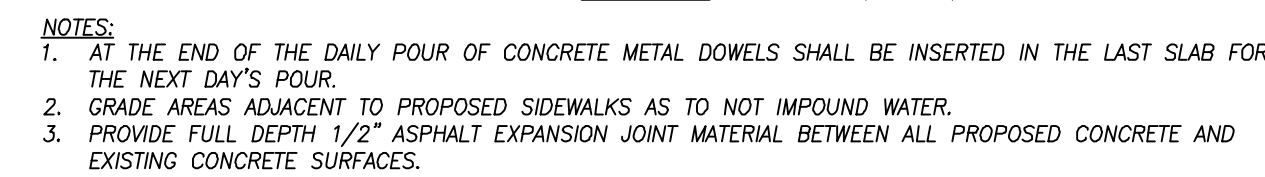
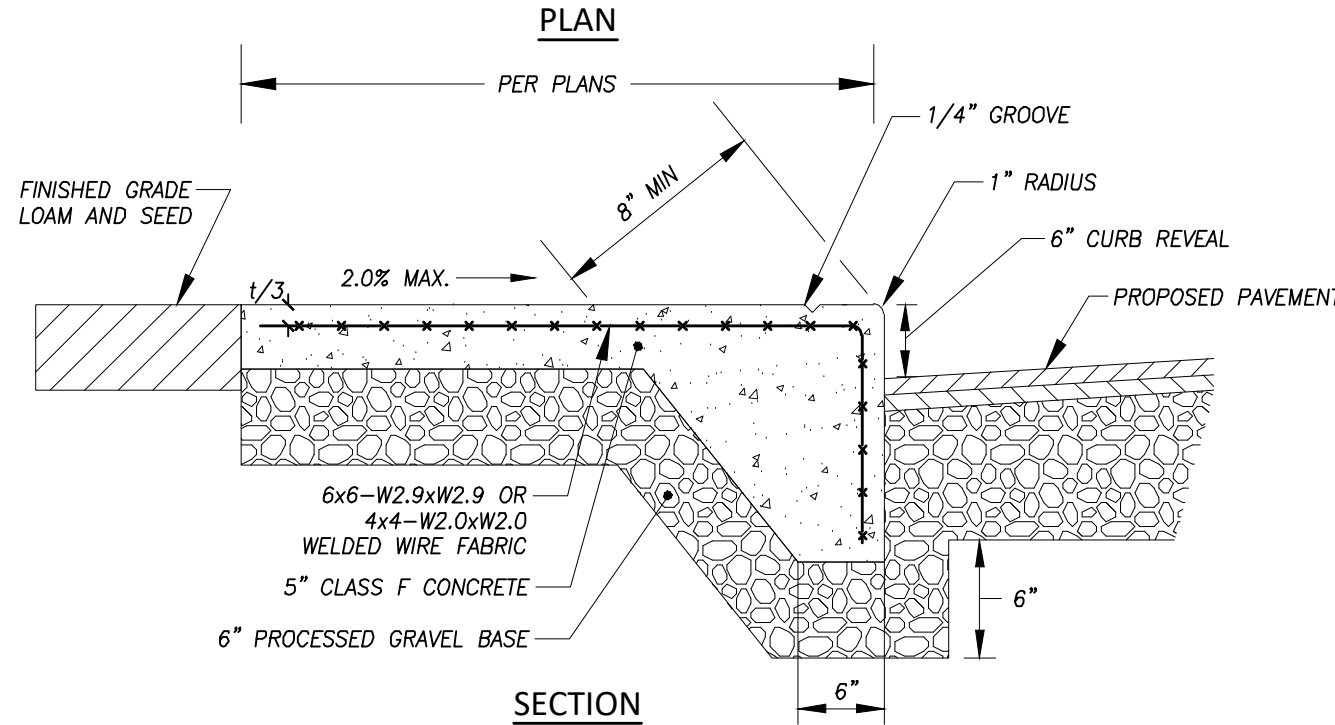
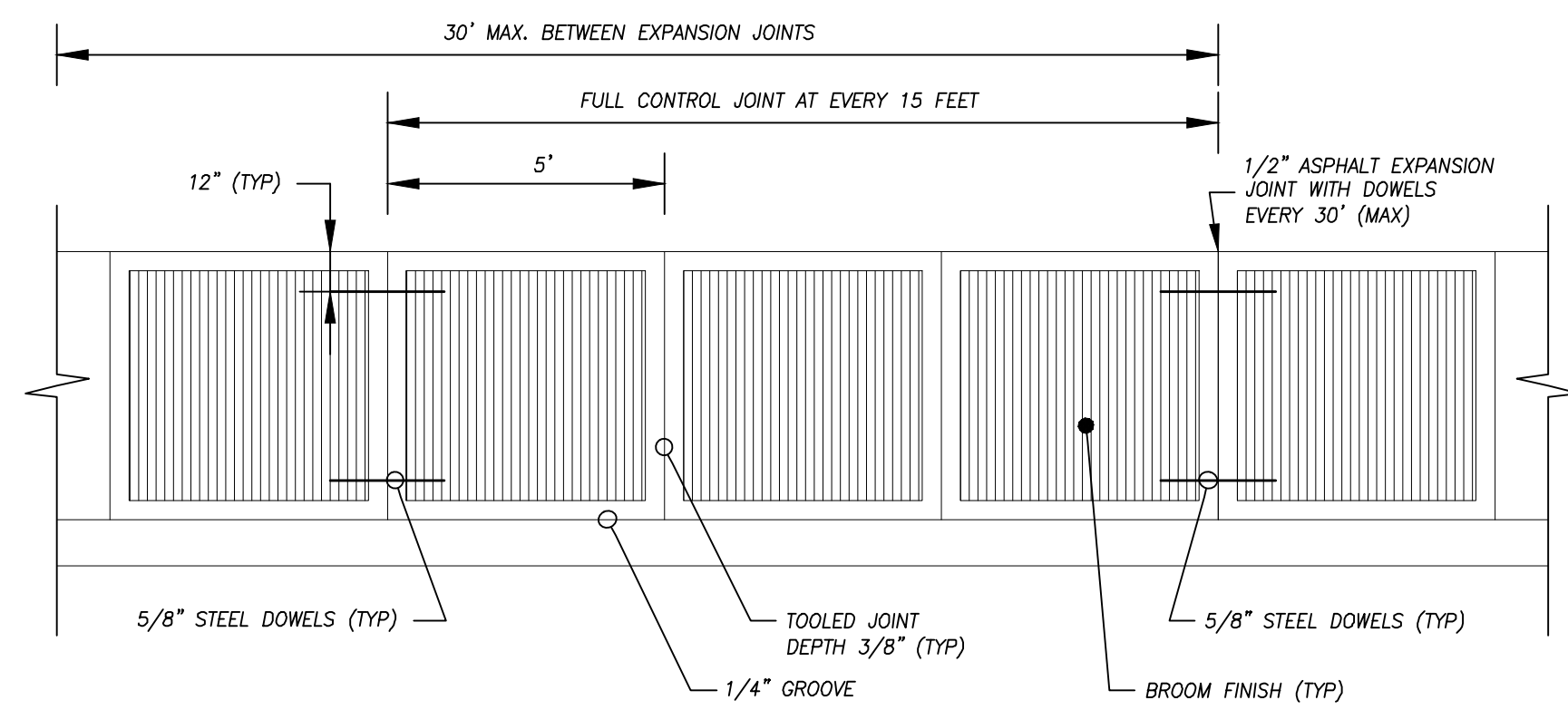
H+H
ENGINEERING
ASSOCIATES
232 Greenmanville Ave.
Suite 201
Mystic, CT 06355
www.hh-engineers.com

SCALE: As Noted
DATE: February 2025
JOB I.D. NO. 24-3432
Revisions

SHEET NO.

11

13



ADA ACCESSIBLE PARKING SPACE NOTES:

1. SLOPE ON PAVEMENT SHALL BE NO MORE THAN 2% IN ANY DIRECTION.
2. CROSS HATCH AISLES MAY NOT BE SHARED BETWEEN TWO SPACES OF DIFFERENT TYPE.
3. AISLE WIDTH IS 8' FOR VAN ACCESSIBLE SPACES, AND 5' FOR ALL OTHER ACCESSIBLE SPACES.
4. USE CURRENT "SPFFDY" ADA SYMBOL FOR ALL PAVEMENT MARKINGS AND SIGNS.

PARKING SPACE DETAILS

ACCESSIBLE PARKING SPACE SYMBOL DETAIL

NOT TO SCALE

ACCESSIBLE PARKING SIGN DETAIL

NOT TO SCALE

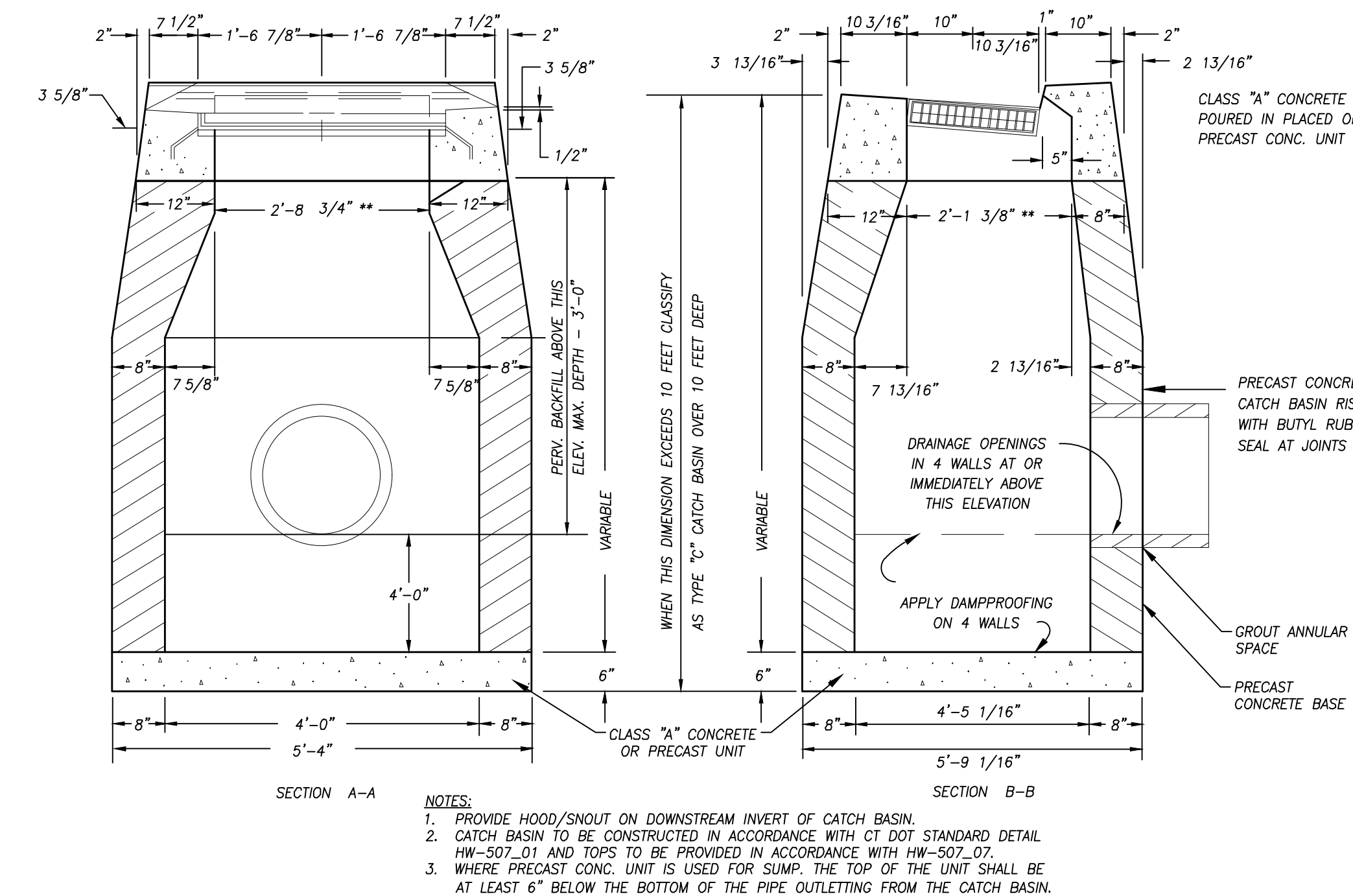
**DIRECTIONAL SIGN
SUPPORT DETAIL**

NOT TO SCALE

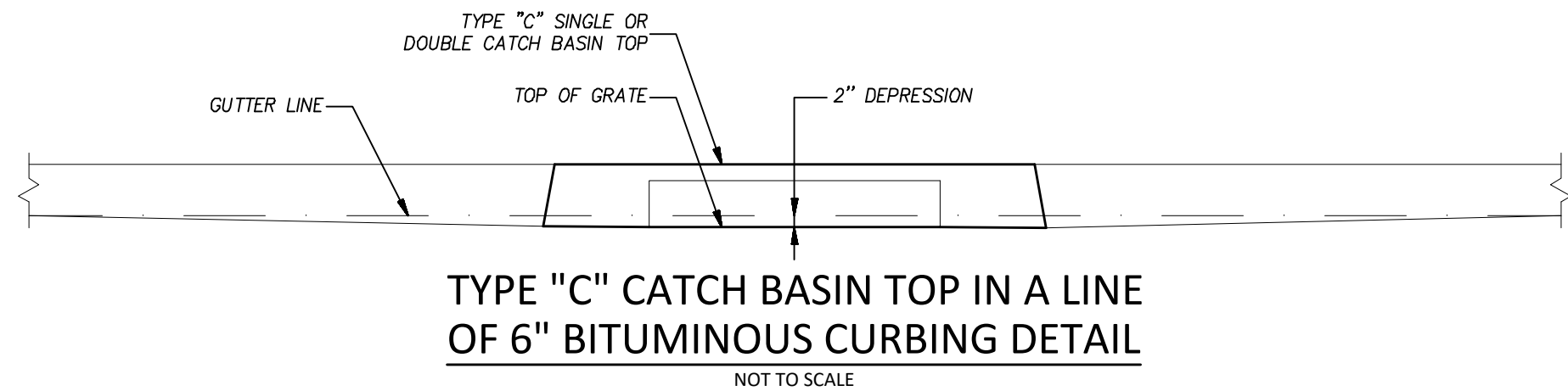
NOTES:
-SEE SHEET 1 FOR ENGINEER, SURVEYOR AND
SOIL SCIENTIST SIGNATURES AND SEALS
-SEE SHEET 3 FOR LEGEND AND ABBREVIATIONS.



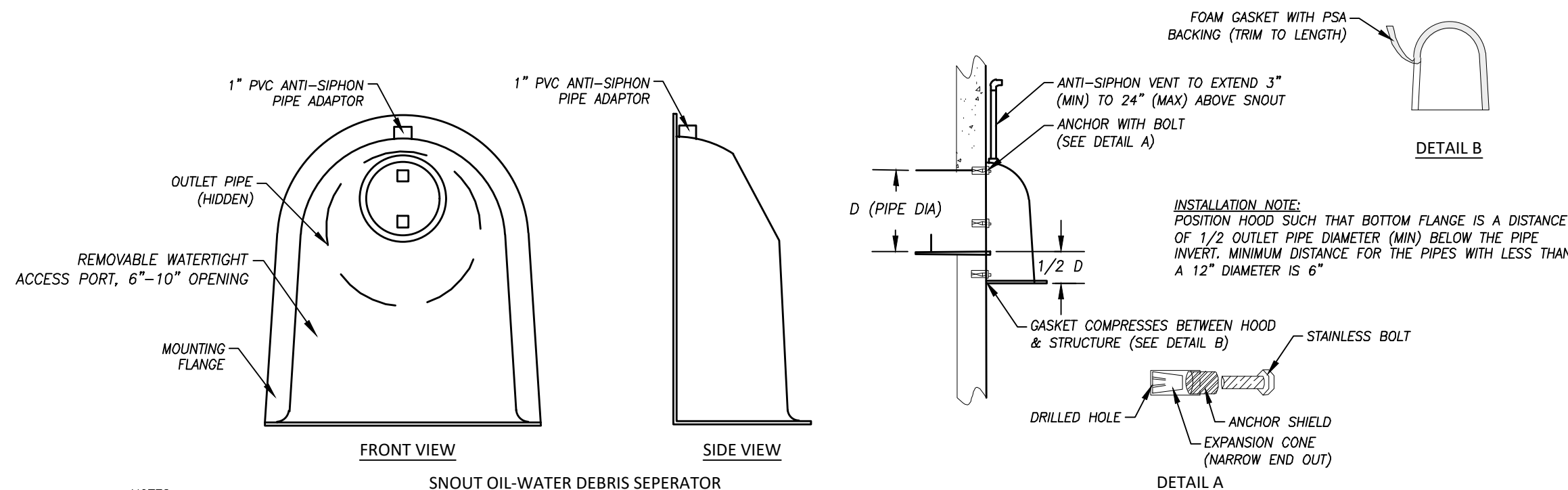
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TYPE "C" OR "C-L" CATCH BASIN
NOT TO SCALE

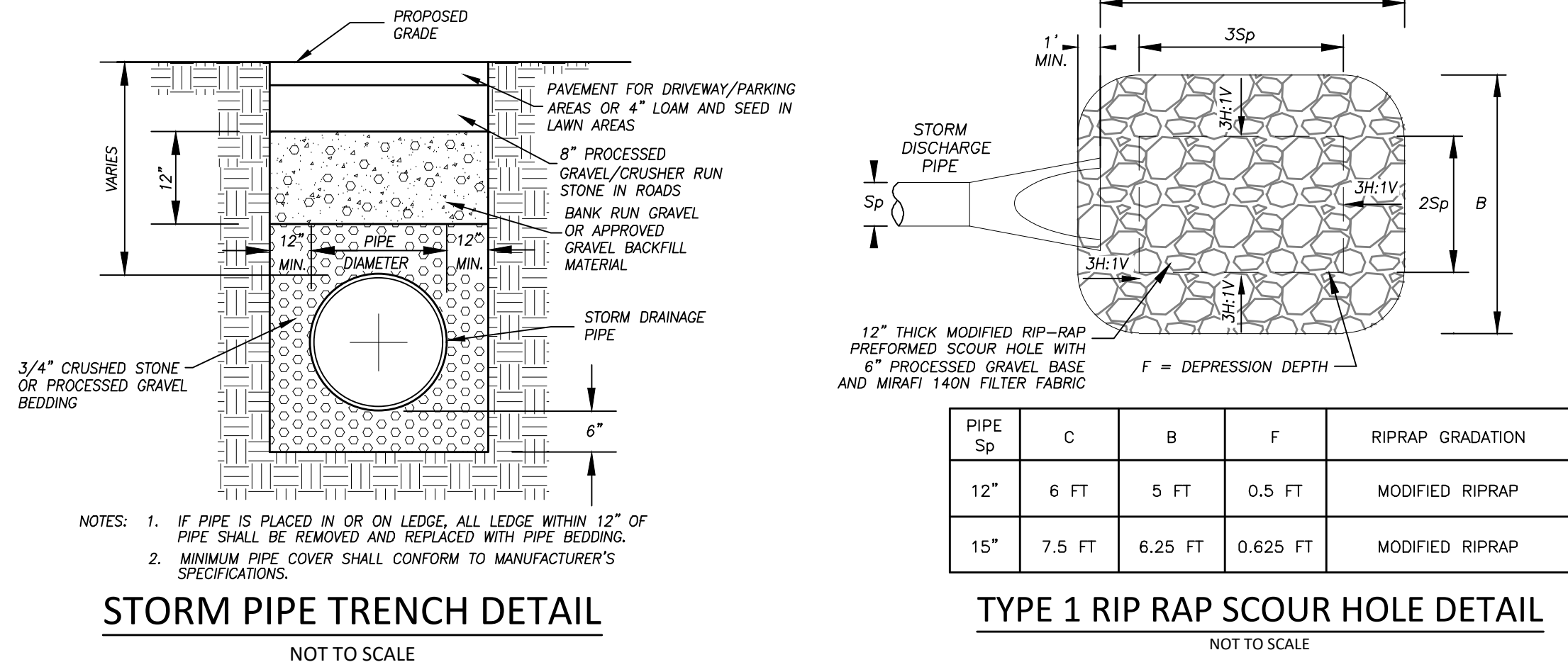


TYPE "C" CATCH BASIN TOP IN A LINE OF 6" BITUMINOUS CURBING DETAIL
NOT TO SCALE



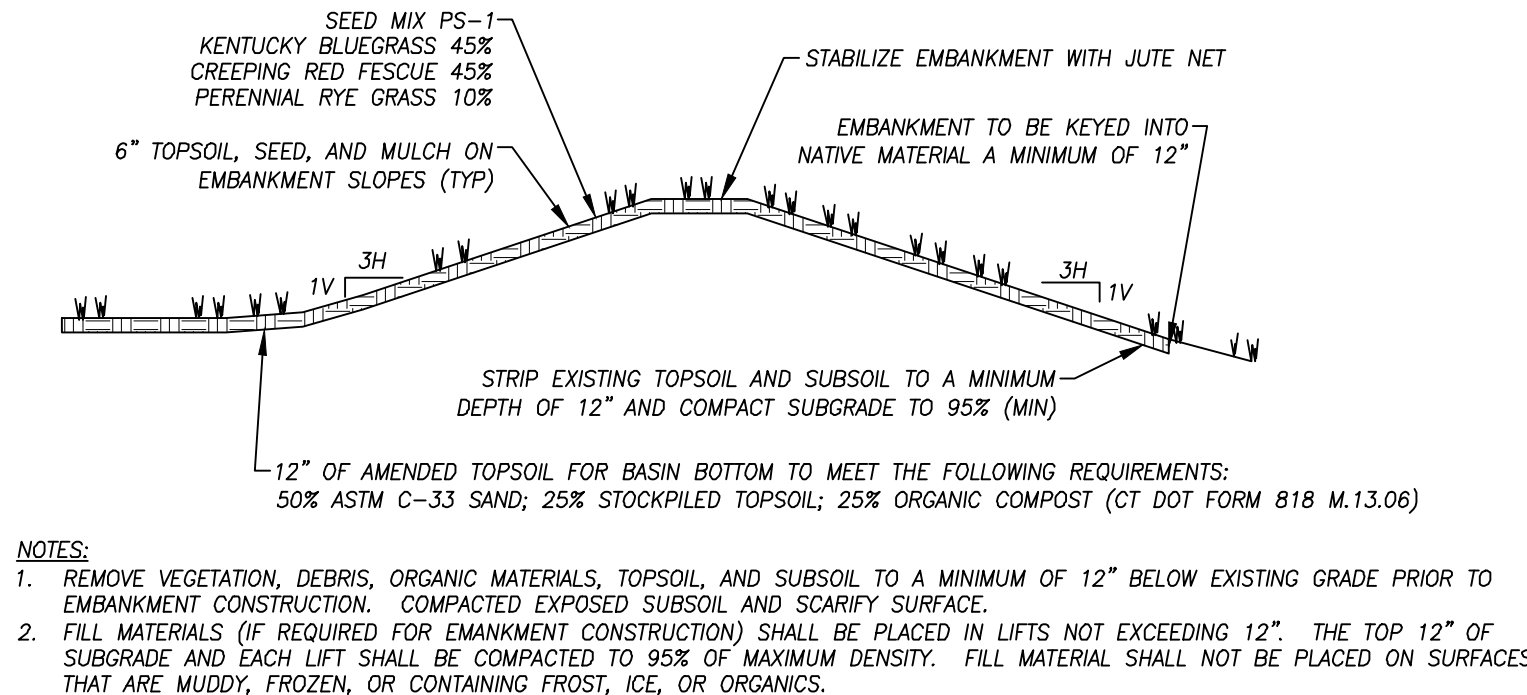
- NOTES:
1. ALL HOODS AND TRAPS FOR CATCH BASINS AND OUTLET CONTROL STRUCTURES SHALL BE AS MANUFACTURED BY BEST MANAGEMENT PRODUCTS, INC., OR APPROVED EQUAL.
 2. THE SIZE AND POSITION OF THE HOOD SHALL BE DETERMINED BY OUTLET PIPE SIZE AND THE MANUFACTURER'S RECOMMENDATIONS.
 3. THE SURFACE OF THE STRUCTURE WHERE THE HOOD IS MOUNTED SHALL BE FINISHED SMOOTH AND FREE OF LOOSE MATERIAL.
 4. THE HOOD SHALL BE SECURELY ATTACHED TO THE STRUCTURE WALL WITH 3/8" STAINLESS STEEL BOLTS AND OIL-RESISTANT GASKET AS PROVIDED BY THE MANUFACTURER SUPPLIED INSTALLATION KIT.

CATCH BASIN HOODED OUTLET
NOT TO SCALE

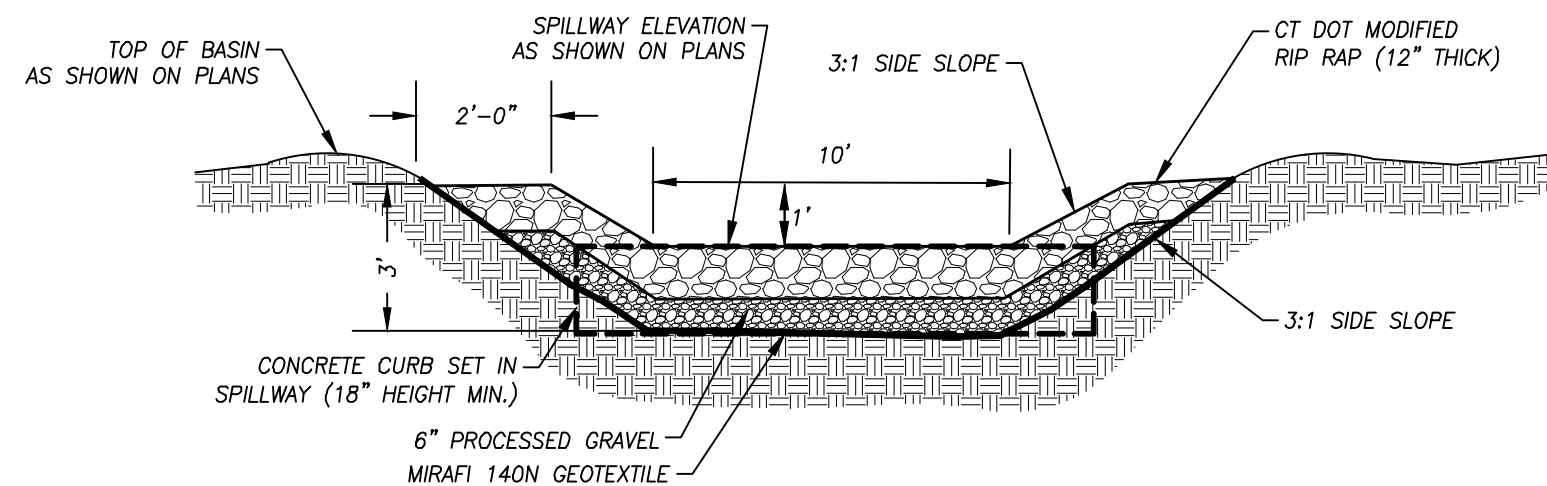


STORM PIPE TRENCH DETAIL
NOT TO SCALE

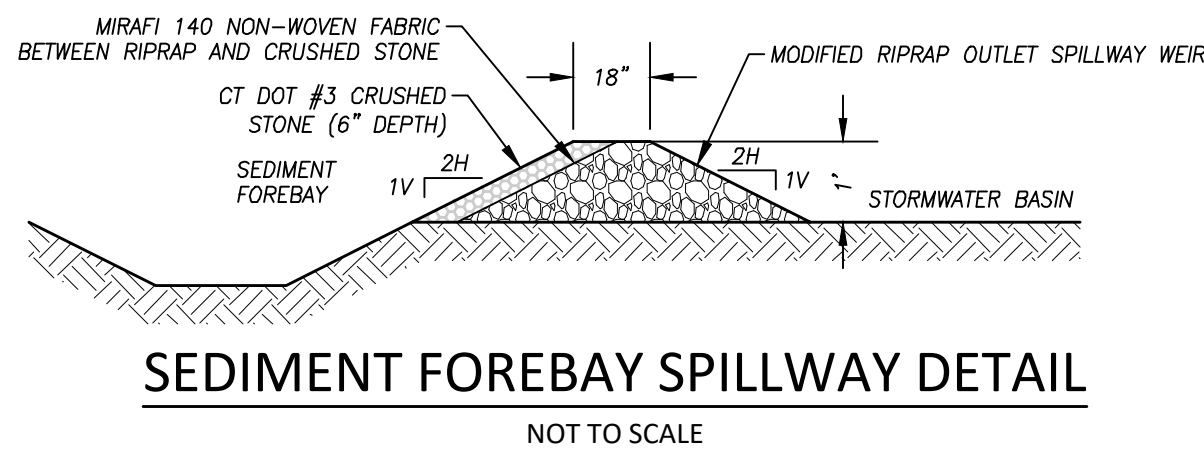
TYPE 1 RIP RAP SCOUR HOLE DETAIL
NOT TO SCALE



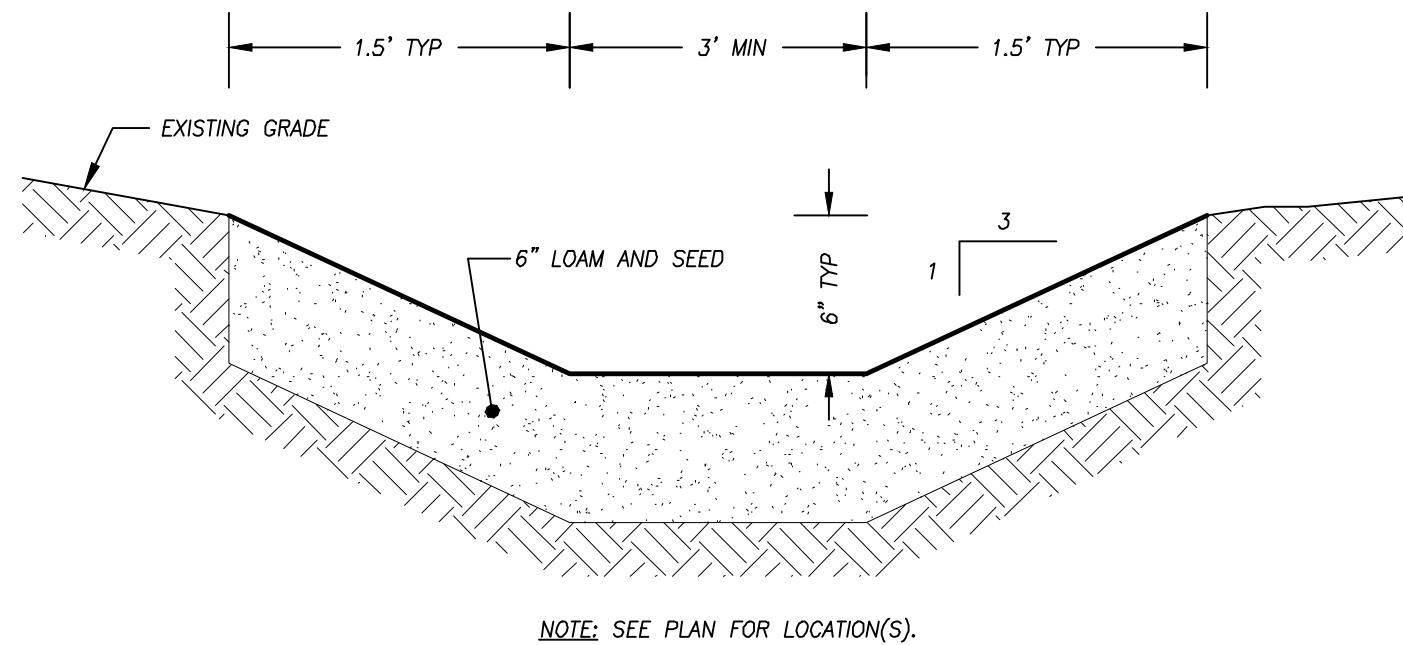
STORMWATER BASIN EMBANKMENT DETAIL
NOT TO SCALE



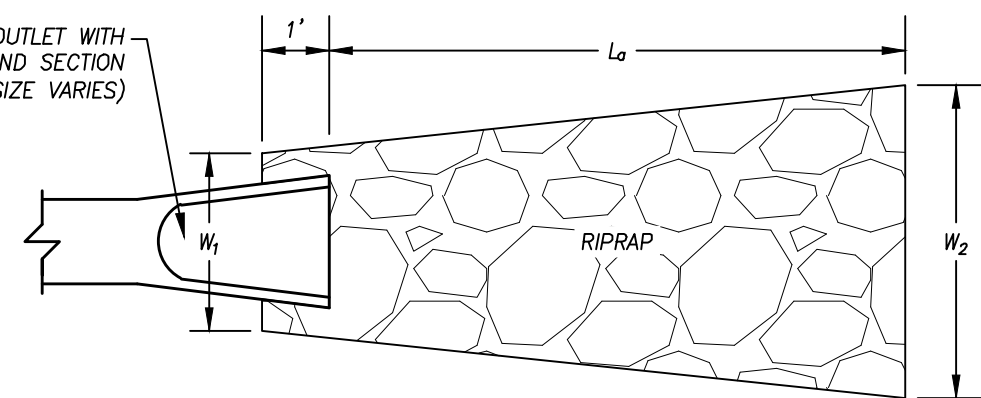
BASIN SPILLWAY DETAIL
NOT TO SCALE



SEDIMENT FOREBAY SPILLWAY DETAIL
NOT TO SCALE



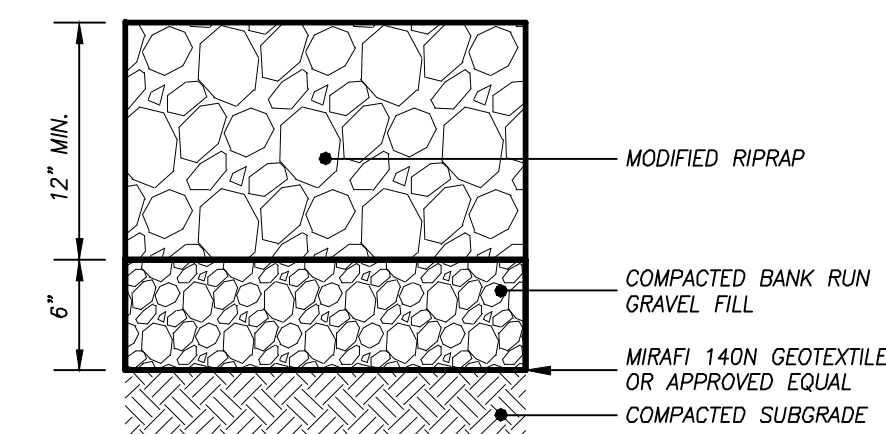
TYPICAL GRASS SWALE SECTION
NOT TO SCALE



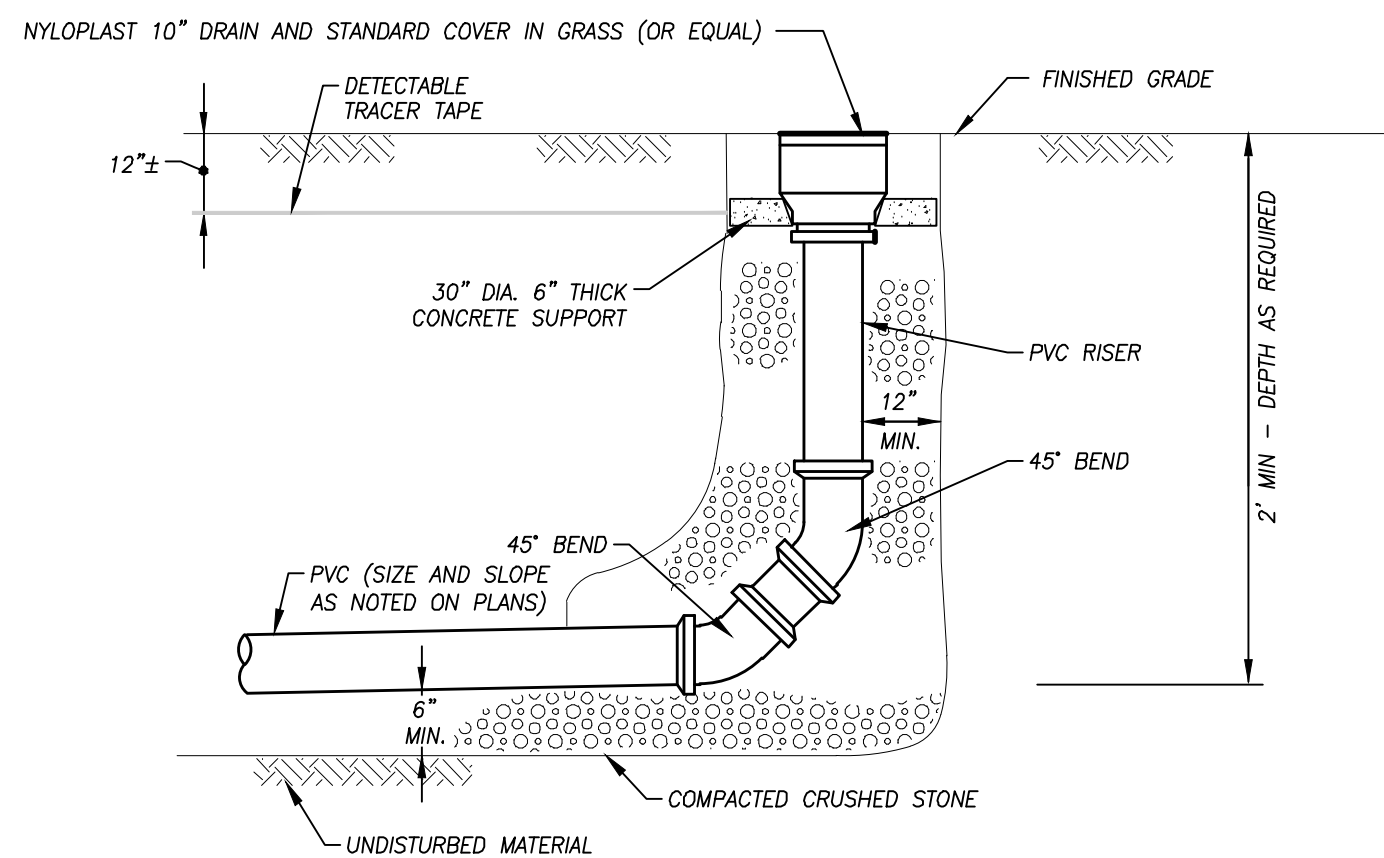
SPREAD APRON TABLE					
OUTLET #	W ₁	W ₂	L _s	RIPRAP TYPE	
P-FEU-2	3.75'	13.25'	13.57'	MODIFIED	
P-FEU-5	3'	12.15'	13.06'	MODIFIED	

APRON DESIGN BASED ON 2002 CT DOT DRAINAGE MANUAL.
NOTE: DIMENSIONS REPRESENT MINIMUM VALUES.

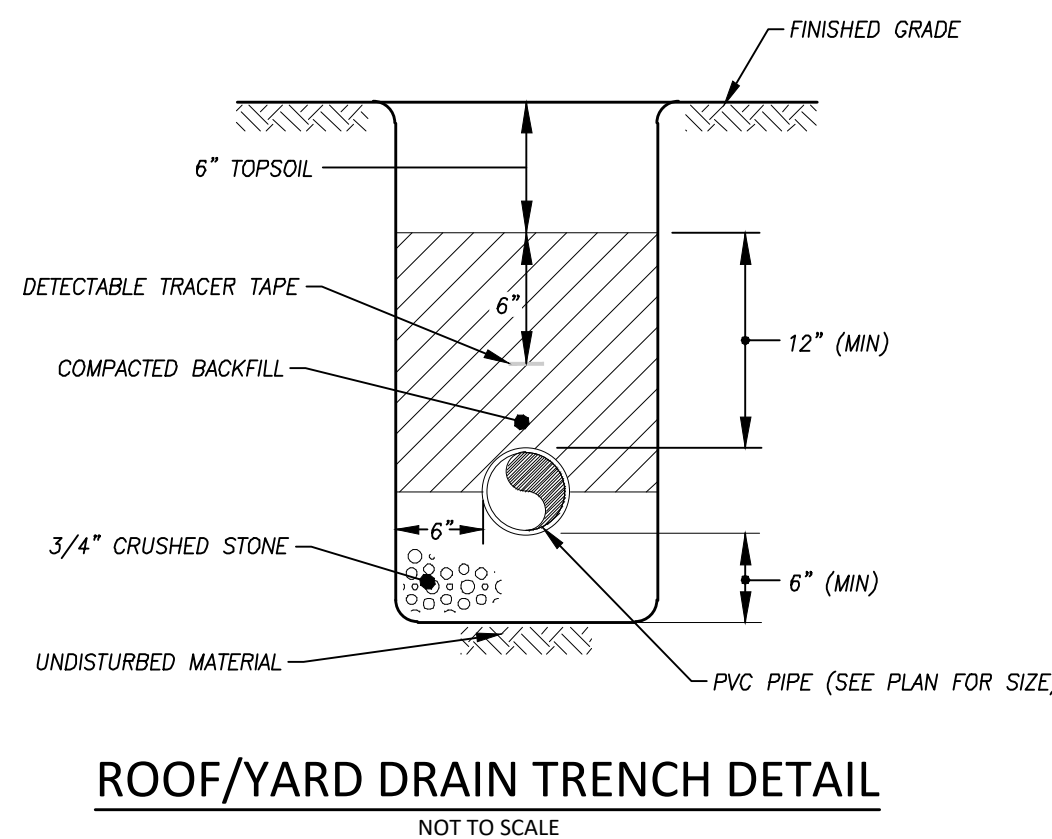
RIPRAP SPREAD APRON DETAIL
NOT TO SCALE



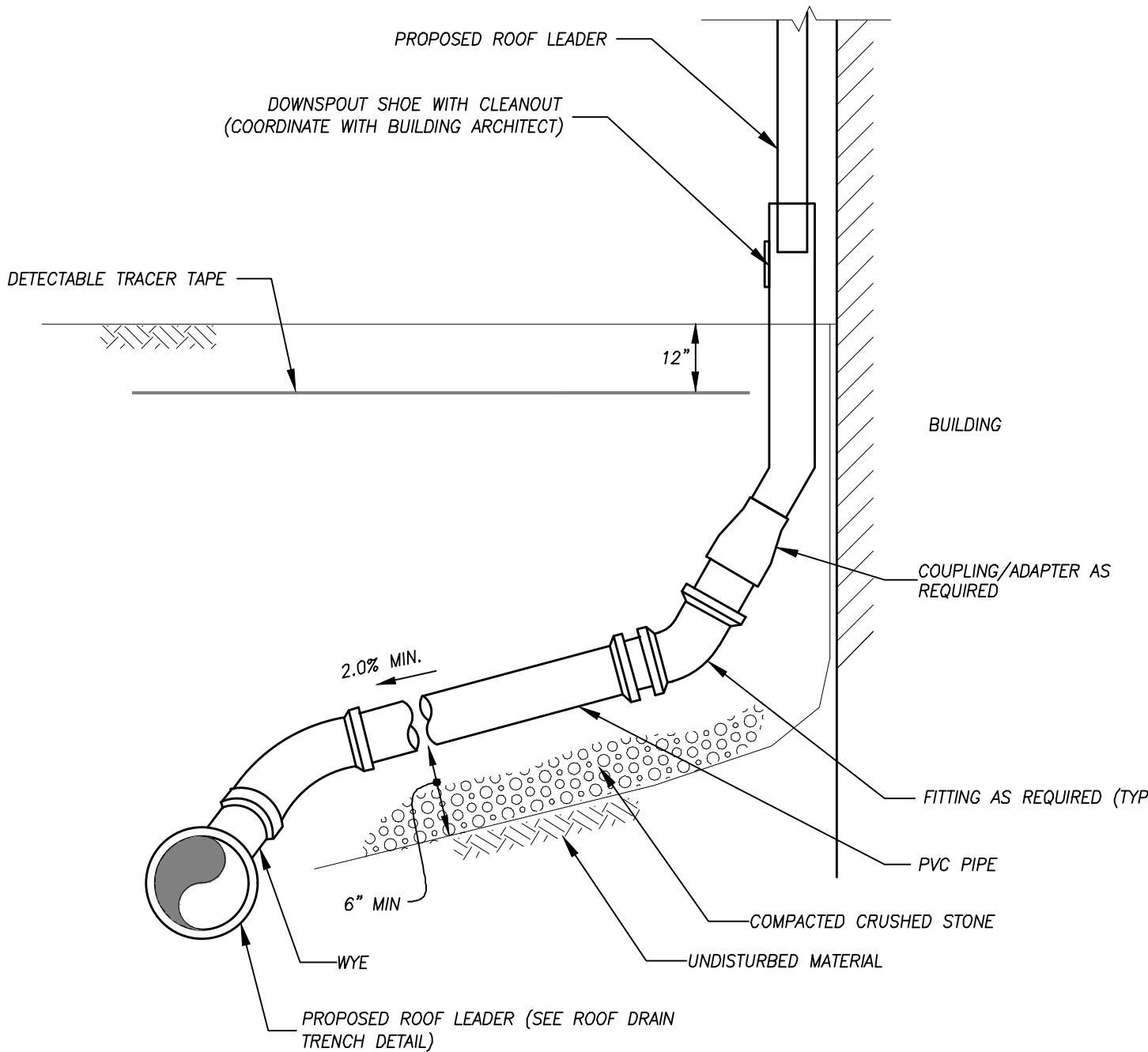
TYPICAL MODIFIED RIPRAP SECTION
NOT TO SCALE



YARD DRAIN DETAIL
NOT TO SCALE



ROOF/YARD DRAIN TRENCH DETAIL
NOT TO SCALE



- NOTES:
1. DETECTABLE TRACER TAPE SHALL BE INSTALLED FOR THE ENTIRE LENGTH OF THE ROOF LEADER.
 2. PROVIDE FITTINGS, COUPLINGS AND ADAPTERS AS REQUIRED.

ROOF LEADER CONNECTION DETAIL
NOT TO SCALE

NOTES:
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