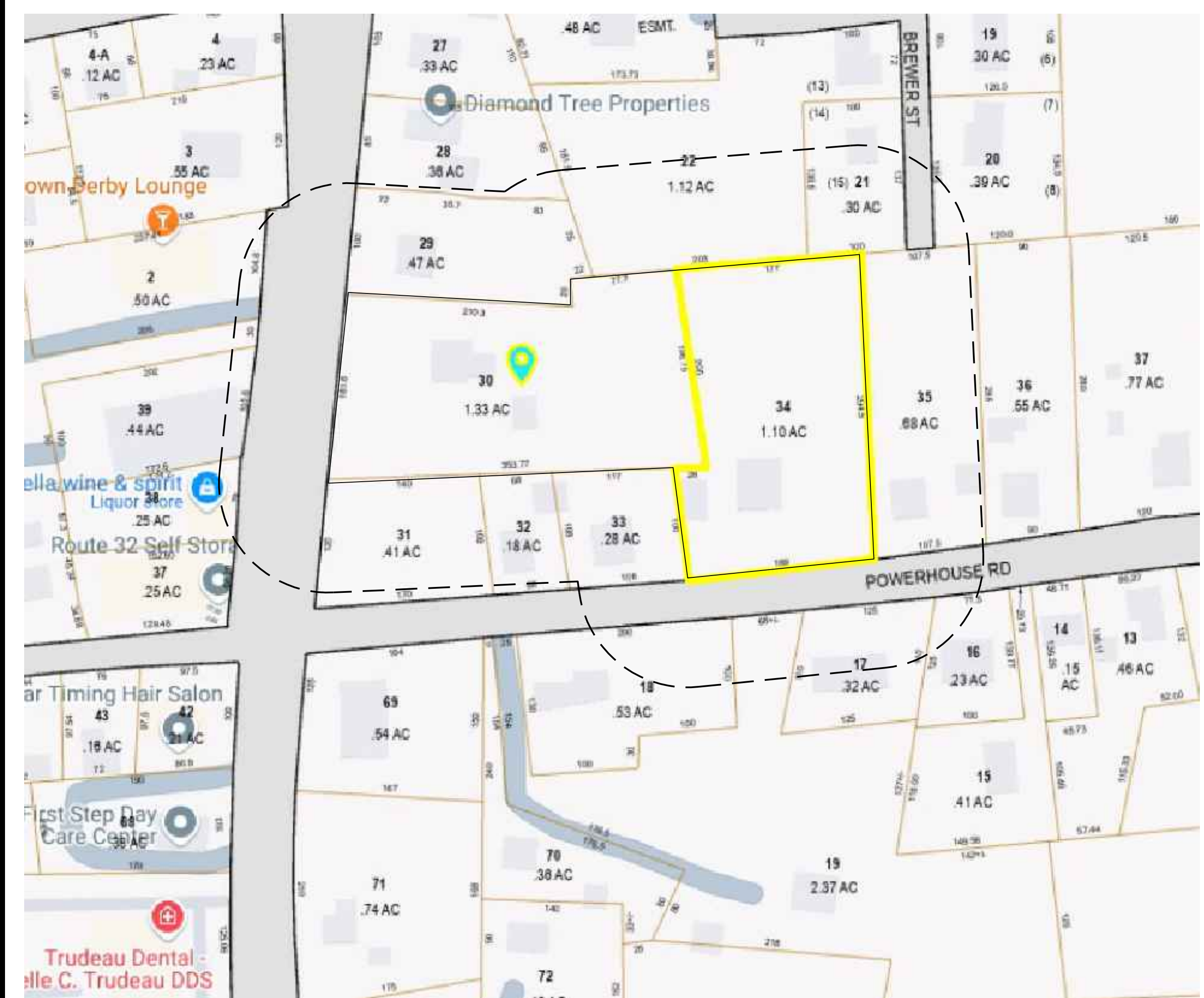


# MADISON PLACE LUXURY TOWNHOUSE DEVELOPMENT

18 POWERHOUSE ROAD &  
145 CONNECTICUT ROUTE 32)  
MONTVILLE, CONNECTICUT

R-20 / RT 32 OZ DISTRICT  
MAP 70 LOT 034-000  
MAP 70 LOT 030-000

OWNER / APPLICANT  
JNE HOLDINGS, LLC  
338 Westport Road  
Wilton, CT



## DRAWING LIST

SITE/CIVIL DRAWINGS			
SHEET NO.	SHEET NAME	PLAN DATE	LATEST REVISION
C-0	COVER SHEET	02/11/25	04/16/25
	IMPROVEMENT LOCATION & TOPOGRAPHIC PLAN	02/02/22	04/16/25
C-2.1	PROPOSED SITE PLAN	02/11/25	04/16/25
C-2.2	PHASING PLAN & FIRE ACCESS	02/11/25	04/16/25
C-3.1	GRADING AND DRAINAGE PLAN	02/11/25	04/16/25
C-3.2	PROPOSED UTILITY PLAN	02/11/25	04/16/25
C-4.1	SOIL EROSION & SEDIMENT CONTROL PLAN	02/11/25	04/16/25
C-4.2	SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS	02/11/25	04/16/25
C-5.1	LANDSCAPE & LIGHTING PLAN	02/11/25	04/16/25
C-6.1	DETAIL SHEET	02/11/25	04/16/25
C-6.2	DETAIL SHEET	02/11/25	04/16/25
C-6.3	DETAIL SHEET	02/11/25	04/16/25
ARCHITECTURAL DRAWINGS			
1	FOUNDATION & FIRST FLOOR PLAN	03/10/22	02/11/25
2	SECOND FLOOR AND THIRD FLOOR PLAN	03/10/22	02/11/25
3	ELEVATIONS	03/10/22	02/11/25
4	OVERVIEWS	03/10/22	02/11/25

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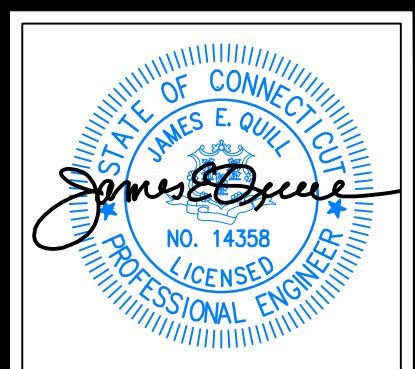
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APPROVED BY THE MONTVILLE PLANNING AND ZONING COMMISSION

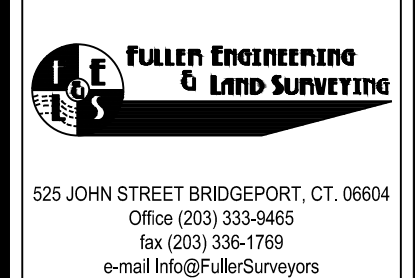
CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

EXPIRATION DATE \_\_\_\_\_

SEC PLAN APPROVAL DATE \_\_\_\_\_



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LUXURY TOWNHOUSE DEVELOPMENT  
18 POWERHOUSE ROAD  
MONTVILLE, CONNECTICUT  
PREPARED FOR  
JNE HOLDINGS, LLC

Job Number:  
FE24-1889

Job Start Date:  
3/20/24

Staff Comments	04/16/25
Staff Comments	03/31/25
Staff Comments	03/18/25
Staff Comments	03/07/25
Staff Comments	02/21/25
Submission	02/11/25
Staff Review	01/15/25

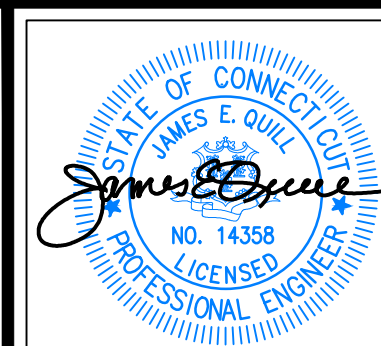
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D.R.R. J.E.Q.

Sheet Title:  
COVER SHEET

Scale:

Sheet Number:  
C-0





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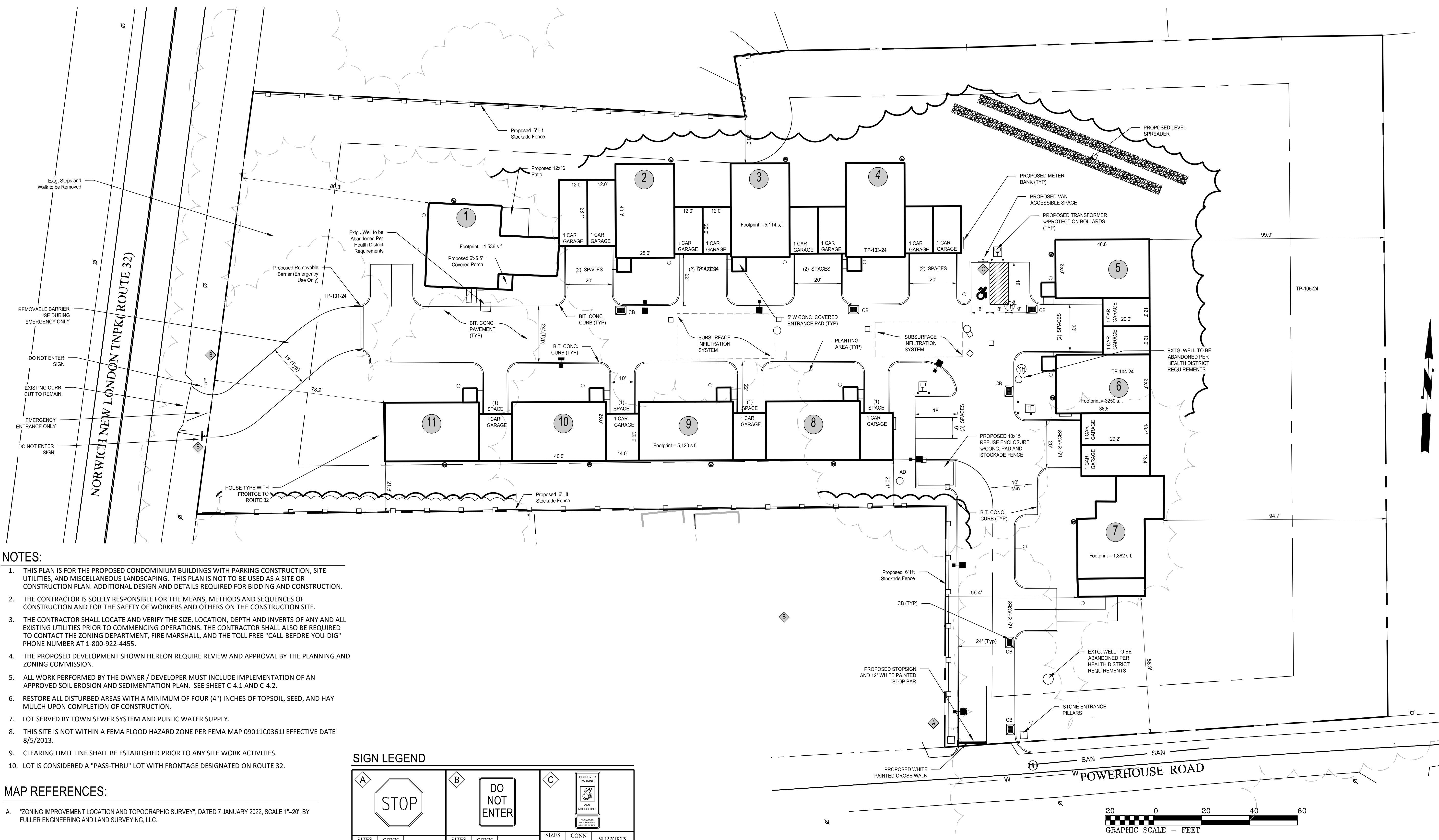
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D.R.R. J.E.Q.

Sheet Title:  
**PROPOSED SITE PLAN**

Scale:  
1" = 20'

Sheet Number:  
**C-2.1**



- NOTES:**
1. THIS PLAN IS FOR THE PROPOSED CONDOMINIUM BUILDINGS WITH PARKING CONSTRUCTION, SITE UTILITIES, AND MISCELLANEOUS LANDSCAPING. THIS PLAN IS NOT TO BE USED AS A SITE OR CONSTRUCTION PLAN. ADDITIONAL DESIGN AND DETAILS REQUIRED FOR BIDDING AND CONSTRUCTION.
  2. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS, METHODS AND SEQUENCES OF CONSTRUCTION AND FOR THE SAFETY OF WORKERS AND OTHERS ON THE CONSTRUCTION SITE.
  3. THE CONTRACTOR SHALL LOCATE AND VERIFY THE SIZE, LOCATION, DEPTH AND INVERTS OF ANY AND ALL EXISTING UTILITIES PRIOR TO COMMENCING OPERATIONS. THE CONTRACTOR SHALL ALSO BE REQUIRED TO CONTACT THE ZONING DEPARTMENT, FIRE MARSHALL, AND THE TOLL FREE "CALL-BEFORE-YOU-DIG" PHONE NUMBER AT 1-800-922-4455.
  4. THE PROPOSED DEVELOPMENT SHOWN HEREON REQUIRE REVIEW AND APPROVAL BY THE PLANNING AND ZONING COMMISSION.
  5. ALL WORK PERFORMED BY THE OWNER / DEVELOPER MUST INCLUDE IMPLEMENTATION OF AN APPROVED SOIL EROSION AND SEDIMENTATION PLAN. SEE SHEET C-4.1 AND C-4.2.
  6. RESTORE ALL DISTURBED AREAS WITH A MINIMUM OF FOUR (4") INCHES OF TOPSOIL, SEED, AND HAY MULCH UPON COMPLETION OF CONSTRUCTION.
  7. LOT SERVED BY TOWN SEWER SYSTEM AND PUBLIC WATER SUPPLY.
  8. THIS SITE IS NOT WITHIN A FEMA FLOOD HAZARD ZONE PER FEMA MAP 09011C0361J EFFECTIVE DATE 8/5/2013.
  9. CLEARING LIMIT LINE SHALL BE ESTABLISHED PRIOR TO ANY SITE WORK ACTIVITIES.
  10. LOT IS CONSIDERED A "PASS-THRU" LOT WITH FRONTAGE DESIGNATED ON ROUTE 32.

**MAP REFERENCES:**

A. "ZONING IMPROVEMENT LOCATION AND TOPOGRAPHIC SURVEY", DATED 7 JANUARY 2022, SCALE 1"=20", BY FULLER ENGINEERING AND LAND SURVEYING, LLC.

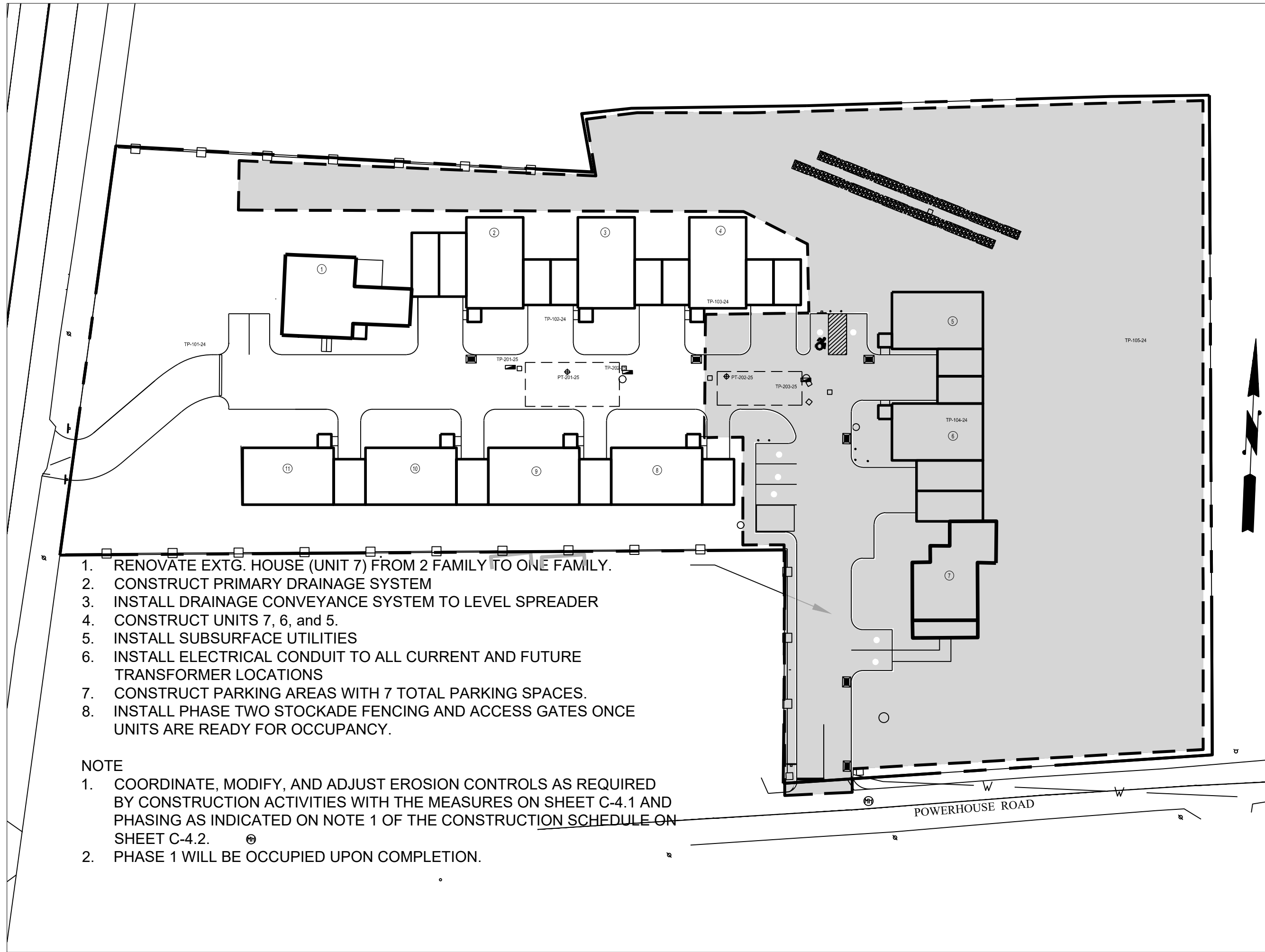
A			B			C		
SIZES (IN)	CONN DOT #	SUPPORTS	SIZES (IN)	CONN DOT #	SUPPORTS	SIZES (IN)	CONN DOT #	SUPPORTS
30"	31-0552	1	18"x24"		1	12"x18" 12"x6"		1

DEVELOPMENT STANDARDS R-20 (OZ) ZONE					
STANDARD	REQUIREMENT R-20	EXISTING Rt 32	EXISTING POWERHOUSE	PROPOSED LOTS MERGED	COMMENTS
Minimum Lot Area (Sewer Served)	20,000 S.F.	59,415 S.F. (1.4 Ac)	50,731 S.F. (1.2 Ac)	110,146 S.F. (2.5 Ac)	
Minimum Lot Frontage	80 Ft	181.6	189	No Change	
<b>Minimum Building Setbacks</b>					
Front Yard Multi-Family	40 Ft	80.3	58.3	73.2 Ft	Pass-thru Lot (See Plan)
Side Yard Multi-Family	20 Ft	43.1 Ft	21.6 Ft	20.0 Ft	
Rear Yard Multi-Family	40 Ft	182.6 Ft	184.6 Ft	94.7 Ft	
Maximum Height	45 Ft	<45 Ft	<45 Ft	<45 Ft	
Building Coverage		2.6%	2.7%	14.9%	
Lot Coverage (Total Impervious)		9.0%	4.8%	33.2%	

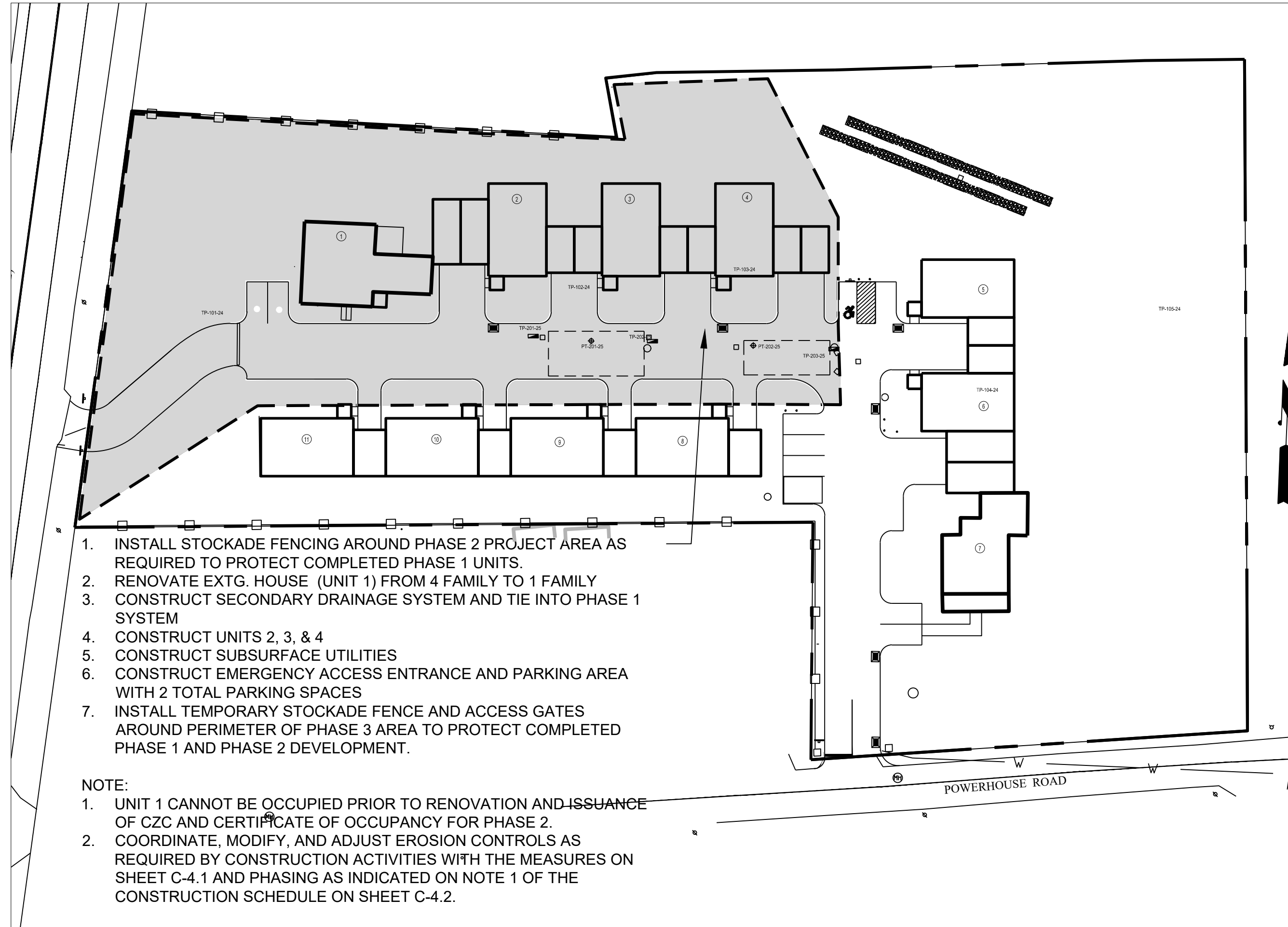
**ZONING COMPLIANCE TABLE**

Parking	Required	Units	Required	Provided Garage Front	Garage Interior	Provided
Condominium Units	2.5	11	27.5	16	16	32
Additional Required			0			0
Guest Parking (3 Per 10 Units)	3	3.3	6			9
Total Parking Provided			33.5			41

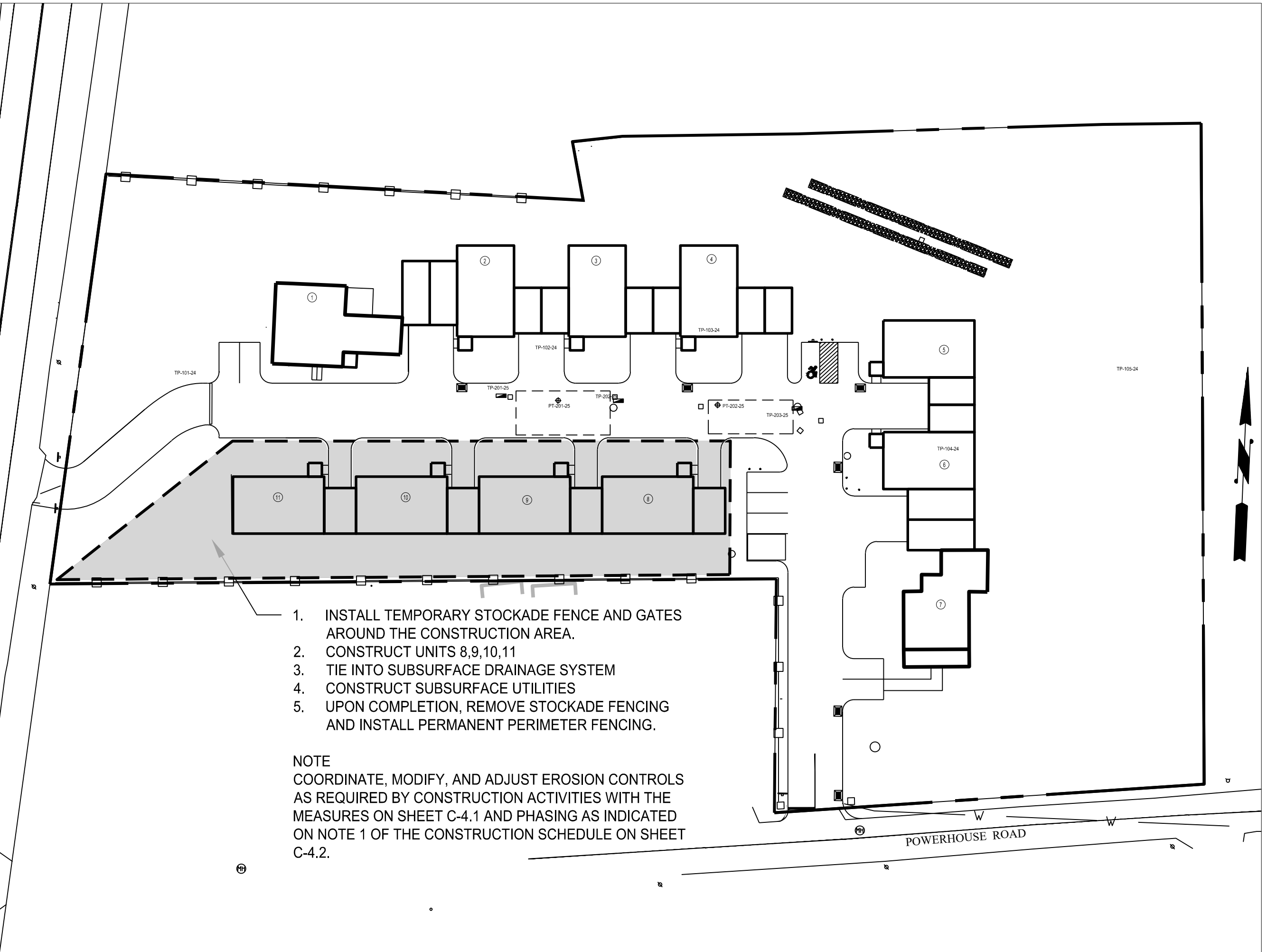
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CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_  
APPROVED BY THE MONTVILLE PLANNING AND ZONING COMMISSION  
CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_  
EXPIRATION DATE \_\_\_\_\_  
SEC PLAN APPROVAL DATE \_\_\_\_\_



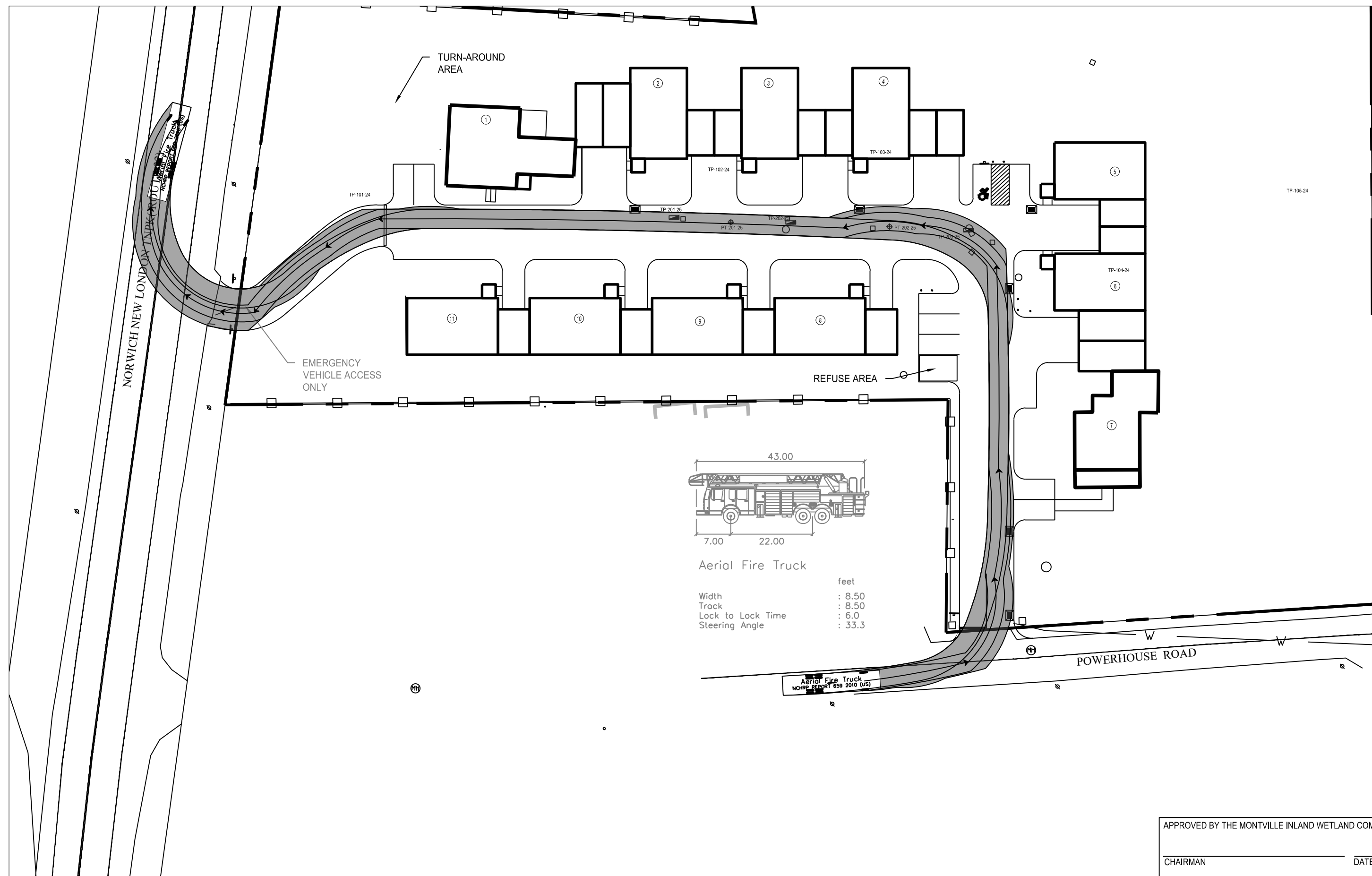
PHASE 1



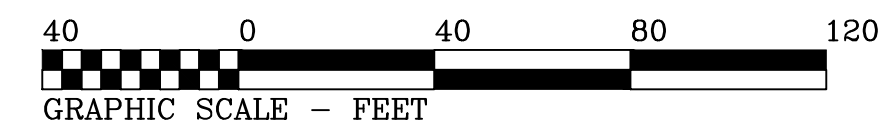
PHASE 2



PHASE 3



FIRE ACCESS TURNING MOVEMENTS



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CHAIRMAN	DATE
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CHAIRMAN	DATE
EXPIRATION DATE	
SEC PLAN APPROVAL DATE	

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D.R.R. J.E.Q.

Sheet Title:  
PHASING PLAN  
&  
FIRE ACCESS

Scale:  
1" = 40'

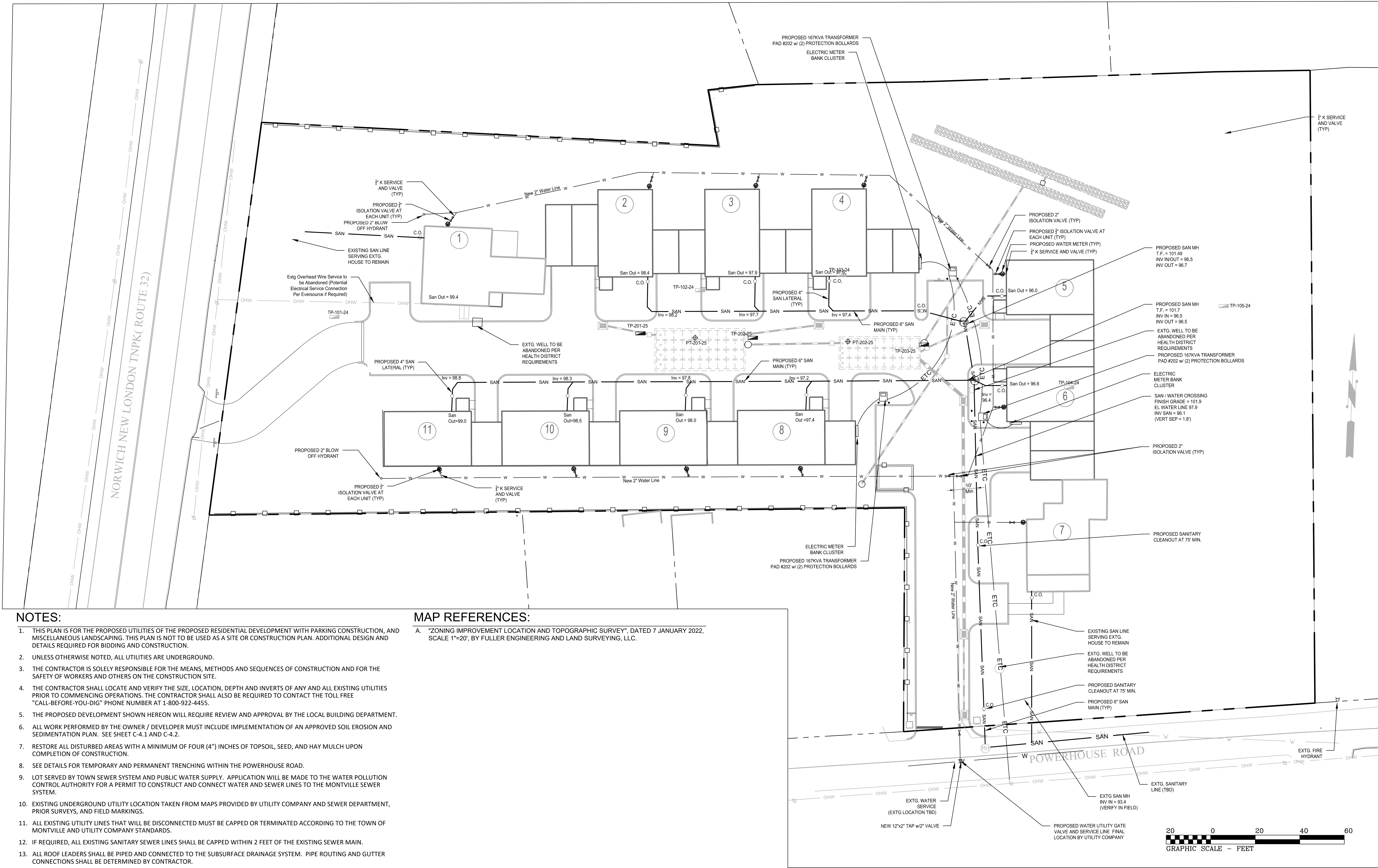
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C-2.2







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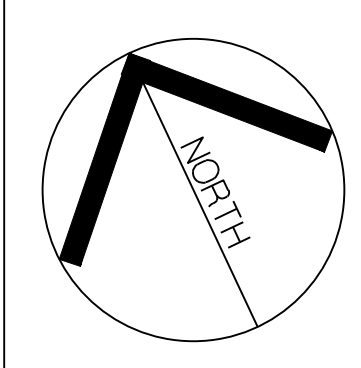
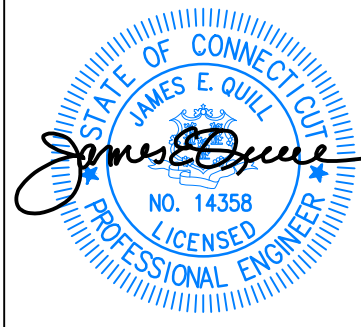


NOTES:

- THIS PLAN IS FOR THE PROPOSED UTILITIES OF THE PROPOSED RESIDENTIAL DEVELOPMENT WITH PARKING CONSTRUCTION, AND MISCELLANEOUS LANDSCAPING. THIS PLAN IS NOT TO BE USED AS A SITE OR CONSTRUCTION PLAN. ADDITIONAL DESIGN AND DETAILS REQUIRED FOR BIDDING AND CONSTRUCTION.
- UNLESS OTHERWISE NOTED, ALL UTILITIES ARE UNDERGROUND.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS, METHODS AND SEQUENCES OF CONSTRUCTION AND FOR THE SAFETY OF WORKERS AND OTHERS ON THE CONSTRUCTION SITE.
- THE CONTRACTOR SHALL LOCATE AND VERIFY THE SIZE, LOCATION, DEPTH AND INVERTS OF ANY AND ALL EXISTING UTILITIES PRIOR TO COMMENCING OPERATIONS. THE CONTRACTOR SHALL ALSO BE REQUIRED TO CONTACT THE TOLL FREE "CALL-BEFORE-YOU-DIG" PHONE NUMBER AT 1-800-922-4455.
- THE PROPOSED DEVELOPMENT SHOWN HEREON WILL REQUIRE REVIEW AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.
- ALL WORK PERFORMED BY THE OWNER / DEVELOPER MUST INCLUDE IMPLEMENTATION OF AN APPROVED SOIL EROSION AND SEDIMENTATION PLAN. SEE SHEET C-4.1 AND C-4.2.
- RESTORE ALL DISTURBED AREAS WITH A MINIMUM OF FOUR (4") INCHES OF TOPSOIL, SEED, AND HAY MULCH UPON COMPLETION OF CONSTRUCTION.
- SEE DETAILS FOR TEMPORARY AND PERMANENT TRENCHING WITHIN THE POWERHOUSE ROAD.
- LOT SERVED BY TOWN SEWER SYSTEM AND PUBLIC WATER SUPPLY. APPLICATION WILL BE MADE TO THE WATER POLLUTION CONTROL AUTHORITY FOR A PERMIT TO CONSTRUCT AND CONNECT WATER AND SEWER LINES TO THE MONTVILLE SEWER SYSTEM.
- EXISTING UNDERGROUND UTILITY LOCATION TAKEN FROM MAPS PROVIDED BY UTILITY COMPANY AND SEWER DEPARTMENT, PRIOR SURVEYS, AND FIELD MARKINGS.
- ALL EXISTING UTILITY LINES THAT WILL BE DISCONNECTED MUST BE CAPPED OR TERMINATED ACCORDING TO THE TOWN OF MONTVILLE AND UTILITY COMPANY STANDARDS.
- IF REQUIRED, ALL EXISTING SANITARY SEWER LINES SHALL BE CAPPED WITHIN 2 FEET OF THE EXISTING SEWER MAIN.
- ALL ROOF LEADERS SHALL BE PIPED AND CONNECTED TO THE SUBSURFACE DRAINAGE SYSTEM. PIPE ROUTING AND GUTTER CONNECTIONS SHALL BE DETERMINED BY CONTRACTOR.
- ALL UNITS ARE DESIGNED TO HAVE SANITARY CONNECTIONS IN EACH BASEMENT AND WILL PUMP UP TO THE MAIN LATERAL AT THE FRONT OF THE BUILDINGS. SANITARY LIFT SYSTEMS ARE REQUIRED TO FACILITATE ALL SEWAGE DISCHARGE TO THE TOWN SEWER SYSTEM IN THE STREET.
- ALL WORK SHALL COMPLY WITH THE FOLLOWING TOWN STANDARDS:
  - TOWN OF MONTVILLE SEWER USE RULES AND REGULATIONS.
  - TOWN OF MONTVILLE SANITARY SEWER MATERIALS AND CONSTRUCTION STANDARDS.
  - TOWN OF MONTVILLE SPECIFICATIONS OF WATER MAINS AND APPURTENANCES.
- SEWER PIPE TO BE PLASTIC PVC-SDR35.
- WATER LINES TO BE TYPE K COPPER TUBING.
- GRINDER PUMPS SHALL BE INSTALLED IN ALL UNITS.

MAP REFERENCES:

- A. "ZONING IMPROVEMENT LOCATION AND TOPOGRAPHIC SURVEY", DATED 7 JANUARY 2022, SCALE 1"=20', BY FULLER ENGINEERING AND LAND SURVEYING, LLC.



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Drawn By: **Checked By:**  
D.R.R. J.E.Q.

Sheet Title:  
**PROPOSED  
UTILITIES PLAN**

Scale:  
**1" = 20'**

Sheet Number:  
**C-3.2**

APPROVED BY THE MONTVILLE INLAND WETLAND COMMISSION	
CHAIRMAN _____	DATE _____
APPROVED BY THE MONTVILLE PLANNING AND ZONING COMMISSION	
CHAIRMAN _____	DATE _____
EXPIRATION DATE _____	
SEC PLAN APPROVAL DATE _____	



