

**H+H Engineering Associates, LLC**  
232 Greenmanville Avenue, Suite 201  
Mystic, Connecticut 06355  
860-980-8008  
[www.hh-engineers.com](http://www.hh-engineers.com)

**Via E-mail**

April 22, 2025

**Town of Montville**

310 Norwich-New London Turnpike  
Uncasville, CT 06382

Attn: Meredith Badalucca  
Assistant Planner

RE: Response to Review Comments  
Modification of Approved Subdivision 22 Sub 3  
East Lake Road and Fire Street  
Montville, CT 06370

Dear Ms. Badalucca:

H+H Engineering Associates, LLC (H+H) is in receipt of the following review comments regarding the Modification of Approved Subdivision 22 Sub 3 located at East Lake Road and Fire Street:

1. Fire Marshal Comments dated March 31, 2025
2. Police Department Comments dated March 31, 2025
3. Building Department Comments dated March 31, 2025
4. Uncas Health Department Comments dated April 1, 2025
5. Town Engineer comments dated March 24, 2025. Received by H+H on April 7, 2025
6. Assistant Planner comments dated April 4, 2025, received by H+H on April 7, 2025

The Fire Marshal, Police Department, Building Department and Uncas Health District had no comments related to the proposed modifications. As it relates to the Town Engineer comments and Assistant Planner comments, below please find the original review comments, followed by our response in italics:

**Town Engineer:**

1. The proposed 20' wide drainage easement should be extended to the westerly property line for Lot 7 to allow Public Works adequate access for future maintenance.

**Response:**

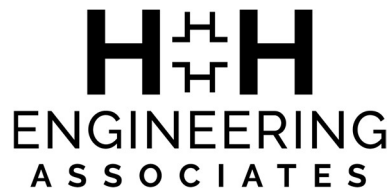
*The easement has been extended to the western property line as requested.*

2. The curve in the swale should be armored with riprap over geotextile fabric.

**Response:**

*The curve in the swale has been changed to a riprap swale and a riprap swale detail has been added to sheet 3 of 3.*

April 22, 2025  
2024-0177



3. There is concern that the check dams in the swale may cause pooling and overtop the swale. Can the swale depth be increased  $\pm 1'$  or check dam heights be adjusted.

Response:

*The average depth of water at peak storage for the 100-year storm event is 5.4". Therefore, the check dam height has been reduced to 6".*

4. A sign or placard should be installed at the swale instructing the homeowner that no dumping of leaves, grass trimmings, etc. is allowed in the swale.

Response:

*A sign/placard stating, "no dumping allowed" has been added to sheet 2 of 3.*

5. The new drainage work should be completed prior to the lot development to route the stormwater around the work site and reduce erosion potential.

Response:

*Construction Note #6 has been added to sheet 1 and 2 of 3.*

6. We recommend a bond be put in place for the proposed drainage work.

Response:

*No action required.*

**Assistant Planner:**

1. Construction note #3 states the incorrect road name. Please revise.

Response:

*Construction Note #3 has been revised accordingly.*

2. Please provide draft drainage easement documents for review and approval by the town attorney.

Response:

A draft of the drainage easement was prepared by Jon B. Chase and provided to the Town of Montville on April 17, 2025. Subsequently, the drainage easement was modified on the proposed site plans in response to the Town Engineer review comments. The draft easement will need to be modified by Jon B. Chase and submitted for approval by the town attorney prior to any construction.

3. Please provide bond estimate for drainage work for review and approval by the town engineer.

Response:

The homeowner is seeking construction estimates for the proposed improvements. Once construction estimates have been obtained, a bond estimate for the drainage work will be submitted to the Town of Montville for review and approval of the Town Engineer.

**H+H Engineering Associates, LLC**

232 Greenmanville Avenue, Suite 201

Mystic, Connecticut 06355

860-980-8008 (Office)

[www.hh-engineers.com](http://www.hh-engineers.com)

**H+H**  
**ENGINEERING**  
**ASSOCIATES**

4. Staff will recommend as a condition of approval, that all drainage work be completed prior to the issuance of a zoning permit for lot 7.

Response:

*Construction Note #6 has been added to sheet 1 and 2 of 3.*

If you have any questions, please feel free to contact me at 860-980-8008 (office) or 413-579-4488 (mobile).

Sincerely,

**H+H Engineering Associates, LLC**



---

Seamus Moran, P.E.  
Principal

4/22/2025

---

Date