

- REFERENCE INFORMATION:
- THIS PLAN WAS COMPILED USING THE FOLLOWING REFERENCE INFORMATION:
 - A PLAN SET ENTITLED, "SUBDIVISION PLAN, PREPARED FOR SUNMAR/RAF BUILDERS, LLC, PROPERTY OF WALTER N. WAINWRIGHT, JR. EAST LAKE ROAD & FIRE STREET, MONTVILLE (OXFORD), CONNECTICUT," DATED JUNE 2022, LAST REVISED JULY 11, 2022, PREPARED BY BOUNDARIES, LLC.
- GENERAL NOTES:
- THE APPLICANT AND PROPERTY OWNER IS SUNMAR/RAF BUILDERS, LLC WITH A MAILING ADDRESS OF 285 OLD COLCHESTER ROAD, UNCASVILLE, CT 06382.
 - ON JULY 26, 2022, THE TOWN OF MONTVILLE PLANNING & ZONING COMMISSION APPROVED SUBDIVISION APPLICATION #22SUB3 FOR A NEW 8-LOT SUBDIVISION. PER THE APPROVED PLANS, A DRAINAGE PIPE WAS PROPOSED ALONG THE EASTERN SIDE OF LOT 7 TO CONVEY ROADWAY RUNOFF TO THE BACK OF THE PROPERTY. DUE TO SITE CONSTRAINTS, THE APPLICANT IS PROPOSING TO RELOCATE THE DRAINAGE PIPE TO CONVEY STORMWATER TO THE WEST SIDE OF THE PROPERTY TO DISCHARGE TO A RIPRAP APRON AND VEGETATED SWALE.
 - LOT 7 HAS A MAILING ADDRESS OF 1121 EAST LAKE ROAD AND IS IDENTIFIED AS LOT 35-7 ON THE TOWN OF MONTVILLE TAX ASSESSOR'S MAP 7. THE DEED REFERENCE OF THE PROPERTY IS VOLUME 700 PAGE 241.
 - THE PURPOSE OF THIS PLAN IS FOR REVIEW BY THE TOWN OF MONTVILLE PLANNING & ZONING COMMISSION FOR A SUBDIVISION MODIFICATION.
 - ELEVATIONS SHOWN HEREON ARE BASED ON APPROXIMATE NAVD-88 DATUM PER REFERENCE MAP 'A'.

- CONSTRUCTION NOTES:
- THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" AT 800-922-4455 TO MARK OUT ALL UNDERGROUND UTILITIES A MINIMUM OF 3 BUSINESS DAYS PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITY. CONTRACTOR SHALL VERIFY ALL LOCATIONS, DIMENSIONS AND ELEVATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION.
 - ALL PROPERTY LINES SHALL BE VERIFIED IN THE FIELD. NO PRIVATE PROPERTY SHALL BE DISTURBED UNLESS PROPER RIGHTS ARE OBTAINED PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO CONSTRUCTION. PRIOR TO ANY WORK WITHIN THE RIGHT-OF-WAY, THE CONTRACTOR SHALL OBTAIN AN EXCAVATION AND DRAINAGE CONNECTION PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS TO CONNECT THE NEW DRAINAGE PIPE INTO THE CATCH BASIN IN EAST LAKE ROAD.
 - THE CONTRACTOR SHALL OBTAIN REVIEW AND ADHERE TO ALL REQUIREMENTS AND ANY CONDITIONS OF APPROVAL OF THE TOWN OF MONTVILLE.
 - THE CONTRACTOR SHALL ADHERE TO ALL APPLICABLE TOWN OF MONTVILLE STANDARDS, REGULATIONS, POLICIES AND PRACTICES OF THE DEPARTMENT OF PUBLIC WORKS.
 - ALL PROPOSED DRAINAGE WORK SHOWN HEREON SHALL BE COMPLETED PRIOR TO THE DEVELOPMENT OF LOT 7.

H+H+H
ENGINEERING
ASSOCIATES
232 Greenmanville Ave.
Suite 201
Mystic, CT 06355
860-980-8008
www.hh-engineers.com

NO.	DATE	REVISIONS PER TOWN PLANNER & ENGINEERING REVIEW COMMENTS	DESCRIPTION OF REVISION
1	4/22/2025		

APPROVED SUBDIVISION PLAN
SUBDIVISION MODIFICATION
EAST LAKE ROAD & FIRE STREET, MONTVILLE, CT 06370
SUNMAR/RAF BUILDERS, LLC
285 OLD COLCHESTER ROAD, UNCASVILLE, CT 06382

100 50 0 100
SCALE IN FEET

PROJECT NO. 2024-0177
DRAWN BY: SMM
CHECKED BY: SMM

SCALE: 1" = 100'
DATE: 3/28/2025
DATE: 3/28/2025

DRAWING
ASP-1

STATE OF CONNECTICUT
JAMES M. HARRIS, III
REGISTERED PROFESSIONAL ENGINEER
No. 29798

SHEET NUMBER: 1 OF 3

1. THIS PLAN WAS COMPILED USING THE FOLLOWING REFERENCE INFORMATION:

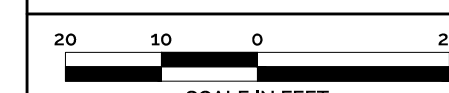
A. A PLAN SET ENTITLED, "SUBDIVISION PLAN, PREPARED FOR SUNMAR/RAF BUILDERS, LLC, PROPERTY OF WALTER N. WAINWRIGHT, JR. EAST LAKE ROAD & FIRE STREET, MONTVILLE (OAKDALE), CONNECTICUT," DATED JUNE 2022, LAST REVISED JULY 11, 2022, PREPARED BY BOUNDARIES, LLC.

1. THE APPLICANT AND PROPERTY OWNER IS SUNMAR/RA BUILDERS, LLC WITH A MAILING ADDRESS OF 286 OLD COLCHESTER ROAD, UNCASVILLE, CT 06382.
ON JULY 26, 2022, THE TOWN OF MONTVILLE PLANNING & ZONING COMMISSION HAS SUBMITTED A SUBDIVISION MAP TO THE TOWN OF MONTVILLE PER THE APPROVED PLANS. A DRAINAGE PIPE WAS PROPOSED ALONG THE EASTERN SIDE OF LOT 7 TO CONVEY ROADWAY RUNOFF TO THE BACK OF THE PROPERTY, DUE TO THE LIMITED DRAINAGE CAPACITY OF THE EXISTING DRAINAGE PIPE. THE DRAINAGE PIPE TO CONVEY STORMWATER TO THE WEST SIDE OF THE PROPERTY TO DISCHARGE TO A RIPRAP APRON AND VEGETATED SWALE.
2. LOT 7 HAS A MAILING ADDRESS OF 1121 EAST LAKE ROAD AND THE DEED REFERENCE IS 10-7 ON THE TOWN OF MONTVILLE ASSESSOR'S MAP 7. THE DEED REFERENCE OF THE PROPERTY IS VOLUME 700 PAGE 241.
3. THE PURPOSE OF THIS PLAN IS FOR REVIEW BY THE TOWN OF MONTVILLE PLANNING & ZONING COMMISSION FOR A SUBDIVISION MODIFICATION.
4. ELEVATIONS SHOWN HEREON ARE BASED ON APPROXIMATE NAVD-88 DATUM PER THE RELEVANT MAP 'A'.

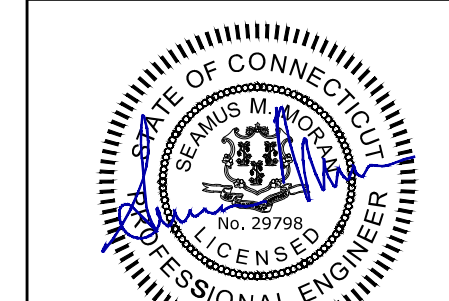
1. THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" AT 800-932-4455 TO MARK OUT ALL UNDERGROUND UTILITIES A MINIMUM OF 3 BUSINESS DAYS PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITY. CONTRACTOR SHALL VERIFY ALL UTILITIES, DIMENSIONS AND ELEVATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION.
2. ALL PROPERTY LINES SHALL BE VERIFIED IN THE FIELD. NO PRIVATE PROPERTY SHALL BE DISTURBED UNLESS PROPER RIGHTS ARE OBTAINED PRIOR TO CONSTRUCTION.
3. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO CONSTRUCTION PRIOR TO ANY WORK WITHIN THE RIGHT-OF-WAY. THE CONTRACTOR SHALL OBTAIN AN EXCAVATION AND DRAINAGE CONNECTION PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS TO CONNECT THE NEW DRAINAGE PIPE INTO THE CATCH BASIN IN EAST LAKE ROAD.
4. THE CONTRACTOR SHALL OBTAIN, REVIEW AND ADHERE TO ALL REQUIREMENTS AND ANY CONDITIONS OF APPROVAL OF THE TOWN OF MONTVILLE.
5. THE CONTRACTOR SHALL ADHERE TO ALL APPLICABLE TOWN OF MONTVILLE STANDARDS, REGULATIONS, POLICIES AND PRACTICES OF THE DEPARTMENT OF PUBLIC WORKS.
6. ALL PROPOSED DRAINAGE WORK SHOWN HEREON SHALL BE COMPLETED PRIOR TO THE DEVELOPMENT OF LOT 7.

[illegible]

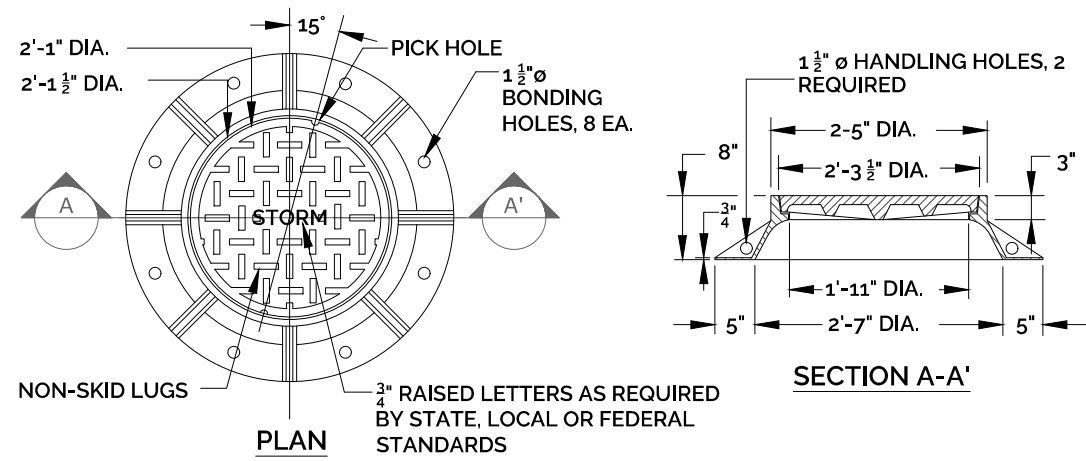
SUBDIVISION MODIFICATION
PROPERTY ADDRESS:
EAST LAKE ROAD & FIRE STREET, MONTVILLE, CT 06370
PREPARED FOR:
SUNMAR/RAF BUILDERS, LLC
285 OLD COLCHESTER ROAD, UNCASVILLE, CT 06382



PROJECT NO: 2024-0177	SCALE: 1" = 20'
DRAWN BY: SMM	DATE: 3/28/2025
CHECKED BY: SMM	DATE: 3/28/2025

DRAWING
DM-1

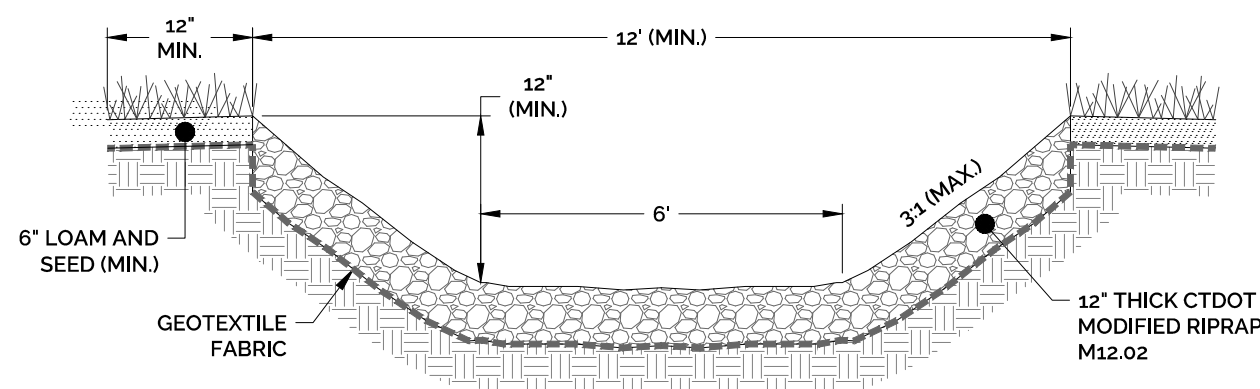
SHEET NUMBER: 2 OF 2



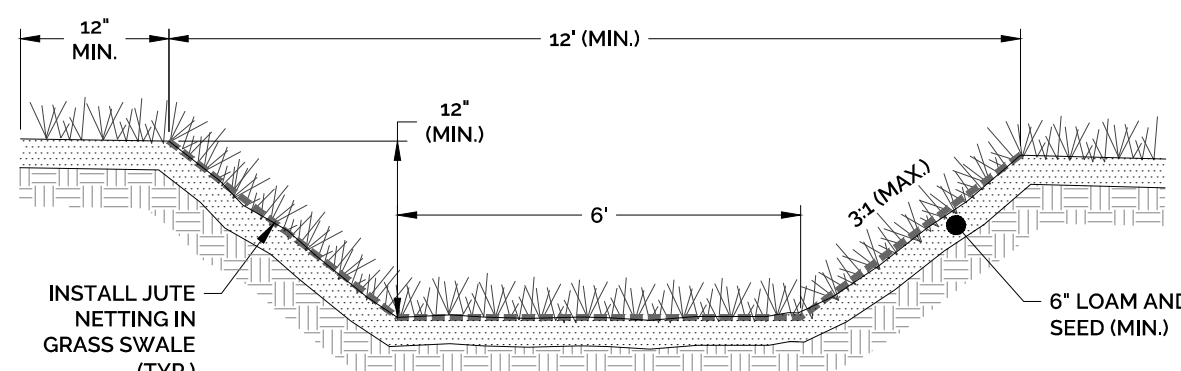
- NOTES:
1. STORM MANHOLE FRAMES AND COVERS SHALL CONFORM TO CTDOT FORM 817 STANDARD SPECIFICATION FOR ROADS, BRIDGES AND INCIDENTAL CONSTRUCTION AND CT DOT HIGHWAY STANDARD SHEETS HW-507_10, AS AMENDED.
 2. CHANNELS MAY BE SHAPED IN CONCRETE BASE OF MANHOLD ORFORMED USING BRICK OR MASONRY, UNLESS OTHERWISE DIRECTED.
 3. A FRAME OF 3'-3" WITH 4" FLANGE SHALL BE USED WHEN THE TOP DIAMETER OF A PRECAST CONE IS LESS THAN 3'-6". ALL OTHER FRAME DIMENSIONS SHALL REMAIN THE SAME.
 4. ALL DIMENSIONS SUBJECT TO MANUFACTURING TOLERANCES.

REFERENCE: CT DOT HIGHWAY STANDARDS, SHEET HW-507_04 & HW-507_10, CT DOT FORM 817.

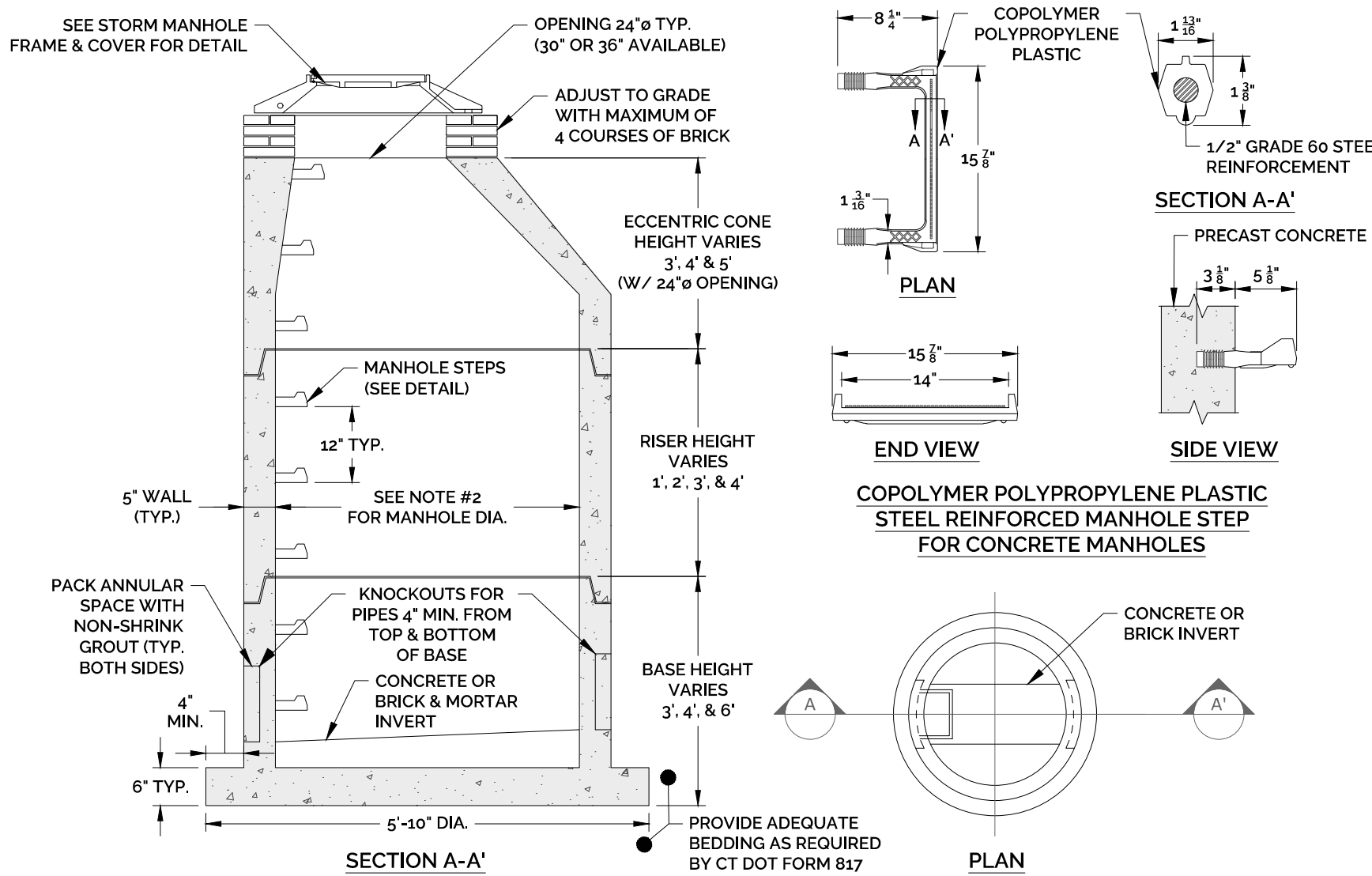
STORM MANHOLE FRAME & COVER DETAIL
NOT TO SCALE



RIPRAP SWALE DETAIL
NOT TO SCALE



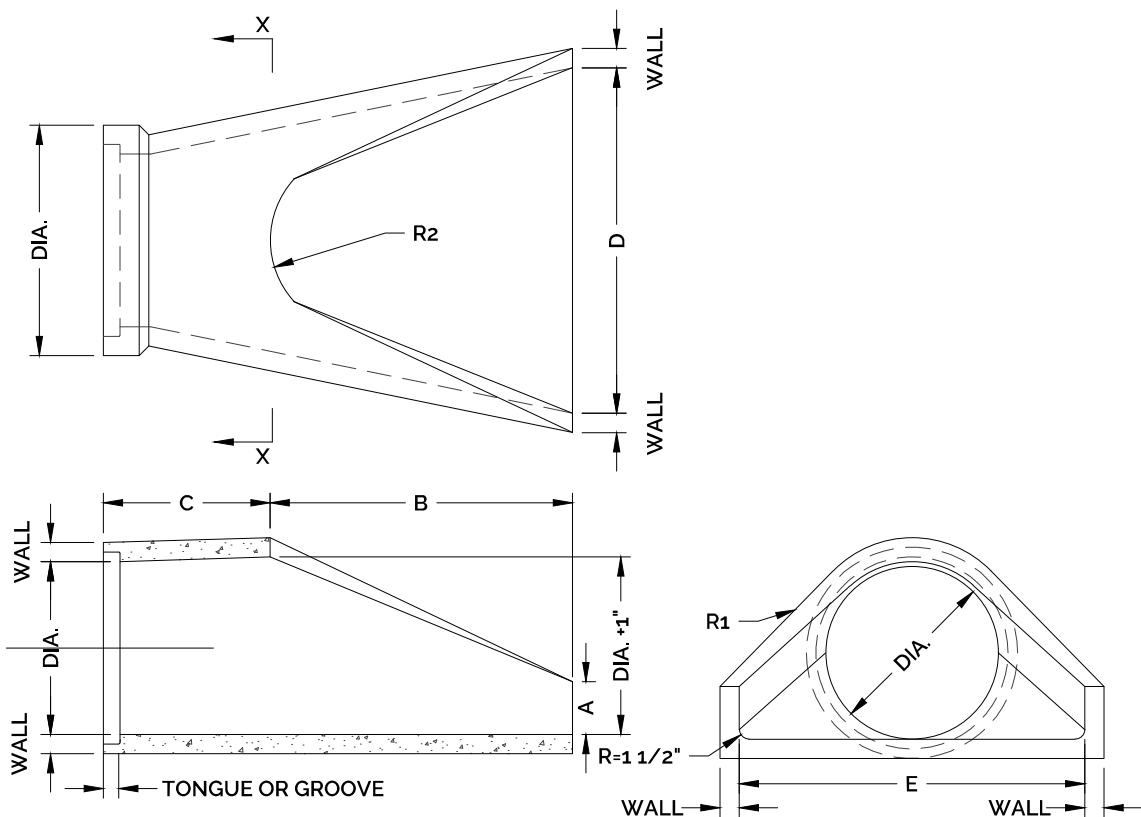
GRASSED SWALE DETAIL
NOT TO SCALE



- NOTES:
1. PRECAST CONCRETE MANHOLE COMPONENTS SHALL CONFORM TO CTDOT STANDARD SHEET HW-507_10 AS AMENDED.
 2. 4', 5' OR 6' PRECAST CONCRETE BASE DIAMETERS MAY BE USED WHEN REQUIRED DUE TO SIZE OR NUMBER OF PIPES AT THE MANHOLE. PRECAST REDUCERS WILL BE PLACED ABOVE THE 5' AND 6' BASES AS DIRECTED BY THE ENGINEER. WALL THICKNESS SHALL INCREASE 1" FOR EACH 1' OF INSIDE DIAMETER INCREASE.
 3. JOINT SEALANT SHALL BE BUTYL RUBBER MASTIC TYPE SEAL THAT CONFORMS TO LATEST AASHTO SPECIFICATION M-198 & MEETS FEDERAL SPECIFICATION SS-5-0021(210-A).
 4. REINFORCING STEEL DEFORMED BARS ARE NOT SHOWN AND SHALL CONFORM TO LATEST CTDOT STANDARDS & SUPPLEMENTALS AND ASTM SPECIFICATION A615, GRADE 60, MINIMUM COVER 2", UNLESS OTHERWISE NOTED.
 5. ALL PIPE OPENINGS SHALL BE CLOSED USING MATERIALS WHICH CONFORM TO STATE OF CT STANDARD SPECIFICATIONS SECTION M.08.02.
 6. REINFORCING STEEL WELDED FABRIC SHALL CONFORM TO LATEST ASTM SPECIFICATION A986.
 7. CONCRETE COMPRESSIVE STRENGTH SHALL BE MINIMUM 4000 PSI AT 28 DAYS, SELF COMPACTING CONCRETE MIX.
 8. MANHOLE STEPS SHALL MEET LATEST OSHA REGULATIONS, (29 CFR 1910.27), SECTION 16 OF ASTM SPECIFICATION C478 AND SECTION 10 OF ASTM SPECIFICATION C497.
 9. WHEN SPECIFIED, MANHOLES ARE TO BE COATED WITH BAY OIL, "EBONY".
 10. METHOD OF MANUFACTURE SHALL BE WET CAST.
 11. BASE SECTION IS MONOLITHIC.
 12. MANHOLE INTERIOR DIAMETER:
4'-0" FOR 8" TO 36" PIPE DIAMETERS
5'-0" FOR 42" PIPE DIAMETER
6'-0" FOR 48" PIPE DIAMETER

REFERENCE: CT DOT HIGHWAY STANDARDS, SHEET HW-507_04 & HW-507_10, CT DOT FORM 817 AND (MANHOLE STEPS) THE METROPOLITAN DISTRICT SEWER STANDARD DETAILS FIG. 5-34, DATED JAN. 2017.

STANDARD PRECAST CONCRETE STORM MANHOLE DETAIL
NOT TO SCALE

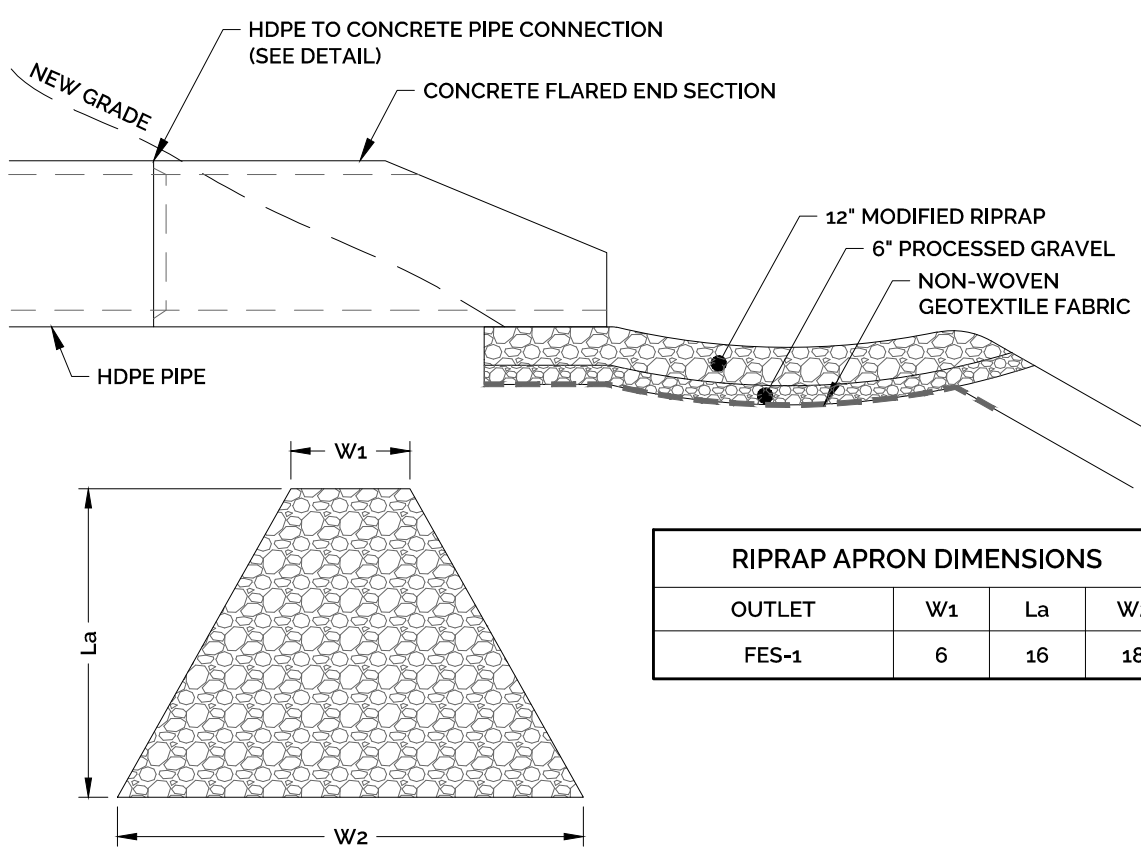


DIA.	A	B	C	D	E	R1	R2
12"	4"	24"	48 7/8"	24"	3"	10 1/4"	9"
15"	6"	27"	45"	30"	3"	12 1/2"	11"
18"	9"	27"	45"	35"	3"	15 1/2"	14"
24"	9 1/2"	43 1/2"	39"	48"	3"	16 1/2"	14"
30"	12"	54"	19-3/4"	60"	3 1/2"	18 1/2"	15"
36"	15"	63"	34-3/4"	72"	4"	24 5/16"	20"
42"	21"	63"	35"	78"	4 1/2"	27 1/2"	22"
48"	24"	72"	25"	84"	5	28 1/2"	22"
54"	27"	65"	35"	90"	5 1/2"	33 1/8"	24"
60	30"	60"	39"	95"	6"	35 11/16"	24"

REINFORCED CONCRETE PIPE CONFORMS TO ASTM C-76, ASTM-C-443, ASHTO M-170, AND AASHTO M-198.

- NOTES:
1. ALL PRECAST CONCRETE PRODUCTS MUST HAVE THE CASTING DATE CLEARLY LABELED AND SHALL NOT BE DELIVERED WITHIN 7 DAYS OF THE CASTING DATE.
 2. JOINT SHALL BE TONGUE AND GROOVE OR BELL AND SPIGOT AS REQUIRED TO CONFORM TO PIPE INSTALLATION.
 3. WALL THICKNESS SHALL CONFORM TO PIPE THICKNESS.

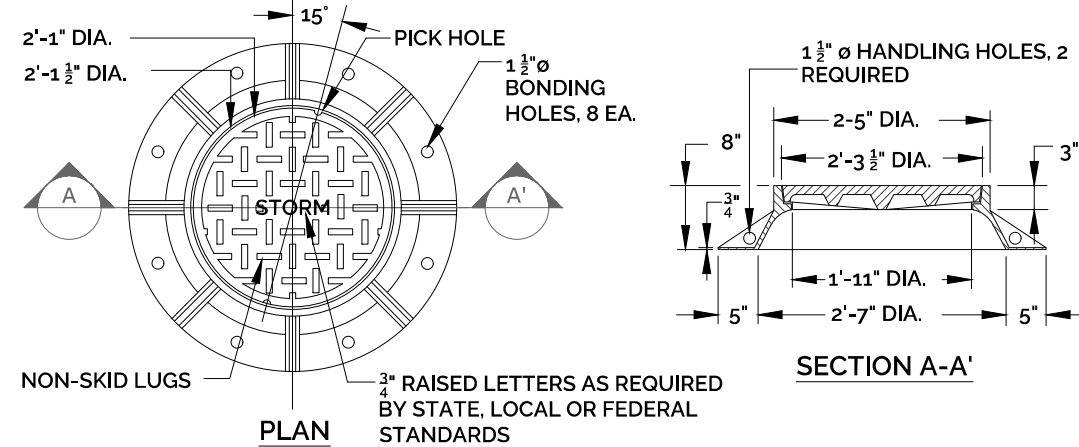
REINFORCED CONCRETE FLARED END SECTION
NOT TO SCALE



OUTLET	W1	La	W2
FES-1	6	16	18

NOTE:
IN ACCORDANCE WITH CT DOT DRAINAGE MANUAL SECTION 11.13 - OUTLET PROTECTION.
ALL APRON STONE SHALL BE INTERMEDIATE RIPRAP (DISCHARGE VELOCITY 8-10 FT/SEC)

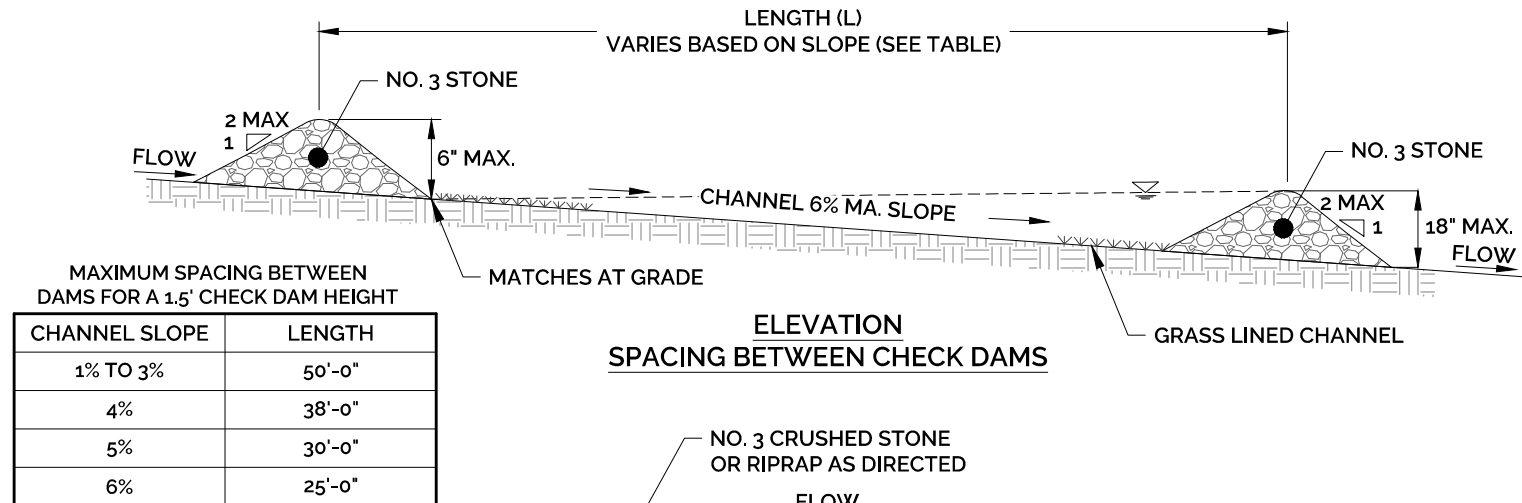
RIPRAP APRON
NOT TO SCALE



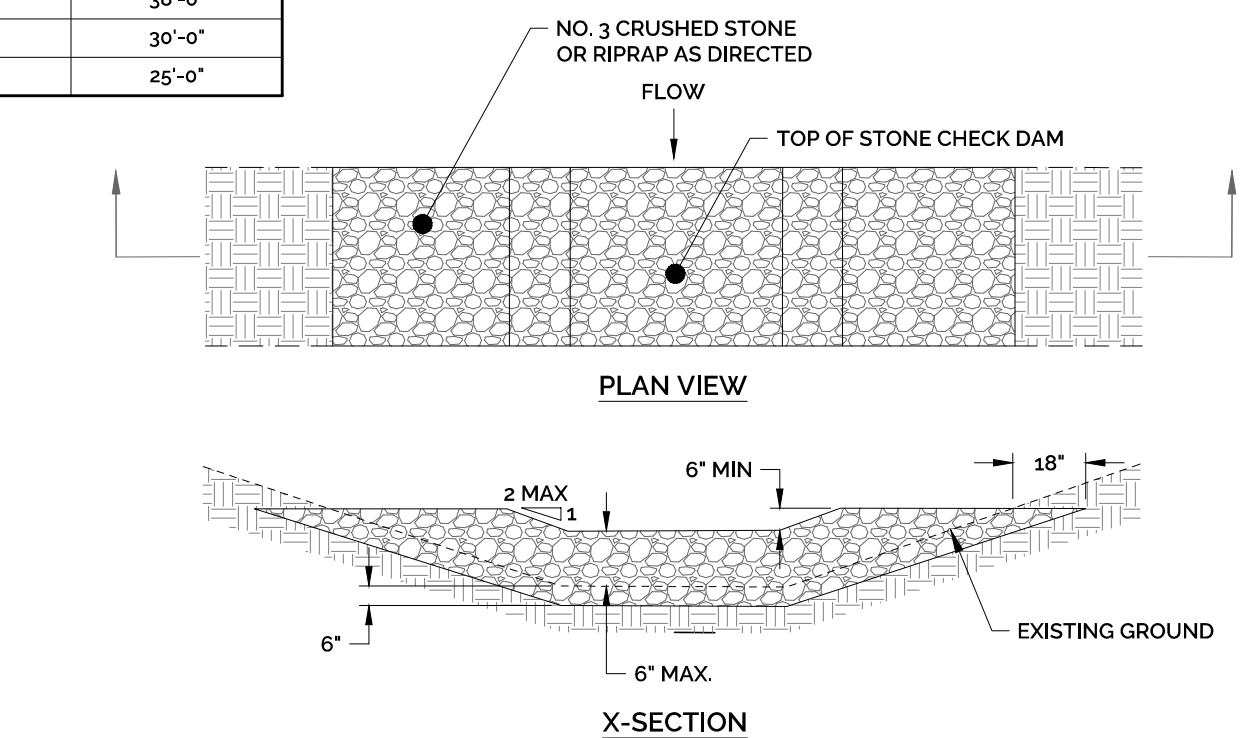
- NOTES:
1. STORM MANHOLE FRAMES AND COVERS SHALL CONFORM TO CTDOT FORM 817 STANDARD SPECIFICATION FOR ROADS, BRIDGES AND INCIDENTAL CONSTRUCTION AND CT DOT HIGHWAY STANDARD SHEETS HW-507_10, AS AMENDED.
 2. CHANNELS MAY BE SHAPED IN CONCRETE BASE OF MANHOLD ORFORMED USING BRICK OR MASONRY, UNLESS OTHERWISE DIRECTED.
 3. A FRAME OF 3'-3" WITH 4" FLANGE SHALL BE USED WHEN THE TOP DIAMETER OF A PRECAST CONE IS LESS THAN 3'-6". ALL OTHER FRAME DIMENSIONS SHALL REMAIN THE SAME.
 4. ALL DIMENSIONS SUBJECT TO MANUFACTURING TOLERANCES.

REFERENCE: CT DOT HIGHWAY STANDARDS, SHEET HW-507_04 & HW-507_10, CT DOT FORM 817.

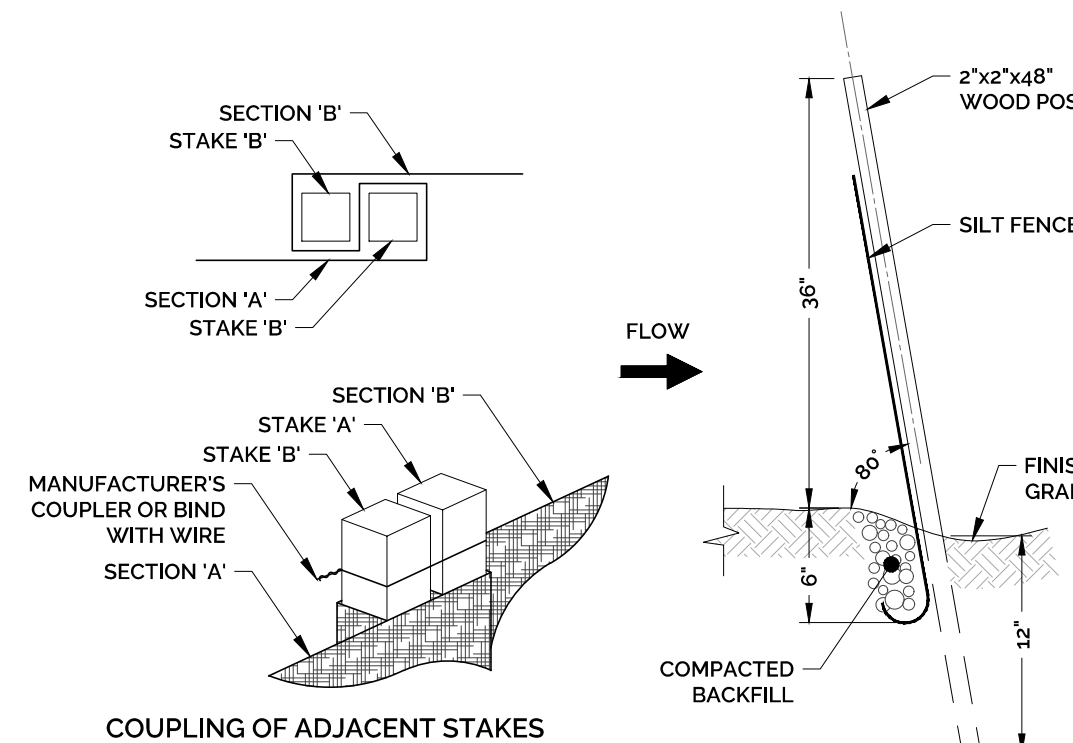
STORM MANHOLE FRAME & COVER DETAIL
NOT TO SCALE



PERMANENT CHECK DAM DETAIL
NOT TO SCALE

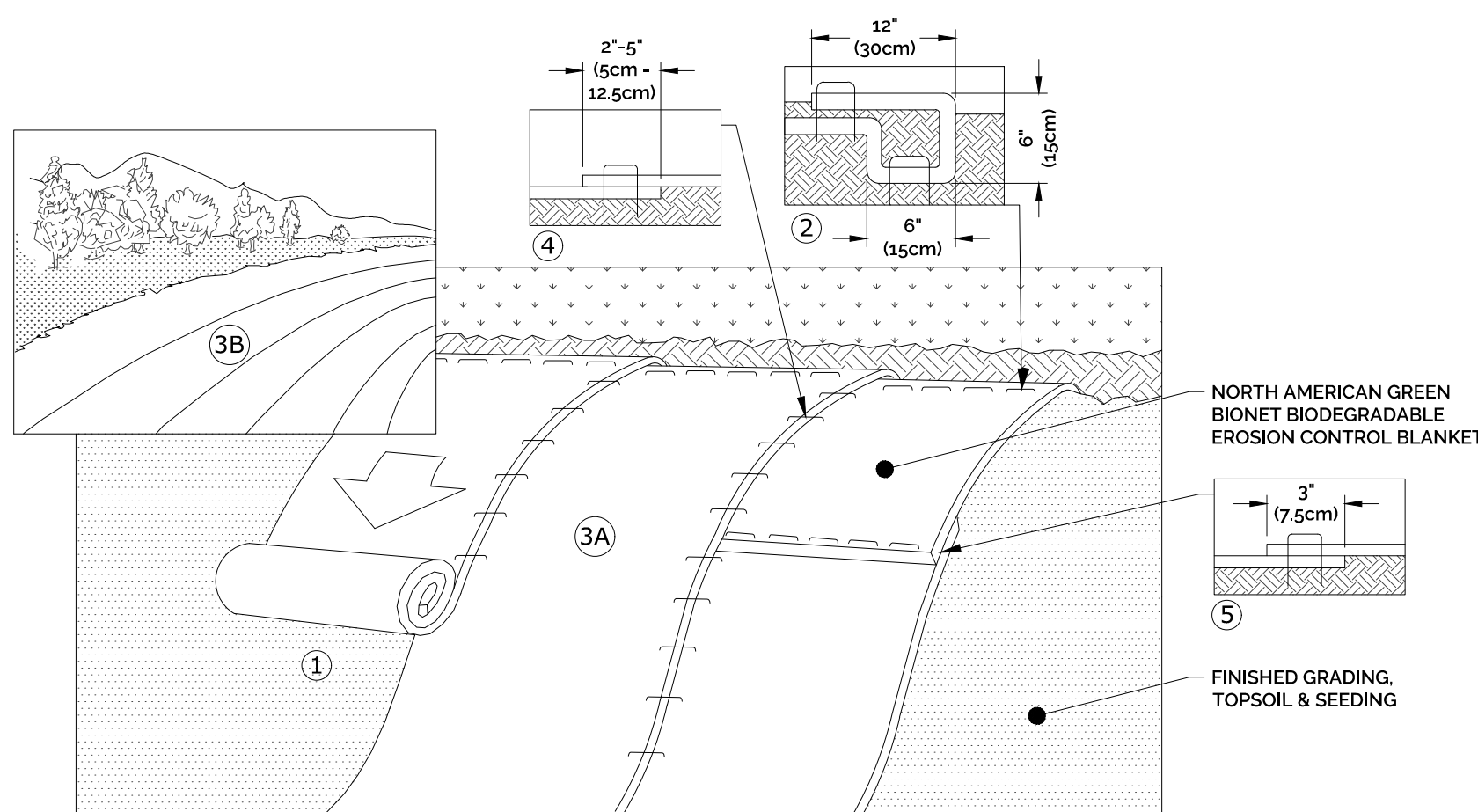


TYPICAL SEDIMENT BARRIER DETAIL
NOT TO SCALE



- INSTALLATION NOTES FOR SILT FENCE:
1. PLACE SILT FENCE ON CONTOUR AND WITH LAST STAKES UPSLOPE SO THAT THE TOP OF LAST SEVERAL STAKES ARE HIGHER THAN LINE OF SILT FENCE.
 2. EXCAVATE TRENCH 6" MIN. AND PLACE FILL UPSLOPE OF TRENCH.
 3. PLACE SILT FENCE AND STAKE FIRST STAKE AT ANGLE TOWARDS FIRST STAKE. STAKES ARE 18" MIN. INTO GROUND.
 4. BACKFILL & COMPACT EXCAVATED FILL ALONG UPSLOPE SIDE OF SILT FENCE.

TYPICAL SEDIMENT BARRIER DETAIL
NOT TO SCALE



- NOTES:
1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
 2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" (15cm) DEEP X 6" (15cm) WIDE TRENCH WITH APPROXIMATELY 12" (30cm) OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30cm) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30cm) PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30cm) APART ACROSS THE WIDTH OF THE BLANKET. IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15 cm) MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.
 3. ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM™ STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
 4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2'-5" (50cm-12.5cm) OVERLAP DEPENDING ON BLANKET TYPE. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH™ ON THE PREVIOUSLY INSTALLED BLANKET.
 5. CONSECUTIVE BLANKETS SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5cm) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30cm) APART ACROSS ENTIRE BLANKET WIDTH.

EROSION CONTROL BLANKET DETAIL
NOT TO SCALE

REVISIONS PER TOWN PLANNER & ENGINEERING REVIEW COMMENTS	DATE	APPR.
1	4/22/2025	

SITE DETAILS
SUBDIVISION MODIFICATION PROPERTY ADDRESS: EAST LAKE ROAD & FIRE STREET, MONTVILLE, CT 06370 SUNMAR/RAF BUILDERS, LLC 285 OLD COLCHESTER ROAD, UNCASVILLE, CT 06382

PROJECT NO. 2024-0177	SCALE AS NOTED
DRAWN BY: SMM	DATE 3/28/2025
CHECKED BY: SMM	DATE 3/28/2025
DRAWING DT-1	
SHEET NUMBER: 3 OF 3	