

FULLER ENGINEERING & LAND SURVEYING, LLC

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21 February 2025

Mrs. Meredith Badalucca
Assistant Planner
Town of Montville

RE: Response to Comments
Madison Place, Luxury Townhouse Development
145 Route 32 & 18 Powerhouse Road
Montville, Connecticut

The following are our responses to comments from multiple departments in an email from various review agencies. Our responses are designated in ***bold and italics***.

Staff Technical Review - dated 2/12/2025

COVER SHEET

1. Per ZR 17.2.6 please include lot lines and zoning boundaries within 1,000 feet of the subject property on the location map.

Response: A new vicinity map from the Town GIS has been added to the Cover Sheet illustrating lot lines and the adjacent zoning districts within 1,000 feet of the subject property.

ZONING IMPROVEMENT LOCATION & TOPOGRAPHIC PLAN

2. Note 7 indicates incorrect owner.

Response: The owner's of each property have been corrected.

3. Not 8 indicates the wrong parcel id and zone.

Response: The parcel ID's and Zone have been corrected.

4. Note #9 indicates 1.33 acres. Please indicate which parcel this pertains to and include the other parcel information.

Response: The areas of each property have been identified in the note to correspond to the areas in the Zone Table.

5. Zoning Compliance Table indicates 10,000 s.f. requirement for minimum lot area. Please indicate that this is 10,000 s.f. of lot area per multi-family dwelling unit.

Response: "Minimum Lot Area per Multi-family D.U." has been added to the Zoning Compliance Table.

6. Zoning Compliance Table indicates Route 32 rear setback as 181.3, plan shows 182.6.

Response: Dimension has been corrected to 182.6 feet.

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SHEET NUMBER C-2.1

7. Please indicate on the plan if the well at 145 Route 32 is proposed to be removed.

Response: A note has been added to the plan indicating abandonment per the Health District requirements.

8. Note 4, remove “local building department” and replace with Planning and Zoning Commission. Also, update the latest version of the CT E&S Guidelines on this sheet as well as, throughout the plan set.

Response: “Planning and Zoning Commission” has been added to the note. Reference to the current 2004 edition of the CT Guidelines for Soil Erosion and Sediment Control has been shifted to Note 5.

9. Zoning Compliance Table for Proposed Lots Merged indicates 80.3 front setback, plan shows 73.2.

Response: Revised the dimension to refer to the proposed Unit 11 – 73.2 feet.

10. Parking Compliance Table is cut-off.

Response: Table and Sign Legend have been shifted to the right.

SHEET NUMBER C-2.2

11. Units 7, 4 & 6 are indicated for Phase 1 in narrative, plan shows 7, 6, & 5.

Response: Narrative corrected to indicate units 7, 6, and 5 to be constructed under Phase 1.

12. Phase 2 note 5 indicates 5 parking spaces, please confirm.

Response: Additional parking spaces proposed have been corrected to two (2).

13. Phase 3 Note 4 indicates install temporary fence around phase 2 area vs phase 3.

Response: Note 4 has been modified to indicate temporary fence around the Phase 3 area.

14. Please indicate that unit 1 will not be occupied prior to renovation and issuance of a CZC and CO for Phase 2.

Response: A note has been added indicating that “Unit 1 cannot be occupied prior to renovation and issuance of CZC and Certificate of Occupancy for Phase 2”.

15. Please verify the location of the temporary fencing will not interfere with the location of the erosion and sediment controls.

Response: The measures specified on Sheet C-4.1 are primarily installed on the perimeter of the construction area. The intent of the plan is to install, maintain, and modify erosion control measures locations as required during construction.

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Notes have been added indicating coordination with the Soil Erosion & Sediment Control Plan – Sheet C-4.1 and Note 1 of the Construction Schedule on C-4.2.

SHEET NUMBER C-3.2

16. Please verify that all utilities will be placed underground per ZR 4.11.5.7.

Response: All utilities have been designed for underground installation. A new Note 2 has been added.

SHEET NUMBER C-4.2

17. Construction Sequence note 12, replace Municipality with Zoning Enforcement Officer.

Response: "Municipality" has been replaced with "Zoning Enforcement Officer."

18. Operations Requirements Note 2, add "and Zoning Enforcement Officer" after Engineer.

Response: "Zoning Enforcement Officer" has been added after "Engineer"

19. Operation Requirements – Final Grading and Paving Operations Note 3, replace municipality with Zoning Enforcement Officer and remove Eastern CT Soils Conservation District and Inland Wetlands Commission.

Response: "Eastern CT Soils Conservation District and Inland Wetlands Commission" has been replaced by "Zoning Enforcement Officer."

OVERALL PLAN

20. Is the applicant proposing any signs? If included as part of site plan approval, a separate zoning permit application will be required. If signs are proposed, please see ZR 17.4.8. as well as ZR 19.

Response: Other than the traffic control signage, no other site signage is proposed at this time.

21. Please include area in acres on the plan for both properties per ZR 17.4.3.

Response: Zoning Development Standards have been modified on the Zoning Improvement Location & Topographic Plan and Sheet C-2.1, Proposed Site Plan.

22. Include approximate locations and size of all existing structures on the abutting properties which are within one hundred feet (100') of the property lot lines per ZR 17.4.8.

Response: A 100 Foot Radius Map depicting all structures from the Town GIS has been added to Cover Sheet C-0.

23. Please provide a bond estimate per ZR 17.6.10.

Response: A bond estimate has been generated for the Soil Erosion and Sediment Control measures. Public improvements are not anticipated to be conveyed to the Town.

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24. Per ZR 18.8.1, access drives for two-way traffic shall be 24'. Please revise plan to show 24' access drive in the area of Unit 11.

Response: The plan has been revised to increase the driveway width to 24 feet. We request the Commission approve the 18- foot emergency access drive to remain as designed.

John Lilly – email dated 2/18/2025

1. Install Isolation Valves to each building.

Response: Isolation Valves have been added to provide isolation to each building phase

2. Add blow-off hydrants to the two end buildings (Phase 2 and Phase 3)

Response: 2" Blow-off hydrants have been added to the ends of the Phase 2 and Phase 3 units.

3. Sewer separation to be 10 ft or 18 inch higher.

Response: Sanitary Sewer line has been shifted away from the 2 inch water main.

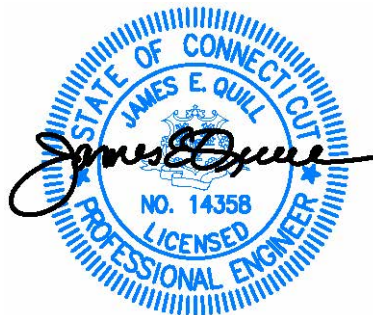
1. Add sanitary manholes.

Response: A manhole has been added in the driveway opposite Unit 6. Final sanitary inverts will be determined by the intercept of the existing sewer main in Powerhouse Road.

Ronald K. McDaniel email dated 02/12/2025

1. Calling for grinder pumps in all 11 units and service connections on Powerhouse lines.

Response: Requirement for Grinder Pumps has been added to Note 17 in the Notes on Sheet C-3.2.



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