

Residential Resubdivision

Map 001- Block 007- Lot 00A

Silver Falls Road

Town of Montville, Connecticut 06370

PREPARED FOR
Daniela Gjergjaj

PROPERTY OWNERS

DANIELA GJERGJAJ
301 CHESTERFIELD RD
EAST LYME, CT 06333

APPLICANT

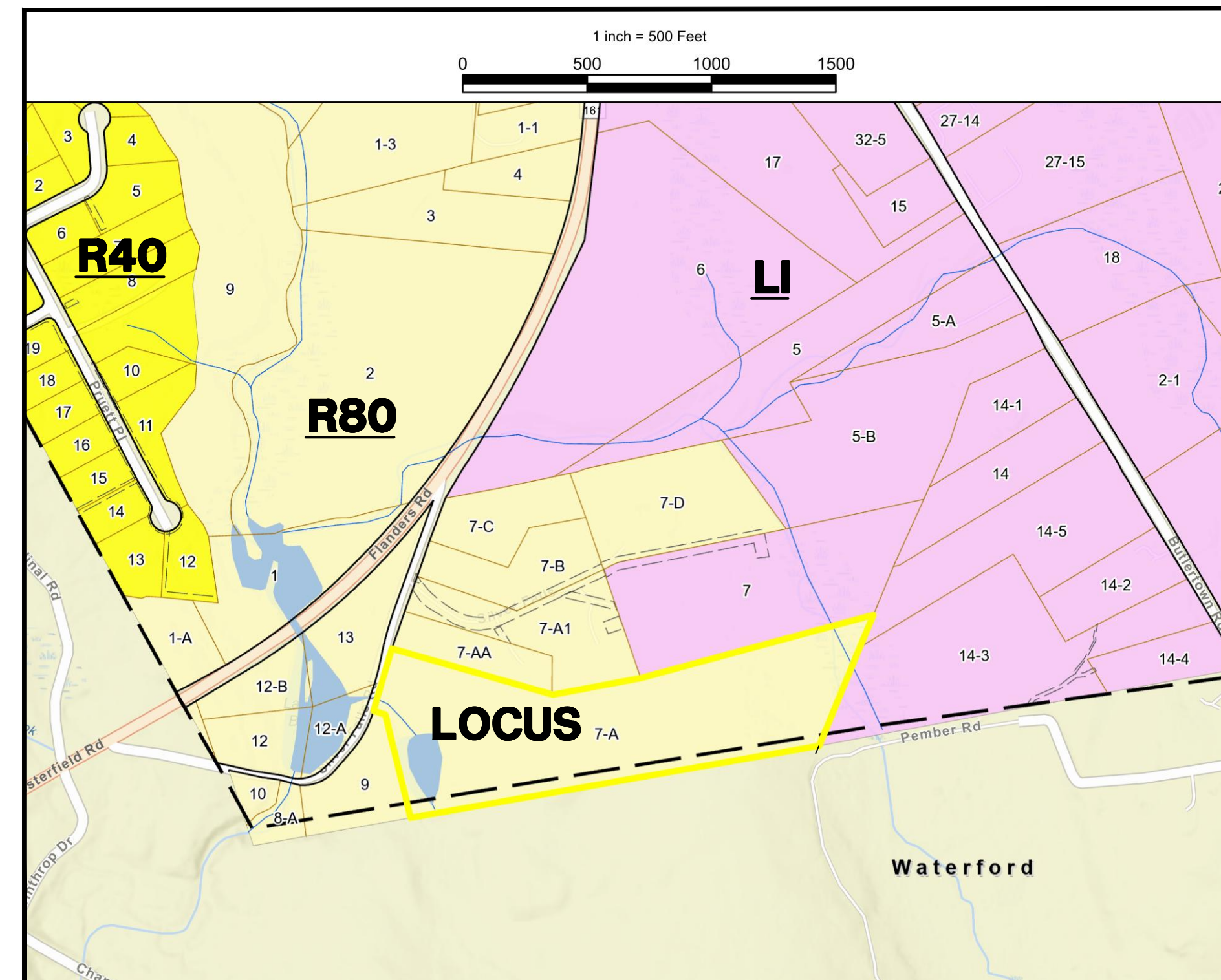
DANIELA GJERGJAJ
301 CHESTERFIELD RD
EAST LYME, CT 06333

ZONE

R80

LEGEND TO DRAWINGS

EXISTING		PROPOSED
— — — — —	PROPERTY LINE	— — — — —
— — — — —	BUILDING SETBACK LINE	— — — — —
— [] —	CATCH BASIN & CULVERT	— [] —
— W —	WATER	— W —
— S —	SEWER	— S —
— FM —	SEWER FORCE MAIN	— FM —
— G —	GAS	— G —
— 126 —	CONTOUR	— 126 —
124.2 x	SPOT ELEVATION	124.2 x
⊘	UTILITY POLE	⊘
— E —	ELECTRIC	— E —
— T —	TELEPHONE	— T —
— ETC —	ELECTRIC & TELECOM.	— ETC —
— SF —	SILT FENCE	— SF —
— — — — —	FENCE	— — — — —
— — — — —	RETAINING WALL	— — — — —
— — — — —	STONE WALL	— — — — —
— — — — —	TREE/SHRUB LINE	— — — — —



LOCATION MAP

SCALE: 1"=±500'

INDEX TO DRAWINGS

DRAWING NO.	DESCRIPTION OF DRAWINGS
1	Existing Conditions / Boundary Survey
2	Proposed Subdivision Map
3	Site Plan Lot 1 & 2
4	Site Plan Lot 3 & 4
5	Plan and Profile 1+00 - 9+50
6	Plan and Profile 9+50 - 17+50
7	Plan and Profile "Future Access Road" 20+00 - 27+00
8	Construction Details
9	E&S Details and Notes & Test Pit Logs
10	Storm Water Quality Details

April 10, 2025
REVISED MAY 5, 2025



CLA Engineers, Inc.
CIVIL • STRUCTURAL • SURVEYING

317 Main Street Norwich, CT 06360
(860) 886-1966 Fax (860) 886-9165

APPROVED BY THE UNCAS HEALTH DEPARTMENT

DATE

APPROVED BY THE MONTVILLE INLAND WETLAND COMMISSION

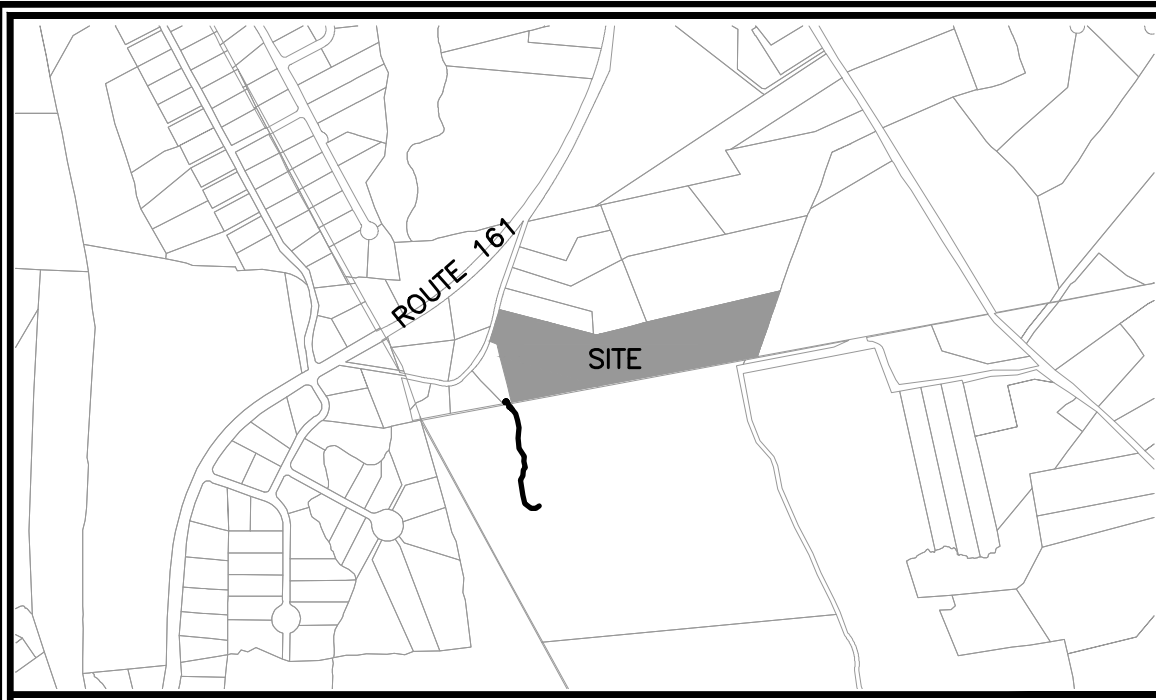
CHAIRMAN _____ DATE _____

DATE OF COMPLETION OF ALL WORK _____

APPROVED BY THE MONTVILLE PLANNING & ZONING COMMISSION

CHAIRMAN _____ DATE _____

DATE OF COMPLETION OF ALL WORK _____



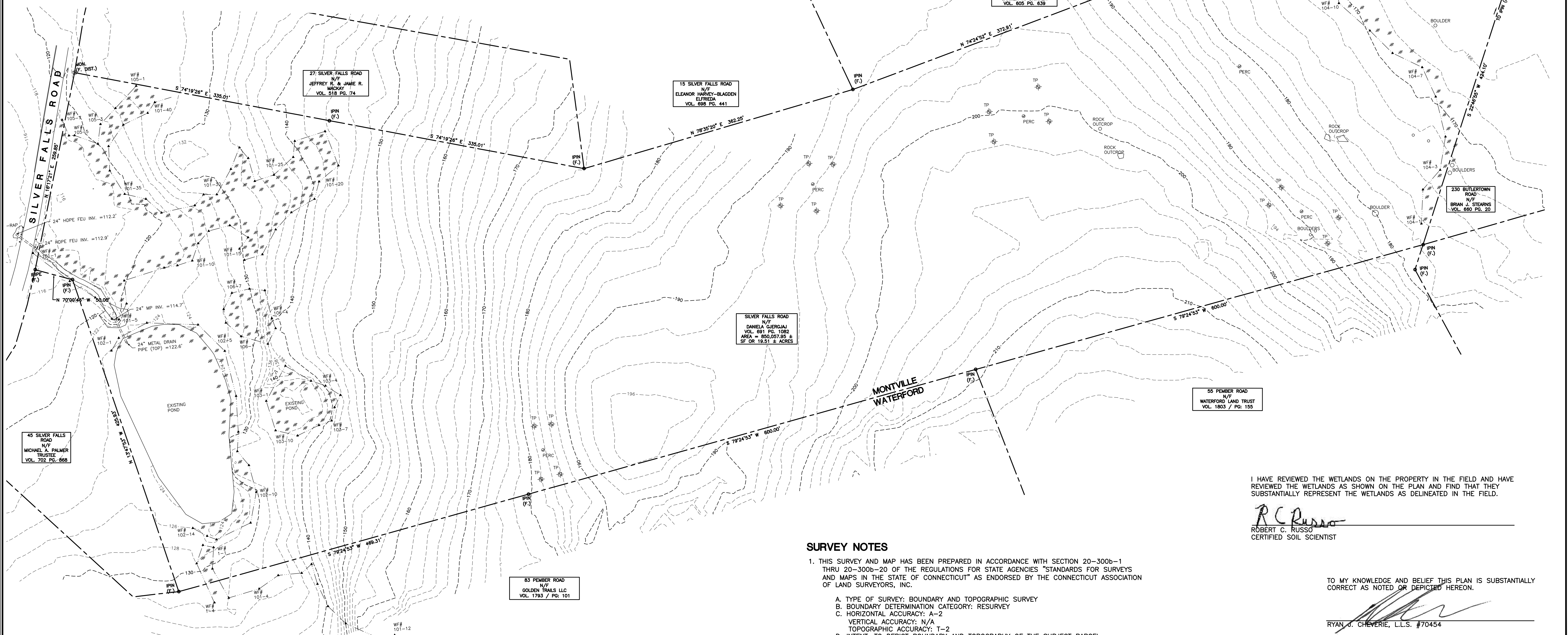
LOCATION MAP
(NOT TO SCALE)

LEGEND:

- | | | | |
|--|----------------------|--|---------------------------|
| | PROPERTY LINE | | UTILITY POLE |
| | CHAIN-LINK FENCE | | NOW OR FORMERLY |
| | RETAINING WALL | | UNDER GROUND |
| | WETLANDS EDGE | | DECIDUOUS TREE |
| | STONE WALL | | OVERHEAD ELECTRIC LINE |
| | BOUNDARY POINT | | WATER SHUTOFF |
| | IRON PIN, IRON PIPE | | BOLLARD |
| | MONUMENT | | SHRUB |
| | GAS GATE, WATER GATE | | WETLANDS VEGETATION, FLAG |
| | TRAFFIC SIGN | | |
| | SEWER MANHOLE | | |

MAP REFERENCES

1. "PROPERTY SURVEY, LOT LINE MODIFICATION PLAN, PREPARED FOR MICHAEL A. PALMER & JOHN C. ELLIS, SILVER FALLS ROAD - OAKDALE, CONNECTICUT", SCALE: 1"=80', DATE: NOVEMBER 2021, SHEET: 1/1, BY BOUNDARIES LLC.



I HAVE REVIEWED THE WETLANDS ON THE PROPERTY IN THE FIELD AND HAVE REVIEWED THE WETLANDS AS SHOWN ON THE PLAN AND FIND THAT THEY SUBSTANTIALLY REPRESENT THE WETLANDS AS DELINEATED IN THE FIELD.

RC Russo
ROBERT C. RUSSO
CERTIFIED SOIL SCIENTIST

TO MY KNOWLEDGE AND BELIEF THIS PLAN IS SUBSTANTIALLY CORRECT AS NOTED OR DEPICTED HEREON.

Ryan J. Cheverie
RYAN J. CHEVERIE, L.L.S. #70454

SURVEY NOTES

1. THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 20-300b-1 THRU 20-300b-20 OF THE REGULATIONS FOR STATE AGENCIES "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC.
 - A. TYPE OF SURVEY: BOUNDARY AND TOPOGRAPHIC SURVEY
 - B. BOUNDARY DETERMINATION CATEGORY: RESURVEY
 - C. HORIZONTAL ACCURACY: A-2
VERTICAL ACCURACY: N/A
TOPOGRAPHIC ACCURACY: T-2
 - D. INTENT: TO DEPICT BOUNDARY AND TOPOGRAPHY OF THE SUBJECT PARCEL.
2. DATE OF LATEST FIELD WORK: OCT. 2024
3. HORIZONTAL ORIENTATION IS CT N.A.D 83 BASED ON FIELD GPS OBSERVATIONS
4. VERTICAL DATUM IS N.A.V.D 88 BASED ON FIELD GPS OBSERVATIONS
5. BOUNDARY LINES OF ADJOINING PROPERTIES ARE NOT TO BE CONSTRUED AS HAVING BEEN THE RESULT OF A FIELD SURVEY AND ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY
6. THE WORD "CERTIFY" IS UNDERSTOOD TO BE AN EXPRESSION OF THE PROFESSIONAL OPINION OF THE LAND SURVEYOR TO THE BEST OF THEIR KNOWLEDGE, INFORMATION AND BELIEF.
7. STONE WALLS AND/OR FENCES SHOWN AS BOUNDARIES MAY HAVE IRREGULARITIES BETWEEN POINTS INDICATED ON THE SURVEY.
8. A PRINT OR MYLAR OF THIS MAP IS NOT VALID UNLESS IT CONTAINS THE SEAL AND LIVE SIGNATURE OF THE SURVEYOR

		CLA Engineers, Inc. CIVIL • STRUCTURAL • SURVEYING 317 Main Street Norwich, CT 06360 (860) 886-1966 Fax (860) 886-9165									
<table border="1"> <thead> <tr> <th>No.</th> <th>DATE</th> <th>TOWN COMMENTS</th> <th>REVISION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>05/07/25</td> <td></td> <td></td> </tr> </tbody> </table>	No.	DATE	TOWN COMMENTS	REVISION	1	05/07/25			Map 001- Block 007- Lot 00A Silver Falls Road Montville, Connecticut Proposed Subdivision Prepared For Daniela Gjergjaj Existing Conditions		Project No. CLA-7885 Proj. Surveyor R.J.C. Date: 4/10/2025 Sheet No. 1
No.	DATE	TOWN COMMENTS	REVISION								
1	05/07/25										



CLA

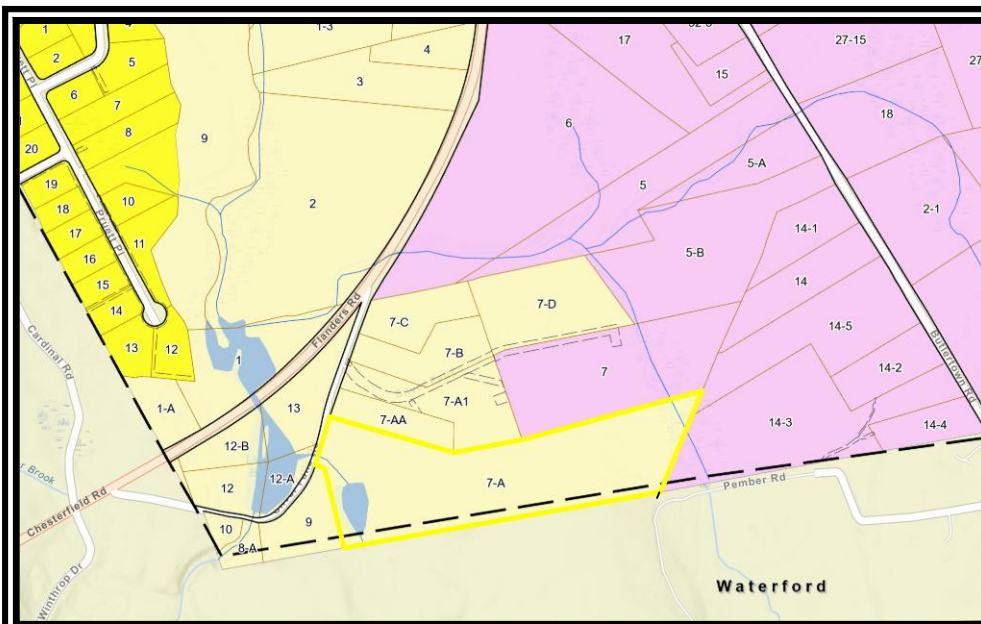
ZONING COMPLIANCE TABLES

ITEM	Zone: Residential R-80				
	REQUIRED	PROVIDED	LOT 2 INTERIOR LOT PROVIDED	LOT 3 INTERIOR LOT PROVIDED	LOT 4 INTERIOR LOT PROVIDED
LOT AREA *REAR LOT	80,000 OR 120,00 S.F. *	7.52 ACRES	3.33 ACRES	3.52 ACRES	5.05 ACRES
*LOT AREA (EXCLUDING ACCESS STRIP)	120,000 S.F. *	327,453 S.F.	122,590 S.F.	122,784 S.F.	175,298 S.F.
LOT FRONTAGE ** REAR LOT	150 FT. / 25' **	184 FT.	25 FT.	25 FT.	25 FT.
FRONT YARD SETBACK *** REAR LOT	50 FT. / 75' ***	730 FT.	230 FT.	80 FT.	75 FT.
SIDE YARD SETBACK	20 FT.	75 FT	125 FT	150 FT	40 FT
REAR YARD SETBACK	50 FT.	65 FT.	80 FT.	135 FT.	175 FT.
WATER SUPPLY		WELL	WELL	WELL	WELL
SEWAGE DISPOSAL		SEPTIC	SEPTIC	SEPTIC	SEPTIC

* REGULATION 4.11.4.3 & 4.11.4.4 – all interior lots shall have a lot area to at least 1.5 times the minimum lot area for the zoning district in which the lot is located. For zoning bulk calculations only, the total lot area shall be the proposed lot lines, excluding the length and width of the access strip.

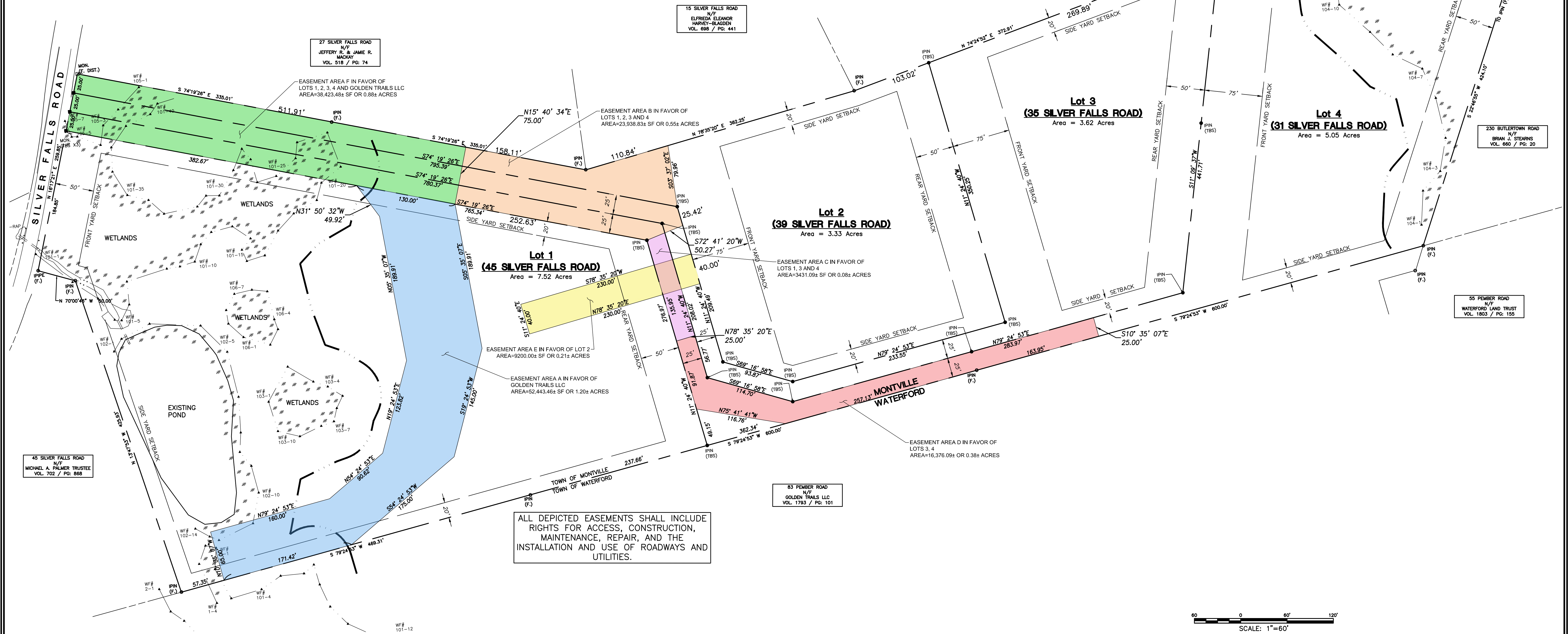
** REGULATION 4.11.4.3 – Such strip of land shall be at all points a minimum of twenty-five feet (25') wide.

*** REGULATION 4.11.4.5 – The minimum side yard and rear yard requirements for the Zoning District in which the lot is located shall be required. The front lot line shall be measured at the point closest to the street where the lot width is equal to the minimum lot frontage for the subject. There shall be a minimum of 1.5 times the front yard setback required in the Zoning District from the front lot line to the principle building.



KEY MAP

SCALE: 1"=±1,000'



ALL DEPICTED EASEMENTS SHALL INCLUDE RIGHTS FOR ACCESS, CONSTRUCTION, MAINTENANCE, REPAIR, AND THE INSTALLATION AND USE OF ROADWAYS AND UTILITIES.

DEVELOPMENT

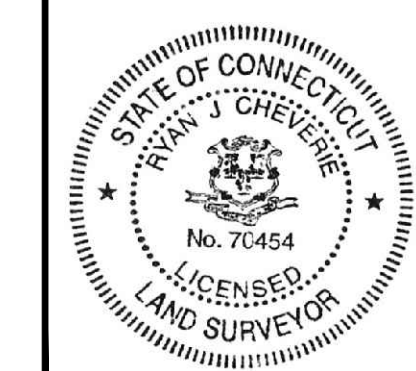
1. THE PROPOSED DEVELOPMENT IS A 4 LOT RESIDENTIAL SUBDIVISION. THE PROPOSED LIMITS OF DISTURBANCE HAVE BEEN SHOWN ON PLANS. THE PROPOSED DEVELOPMENT WILL DISTURB APPROXIMATELY 4.95 ACRES.
2. THERE IS APPROXIMATELY 4,590 S.F. OF PROPOSED INLAND WETLAND DISTURBANCE.
3. THERE IS PROPOSED WORK WITHIN THE 50-FOOT INLAND WETLAND UPLAND REVIEW AREA.
4. A PORTION OF THE SITE IS LOCATED IN THE 100-YEAR FLOOD PLAIN. (FIRM MAP #09011C03366, MAP EFF. JULY 18, 2011)
5. PORTION OF THE LOT LIES WITHIN A CT DEEP NATURAL DIVERSITY DATABASE AREA.
6. NO PORTION OF THE LOT LIES WITHIN THE COASTAL MANAGEMENT AREA.
7. NO PORTION OF THE LOT LIES WITHIN THE AQUIFER PROTECTION AREA.
8. THE RESIDENTIAL LOTS WILL BE SERVED BY AN ONSITE SEPTIC SYSTEM.
9. THE RESIDENTIAL LOTS WILL BE SERVED BY AN ONSITE WELL.

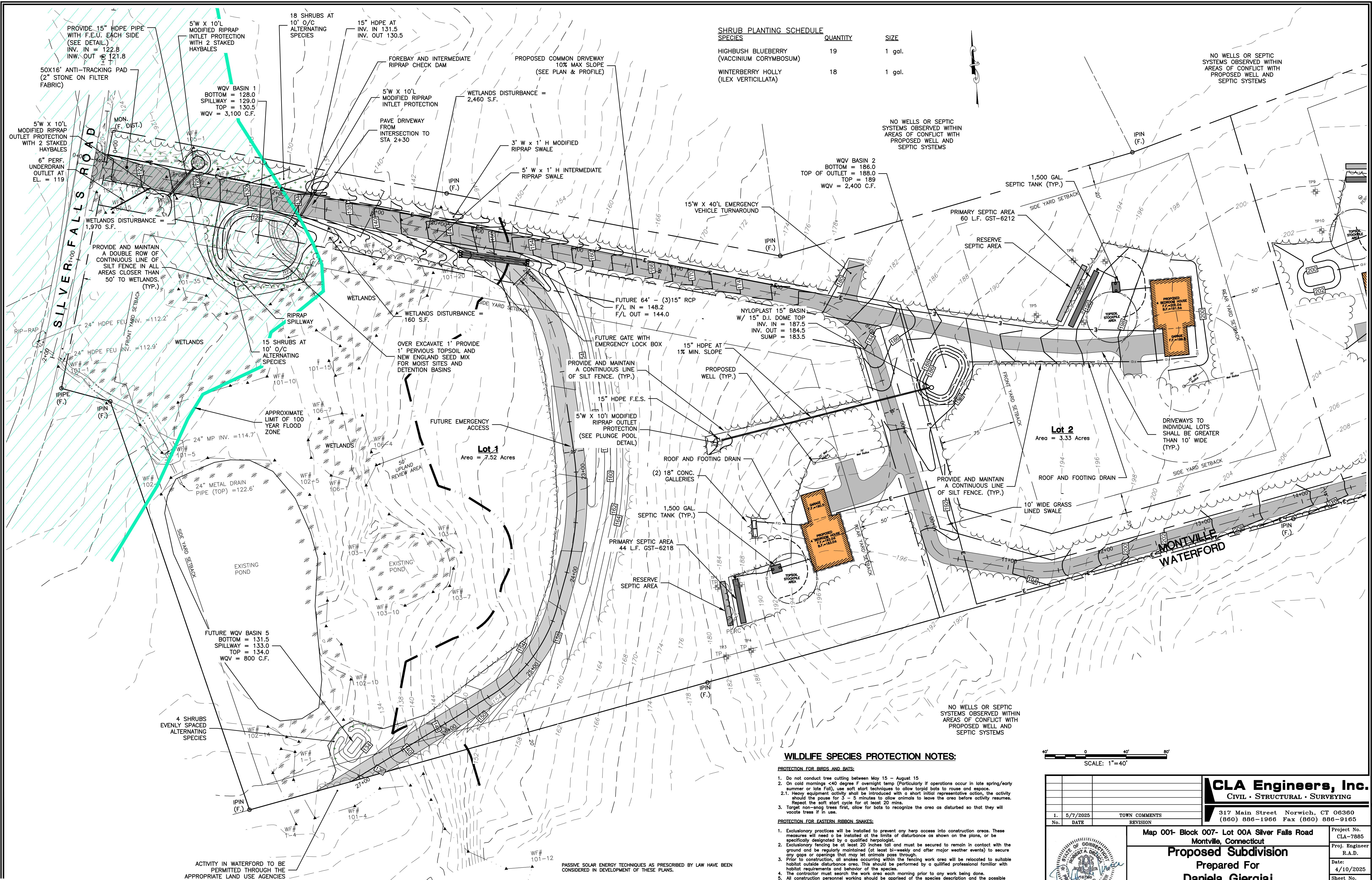
TO MY KNOWLEDGE AND BELIEF THIS PLAN IS SUBSTANTIALLY CORRECT AS NOTED OR DEPICTED HEREON.

RYAN J. CHEVERIE, L.L.S. #70454

SCALE: 1"=60'

<p>CLA Engineers, Inc. CIVIL • STRUCTURAL • SURVEYING</p>		Project No. CLA-7885 Proj. Engineer R.A.D. Date: 4/10/2025 Sheet No. 2
1. 5/7/2025 No. DATE	TOWN COMMENTS REVISION	317 Main Street Norwich, CT 06360 (860) 886-1966 Fax (860) 886-9165 Map 001- Block 007- Lot 00A Silver Falls Road Montville, Connecticut Proposed Subdivision Prepared For Daniela Gjergaj Subdivision Plan





SHRUB PLANTING SCHEDULE

SPECIES	QUANTITY	SIZE
HIGHBUSH BLUEBERRY (VACCINIUM CORYMBOSUM)	19	1 gal.
WINTERBERRY HOLLY (ILEX VERTICILLATA)	18	1 gal.

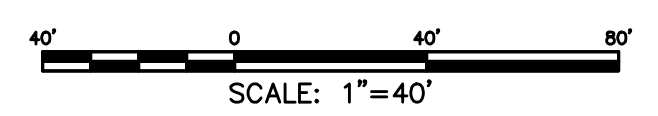
NO WELLS OR SEPTIC SYSTEMS OBSERVED WITHIN AREAS OF CONFLICT WITH PROPOSED WELL AND SEPTIC SYSTEMS

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WILDLIFE SPECIES PROTECTION NOTES:

- PROTECTION FOR BIRDS AND BATS:**
- Do not conduct tree cutting between May 15 - August 15
 - On cold mornings <40 degree F overnight temp (Particularly if operations occur in late spring/early summer or late fall), use soft start techniques to allow torpid birds to rouse and escape.
 - Heavy equipment activity shall be introduced with a short initial representative action, the activity should the pause for 3 - 5 minutes to allow animals to leave the area before activity resumes. Repeat the soft start cycle for at least 20 mins.
 - Target non-sag trees first, allow for bats to recognize the area as disturbed so that they will vacate trees if in use.
- PROTECTION FOR EASTERN RIBBON SNAKES:**
- Exclusionary practices will be installed to prevent any herd access into construction areas. These measures will need to be installed at the limits of disturbance as shown on the plans, or be specifically designated by a qualified herpetologist.
 - Exclusionary fencing be at least 20 inches tall and must be secured to remain in contact with the ground and be regularly maintained (at least bi-weekly and after major weather events) to secure any gaps or openings that may let animals pass through.
 - Prior to construction, all snakes occurring within the fencing work area will be relocated to suitable habitat outside disturbance area. This should be performed by a qualified professional familiar with habitat requirements and behavior of the species.
 - The contractor must search the work area each morning prior to any work being done.
 - All construction personnel working should be apprised of the species description and the possible presence of a listed species.
 - Any herp encountered within the immediate work area shall be carefully moved to an adjacent area outside of the excluded area and fencing should be inspected to identify and remove access point.

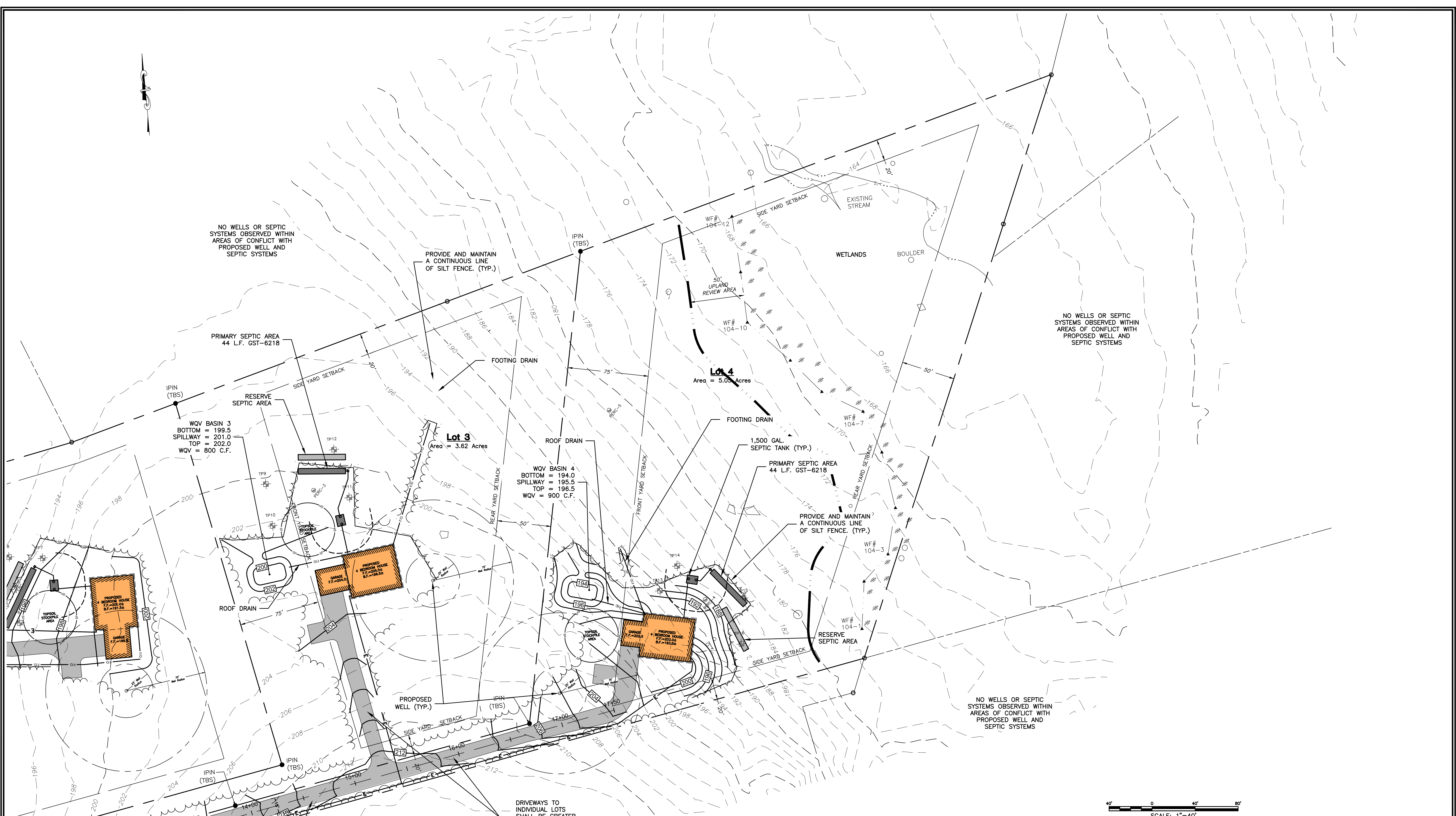


ACTIVITY IN WATERFORD TO BE PERMITTED THROUGH THE APPROPRIATE LAND USE AGENCIES

ENGINEER _____ DATE _____



<p>CLA Engineers, Inc. CIVIL • STRUCTURAL • SURVEYING</p> <p>317 Main Street Norwich, CT 06360 (860) 886-1966 Fax (860) 886-9165</p>		<p>Project No. CLA-7885</p> <p>Proj. Engineer R.A.D.</p> <p>Date: 4/10/2025</p> <p>Sheet No. 3</p>
<p>1. 5/7/2025 TOWN COMMENTS</p> <p>No. DATE REVISION</p>	<p>Map 001- Block 007- Lot 00A Silver Falls Road Montville, Connecticut Proposed Subdivision Prepared For Daniela Gjergaj Site Plan Lots 1 & 2</p>	



NO WELLS OR SEPTIC SYSTEMS OBSERVED WITHIN AREAS OF CONFLICT WITH PROPOSED WELL AND SEPTIC SYSTEMS

PROVIDE AND MAINTAIN A CONTINUOUS LINE OF SILT FENCE. (TYP.)

NO WELLS OR SEPTIC SYSTEMS OBSERVED WITHIN AREAS OF CONFLICT WITH PROPOSED WELL AND SEPTIC SYSTEMS

PRIMARY SEPTIC AREA
44 L.F. GST-6218

WQV BASIN 3
BOTTOM = 199.5
SPILLWAY = 201.0
TOP = 202.0
WQV = 800 C.F.

Lot 3
Area = 3.62 Acres

WQV BASIN 4
BOTTOM = 194.0
SPILLWAY = 195.5
TOP = 196.5
WQV = 900 C.F.

Lot 4
Area = 5.00 Acres

1,500 GAL. SEPTIC TANK (TYP.)

PRIMARY SEPTIC AREA
44 L.F. GST-6218

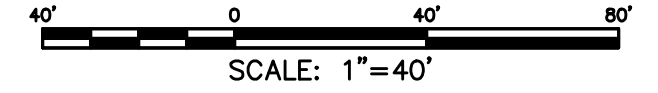
PROVIDE AND MAINTAIN A CONTINUOUS LINE OF SILT FENCE. (TYP.)

NO WELLS OR SEPTIC SYSTEMS OBSERVED WITHIN AREAS OF CONFLICT WITH PROPOSED WELL AND SEPTIC SYSTEMS

DRIVEWAYS TO INDIVIDUAL LOTS SHALL BE GREATER THAN 10' WIDE (TYP.)

NO WELLS OR SEPTIC SYSTEMS OBSERVED WITHIN AREAS OF CONFLICT WITH PROPOSED WELL AND SEPTIC SYSTEMS

PASSIVE SOLAR ENERGY TECHNIQUES AS PRESCRIBED BY LAW HAVE BEEN CONSIDERED IN DEVELOPMENT OF THESE PLANS.



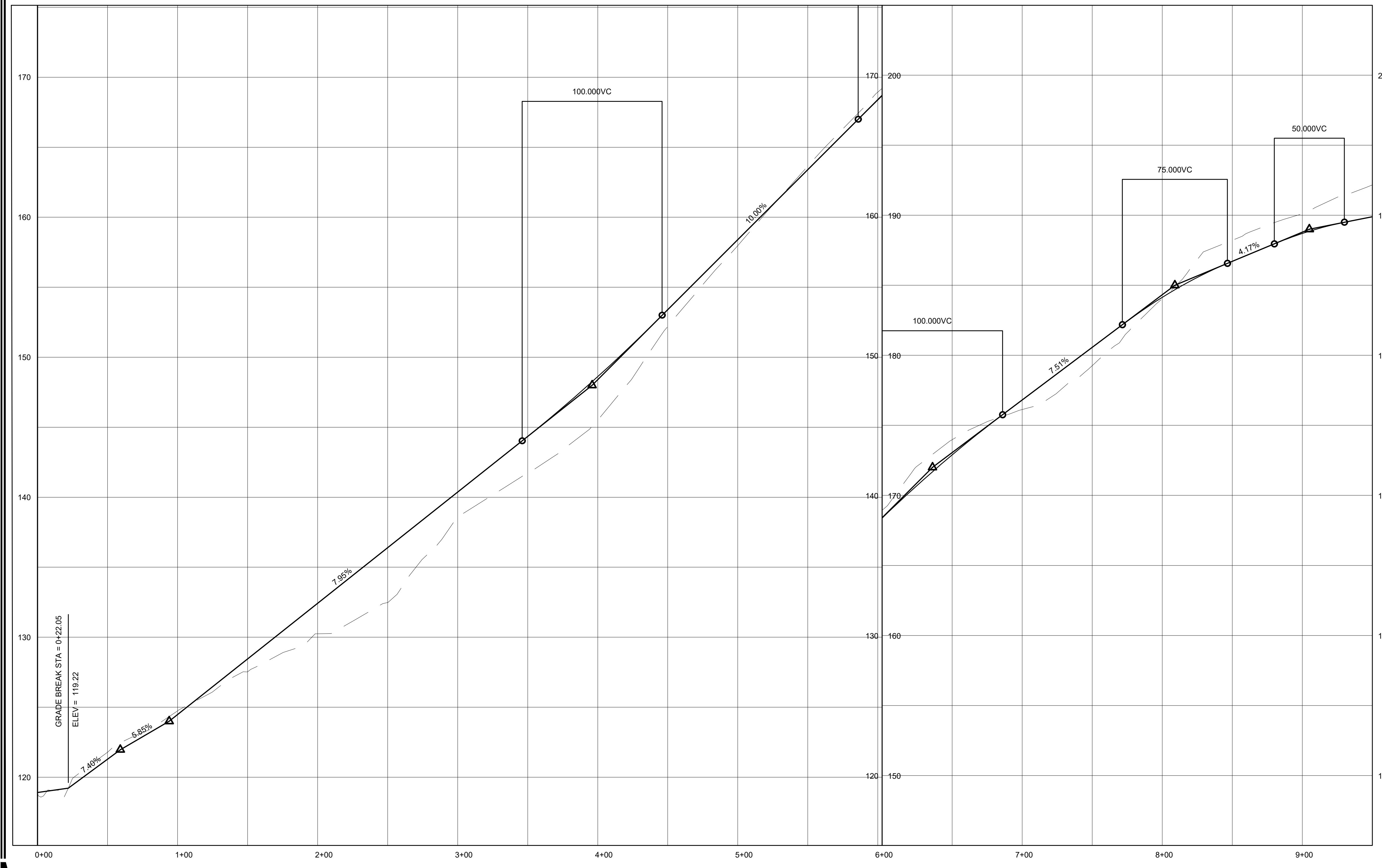
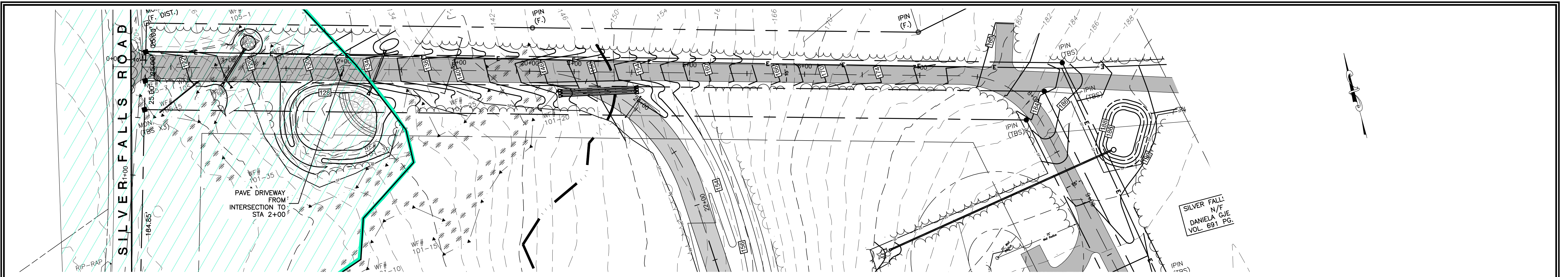
SCALE: 1"=40'

CLA

ENGINEER _____ DATE _____

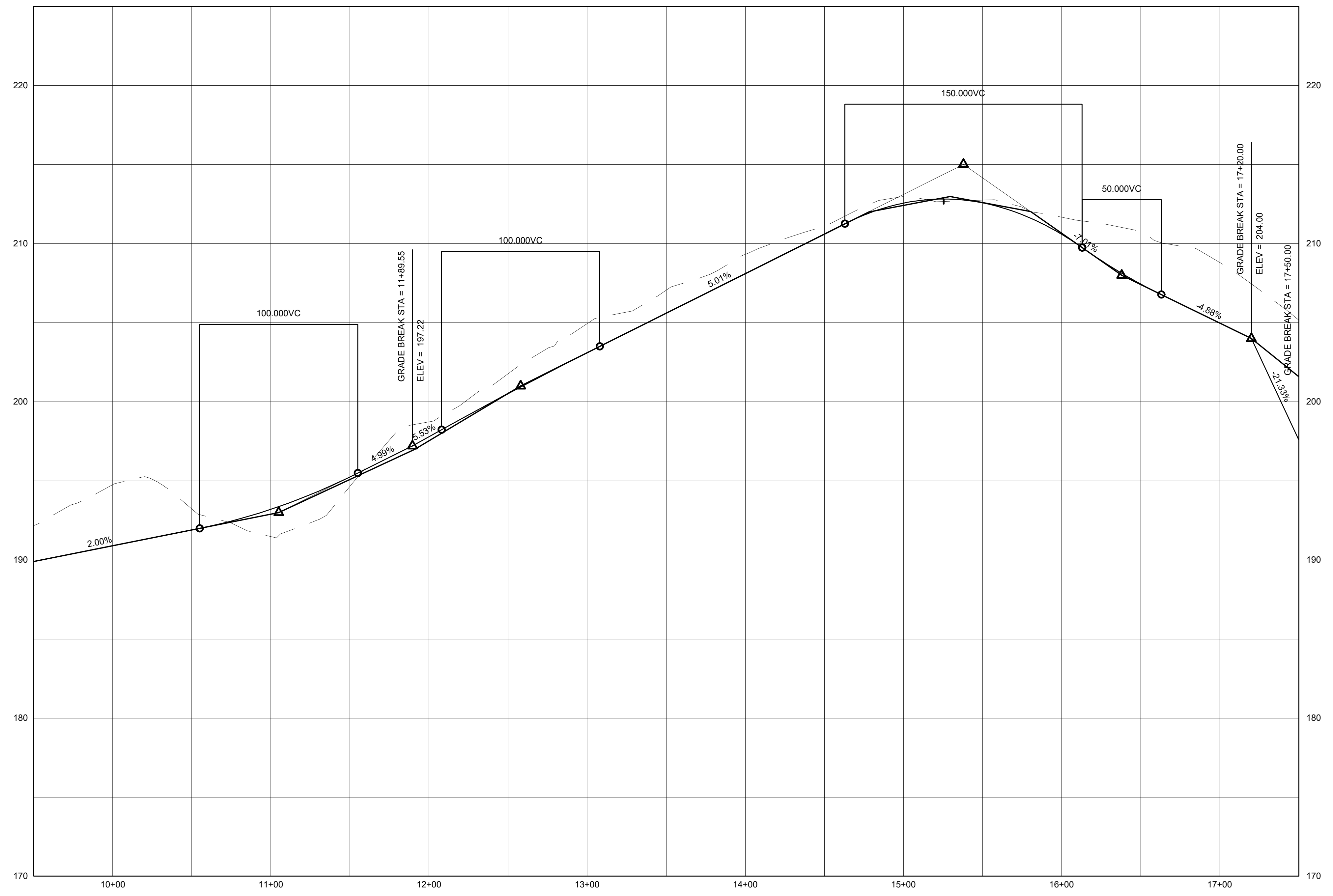
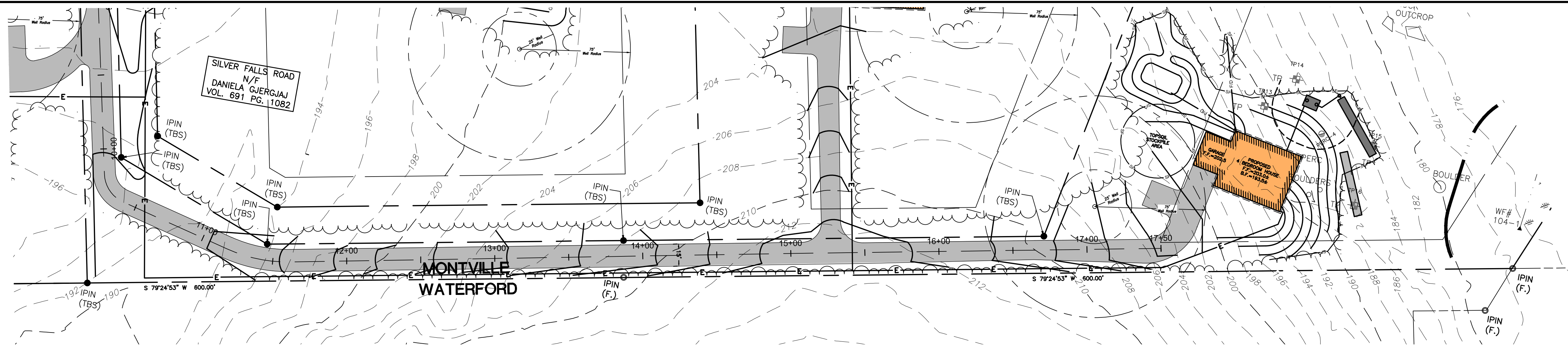
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			Date: 4/10/2025
Map 001- Block 007- Lot 00A Silver Falls Road Montville, Connecticut Proposed Subdivision Prepared For Daniela Gjergaj		Sheet No. 4	
		Site Plan Lots 3 & 4	




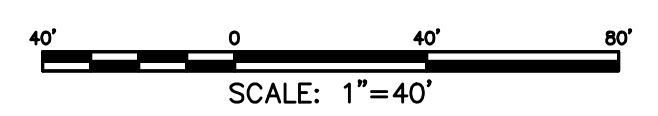
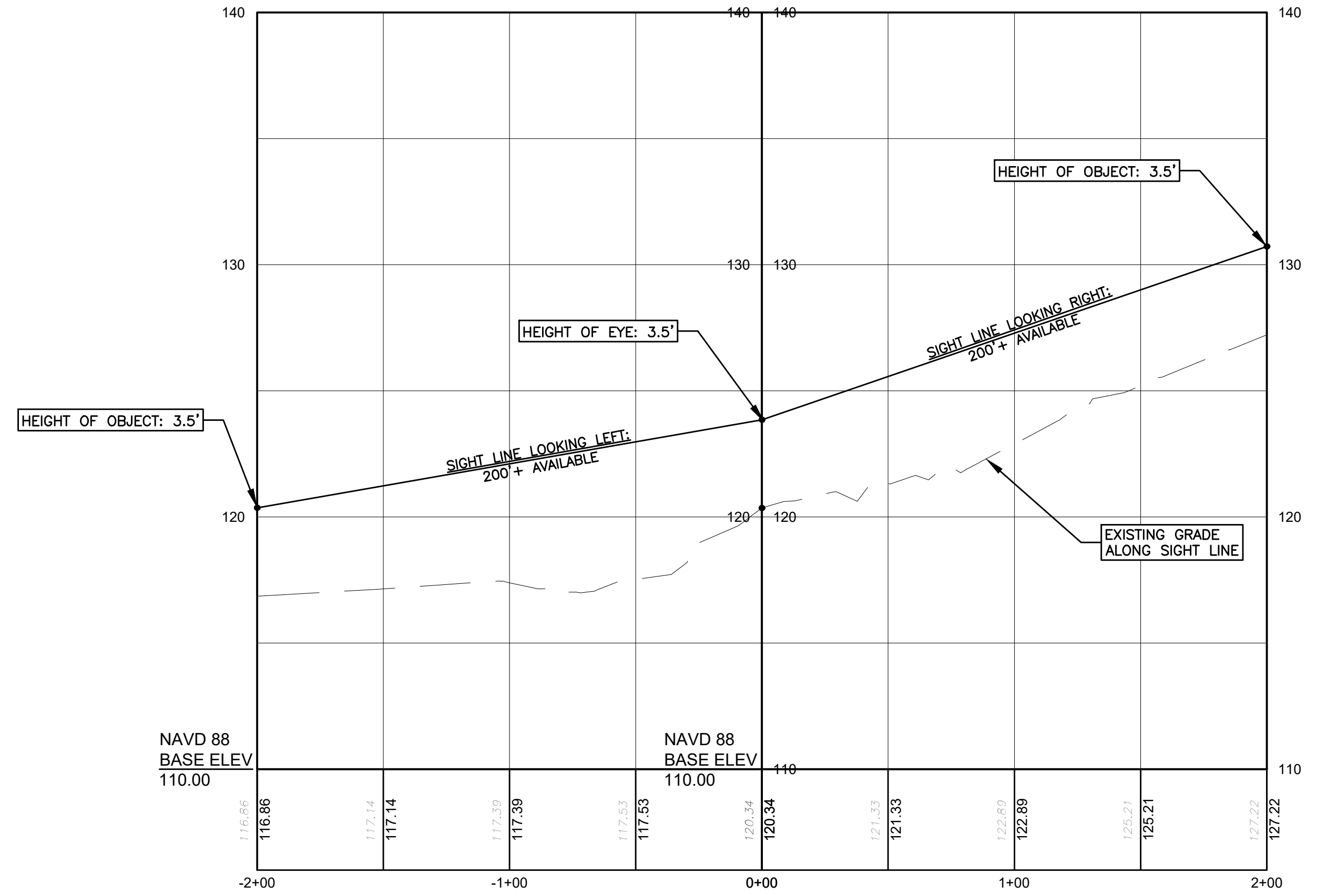
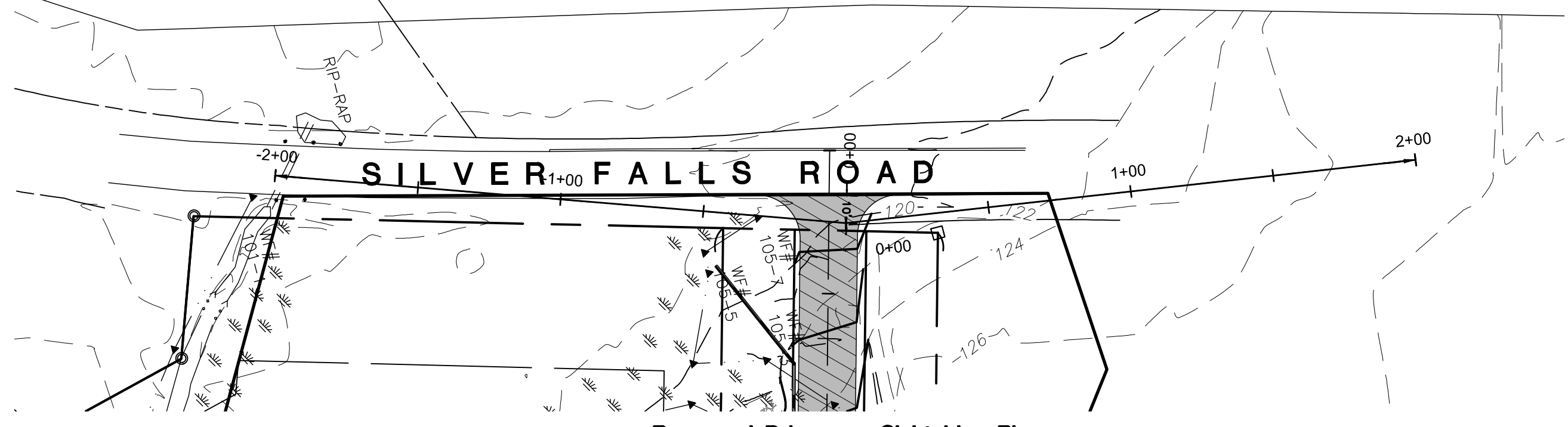
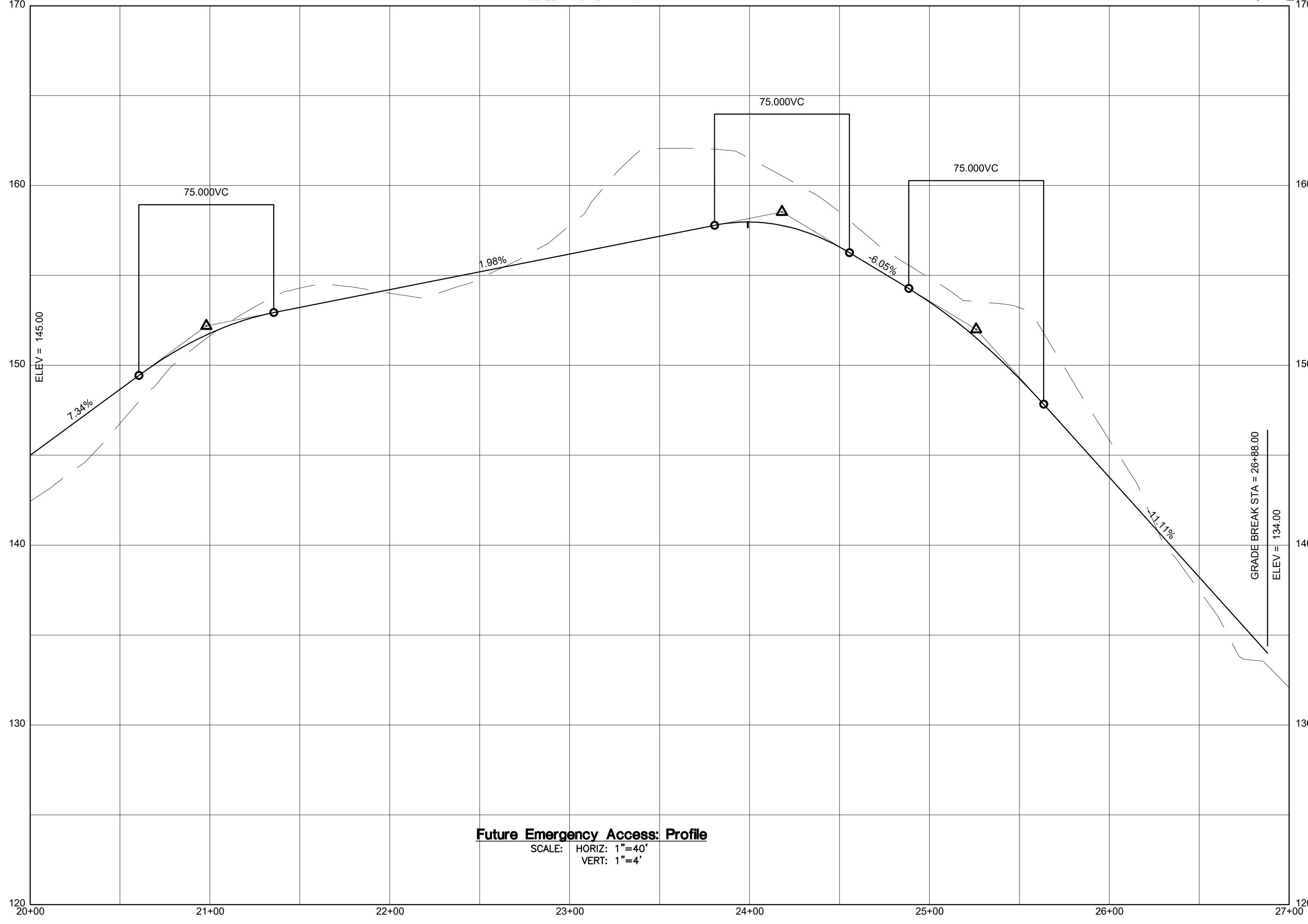
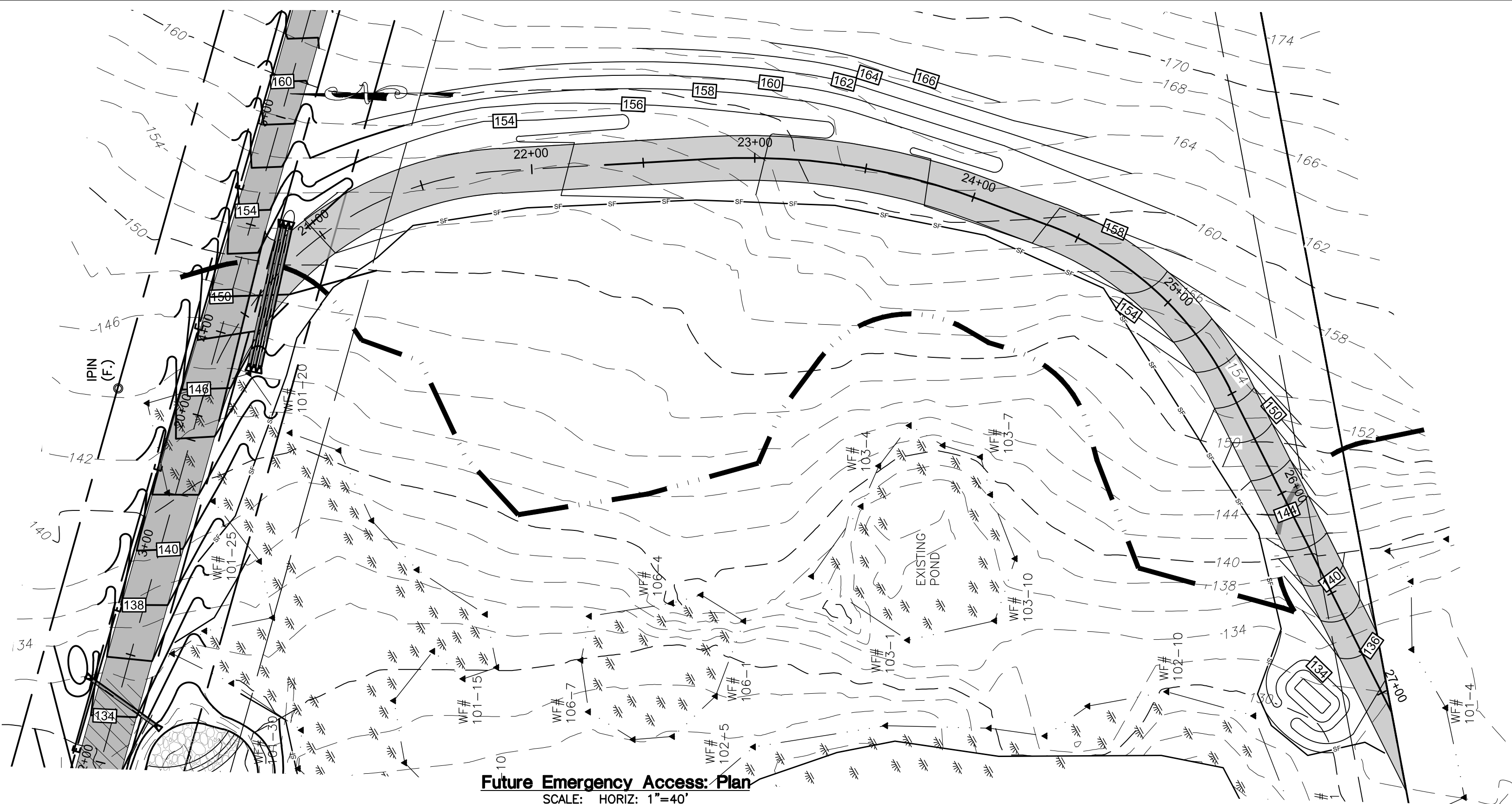


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Plan & Profile 0+00 - 9+50			

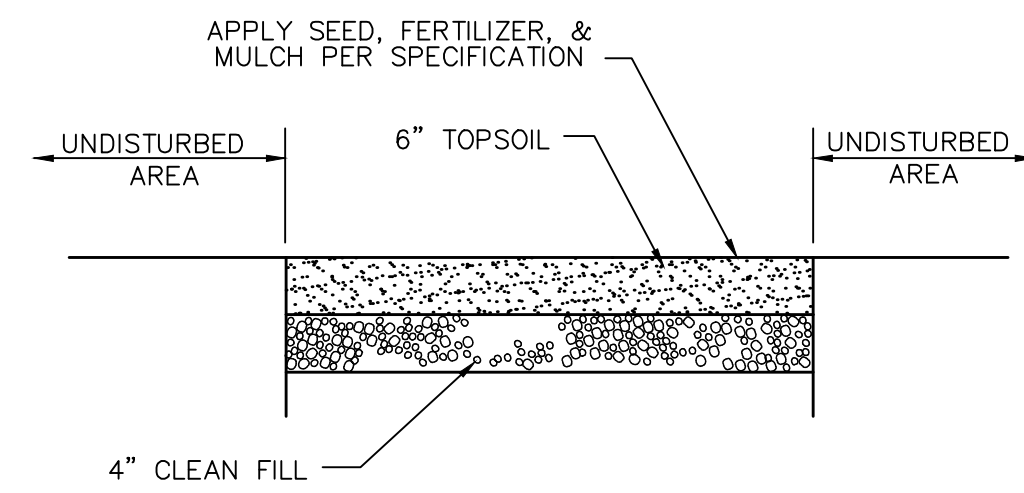




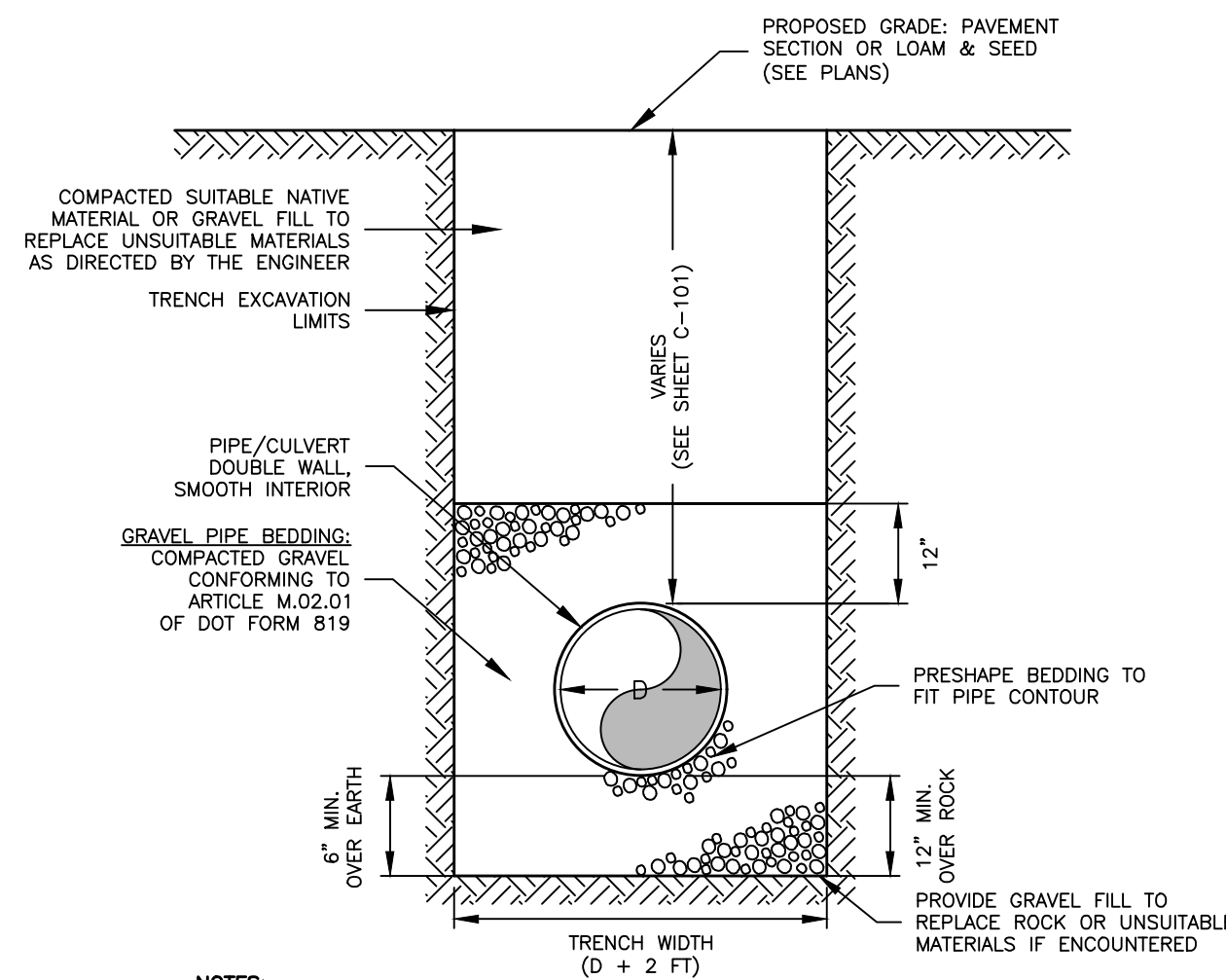
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No.	DATE	REVISION	
Map 001- Block 007- Lot 00A Silver Falls Road Montville, Connecticut Proposed Subdivision Prepared For Daniela Gjergjaj			Project No. CLA-7885 Proj. Engineer R.A.D. Date: 4/10/2025 Sheet No. 6
			Plan & Profile 9+50 - 17+50



		CLA Engineers, Inc. CIVIL • STRUCTURAL • SURVEYING 317 Main Street Norwich, CT 06360 (860) 886-1966 Fax (860) 886-9165	
1. 5/7/2025 TOWN COMMENTS No. DATE REVISION		Project No. CLA-7885 Proj. Engineer R.A.D. Date: 4/10/2025 Sheet No.	
Map 001- Block 007- Lot 00A Silver Falls Road Montville, Connecticut Proposed Subdivision Prepared For Daniela Gjergaj		Plan & Profile "Future Access Road" 20+00 - 27+00	
		7	

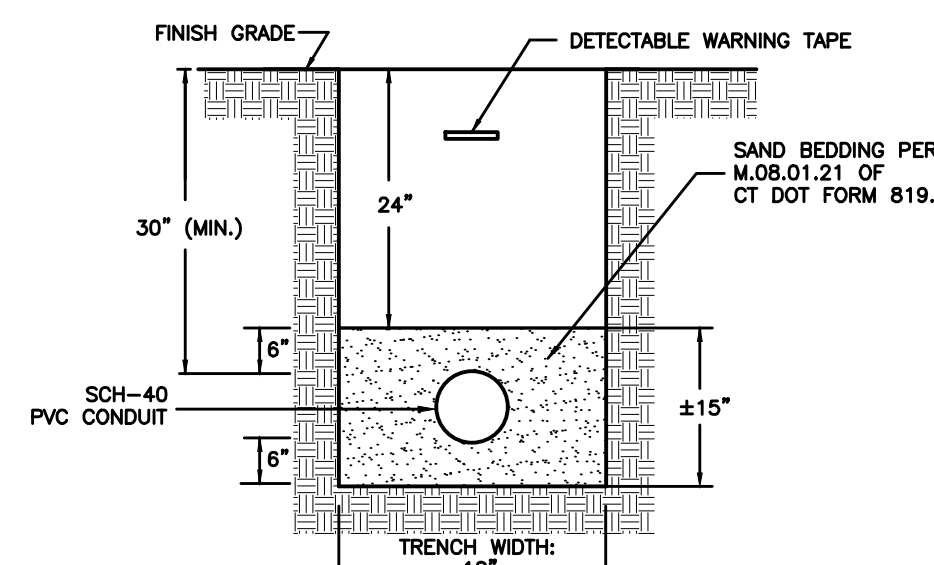


TOPSOIL & SEED CROSS SECTION
NOT TO SCALE



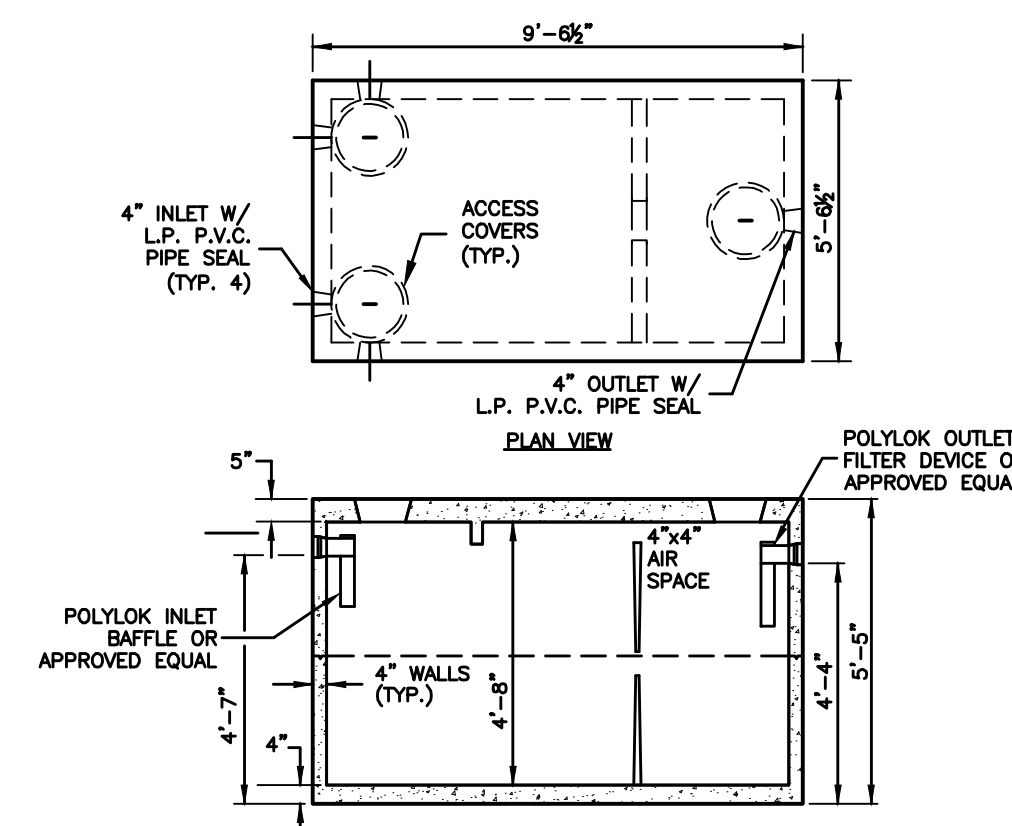
- NOTES:**
1. D=INSIDE DIAMETER OF PIPE/CULVERT.
 2. TRENCH WIDTHS NOTED ARE SET TO ESTABLISH PAY LIMITS ONLY.
 3. ALL EXCAVATIONS MUST MEET OSHA STANDARDS.
 4. CONTRACTOR TO PROVIDE COMPACTION ON ALL TRENCH BACKFILLS, EXCAVATIONS AND PAVEMENT BASES TO NOT LESS THAN 95% OF THE DRY DENSITY FOR THAT MATERIAL.

TRENCH DETAIL: DRAINAGE CULVERT
NOT TO SCALE



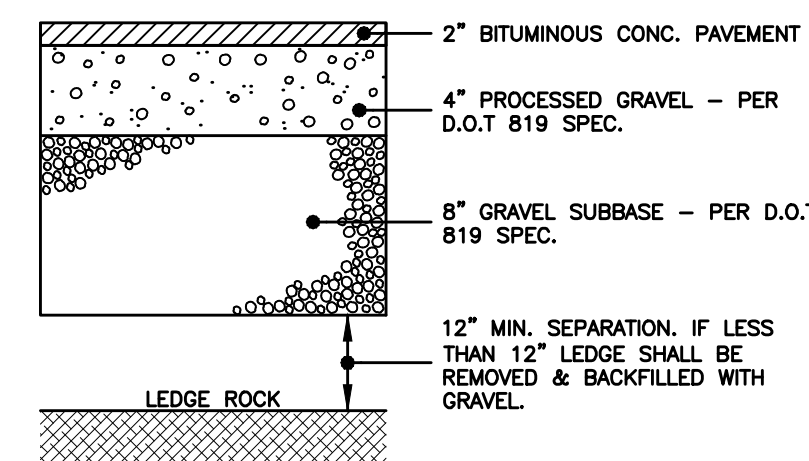
- NOTES:**
1. TRENCH WIDTHS NOTED ARE SET TO ESTABLISH PAY LIMITS ONLY.
 2. ALL EXCAVATIONS MUST MEET OSHA STANDARDS.
 3. CONTRACTOR TO PROVIDE COMPACTION ON ALL TRENCH BACKFILLS, EXCAVATIONS AND PAVEMENT BASES TO NOT LESS THAN 95% OF THE DRY DENSITY FOR THAT MATERIAL.
 4. MAINTAIN 2" SEPARATION BETWEEN MULTIPLE CONDUIT TRENCHES.

TYPICAL CONDUIT TRENCH DETAIL
NOT TO SCALE



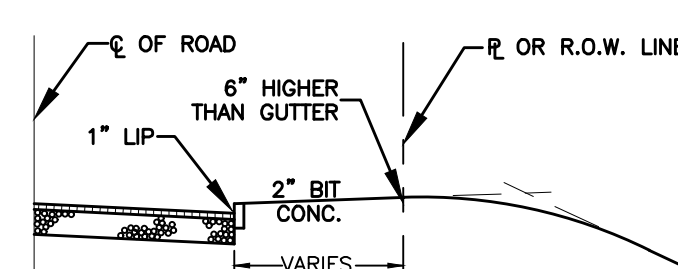
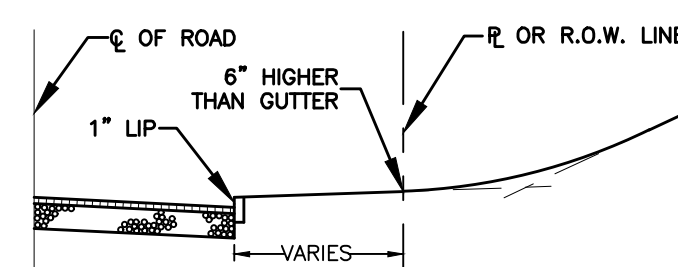
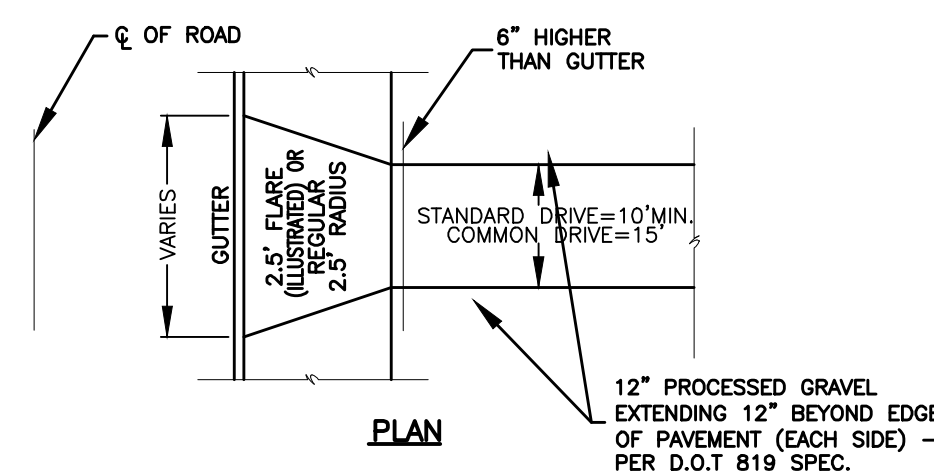
- NOTES:**
1. DIMENSIONS MAY VARY DEPENDING ON TANK MANUFACTURER (UNITED CONCRETE SHOWN)
 2. CONCRETE - 4,000 P.S.I. AT 28 DAYS
 3. STEEL REINFORCEMENT - ASTM A-615 OR 60, A-185 OR A-497, 1" MIN. COVER
 4. CONSTRUCTION JOINT - SEALED WITH 1" DIA. BUTYL RUBBER OR EQUIVALENT.
 5. SEPTIC TANK SHALL MEET THE REQUIREMENTS OF SECTION 5 OF THE CT PUBLIC HEALTH CODE.
 6. PROVIDE RISERS AND ACCESS COVER TO WITHIN 12" OF FINISHED GRADE. TANK ACCESS COVERS TO REMAIN IN PLACE

1,500 GALLON SEPTIC TANK
NOT TO SCALE

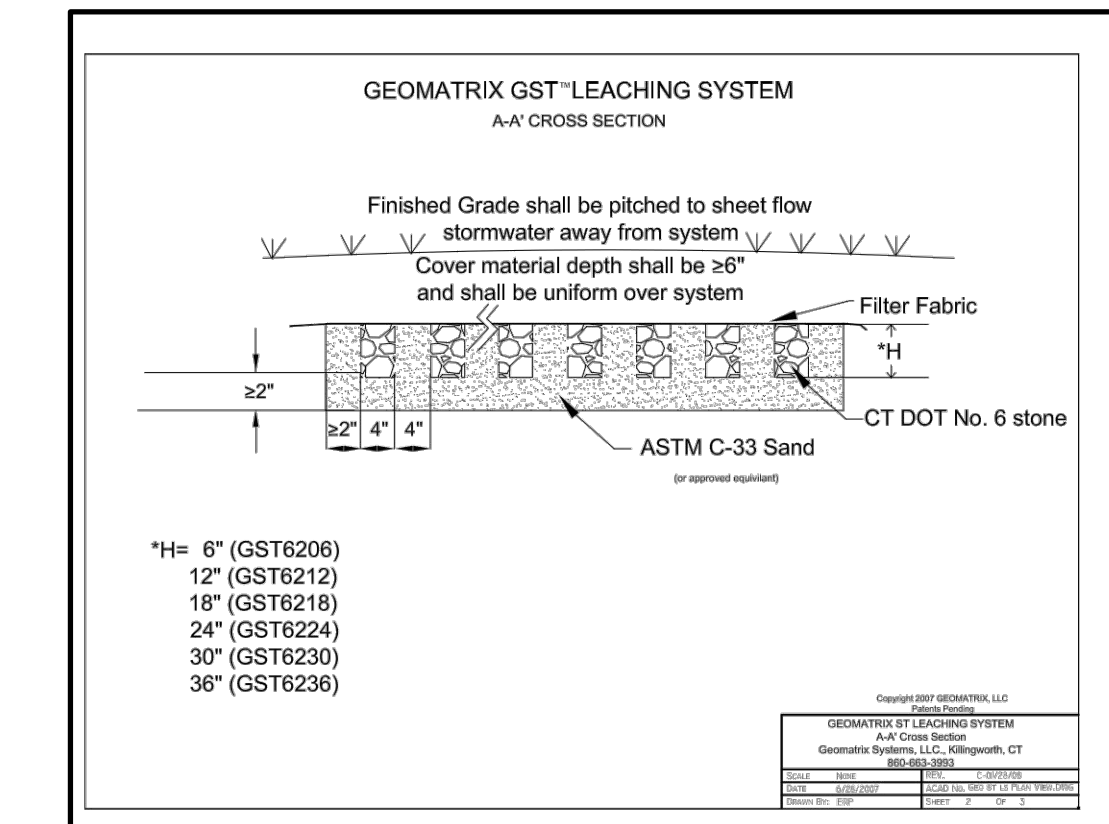


- NOTES:**
1. PROVIDE CONTINUOUS TACK COAT ALONG EDGE WHEN MATCHING EXISTING PAVEMENT
 2. CONTRACTOR TO PROVIDE COMPACTION ON ALL TRENCH BACKFILLS, EXCAVATIONS AND PAVEMENT BASES TO NOT LESS THAN 95% OF THE DRY DENSITY FOR THAT MATERIAL WHEN TESTED IN ACCORDANCE WITH AASHTO T180, METHOD D

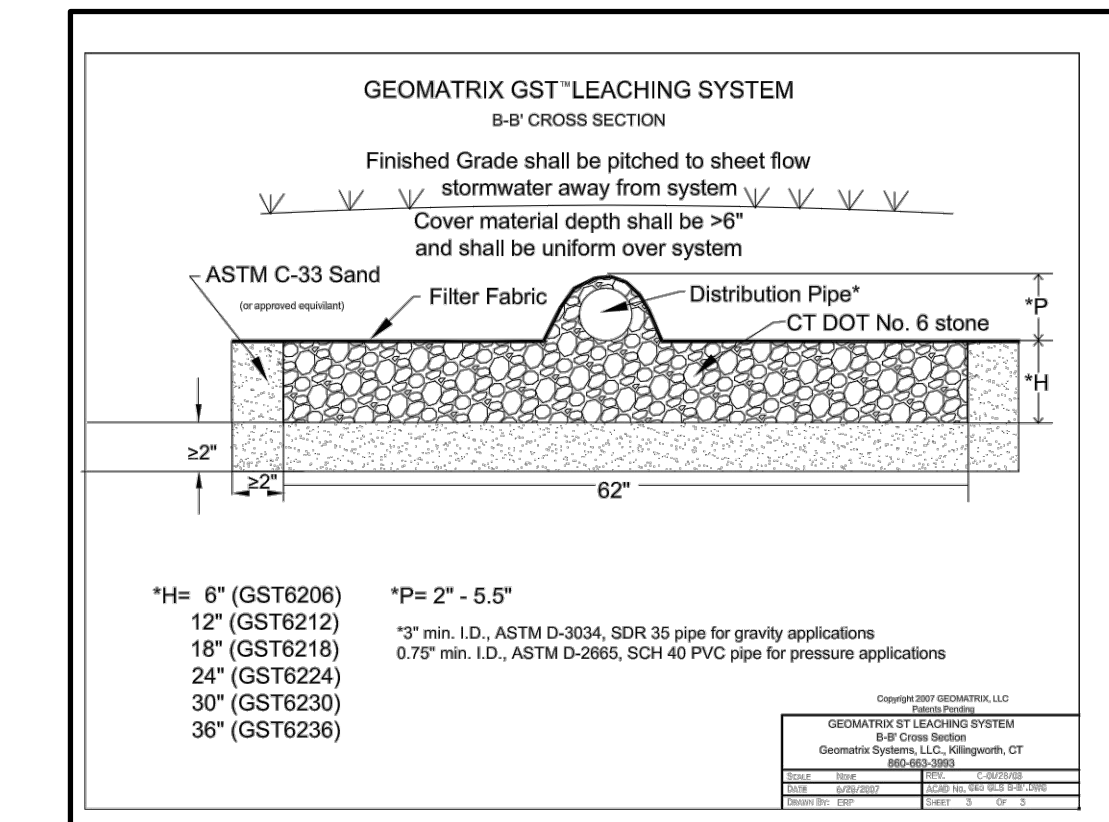
TYPICAL PAVEMENT SECTION DETAIL
NOT TO SCALE



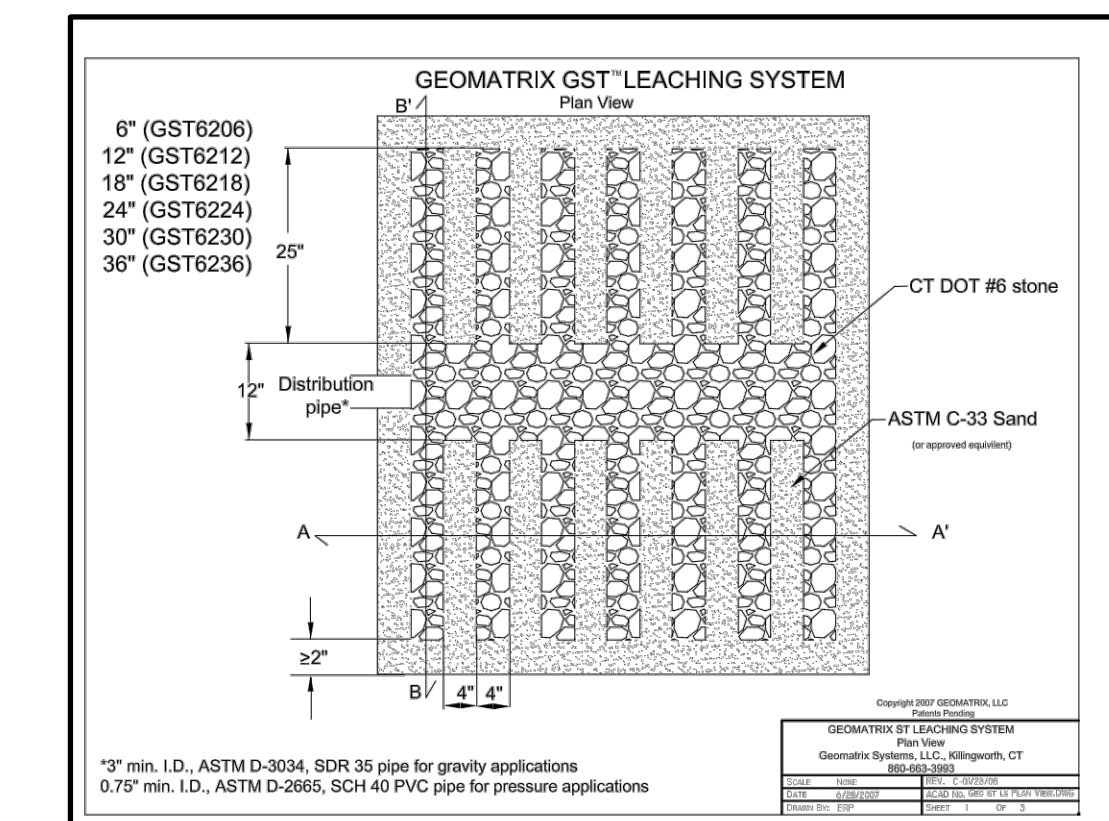
DRIVEWAY DETAIL
NOT TO SCALE



- *H= 6" (GST6206)
12" (GST6212)
18" (GST6216)
24" (GST6224)
30" (GST6230)
36" (GST6236)



- *H= 6" (GST6206) *P= 2" - 5.5"
12" (GST6212) *3" min. I.D., ASTM D-3034, SDR 35 pipe for gravity applications
18" (GST6216) 0.75" min. I.D., ASTM D-2865, SCH 40 PVC pipe for pressure applications
24" (GST6224)
30" (GST6230)
36" (GST6236)



- *3" min. I.D., ASTM D-3034, SDR 35 pipe for gravity applications
0.75" min. I.D., ASTM D-2865, SCH 40 PVC pipe for pressure applications

GENERAL NOTES

1. CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" AT 811 AT LEAST 2 FULL WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
2. INFORMATION SHOWN ON THE DRAWINGS RELATING TO MATERIALS, CONDITIONS, AND/OR LOCATIONS OF EXISTING STRUCTURES AND UTILITIES HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING FIELD SURVEY, UTILITY COMPANY AND TOWN RECORD MAPS AND DRAWINGS, AND IS NOT GUARANTEED ACCURATE OR COMPLETE.
3. THE CONTRACTOR SHALL EXCAVATE TEST PITS AS NEEDED OR AS DIRECTED TO VERIFY UTILITY INFORMATION.
4. PASSAGE OF TRAFFIC ON ROADWAYS/DRIVEWAYS: A MINIMUM OF ONE LANE FOR TRAFFIC SHALL BE MAINTAINED THROUGH THE SITE AT ALL TIMES. THE CONTRACTOR SHALL PERFORM HIS OPERATIONS TO MINIMIZE DISRUPTIONS TO TRAFFIC WITHIN THE PROJECT SITE. A SINGLE LANE OF TRAFFIC MUST BE MAINTAINED AT ALL TIMES FOR RESIDENTS, BUSINESSES AND EMERGENCY VEHICLES.
5. THE CONTRACTOR IS REQUIRED TO CHECK WITH THE MONTVILLE POLICE DEPARTMENT FOR ANY TRAFFIC INTERVENTION NEEDED, THE MONTVILLE POLICE DEPARTMENT WILL DETERMINE THE LEVEL AND TYPE OF TRAFFIC PROTECTION NEEDED. CONTINUOUS ACCESS FOR EMERGENCY VEHICLES SHALL BE MAINTAINED AT ALL TIMES.
6. CONSTRUCTION SIGNS MUST CONFORM TO THE SIGNING REQUIREMENTS OUTLINED IN THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)". ALL SIGN FACES SHALL BE REFLECTORIZED.
7. THE CONTRACTOR SHALL CONFINE HIS OPERATIONS AND ACTIVITIES FOR CONSTRUCTION PURPOSES WITHIN THE STREET LINES, EASEMENTS AND PROPERTY AS SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING PAVEMENT, ROADWAY, SIDEWALKS, ETC., OUTSIDE OF THE WORK AREA AND SHALL REPAIR SUCH DAMAGE.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE TEMPORARY AND PERMANENT SUPPORT OF ALL EXISTING UTILITY POLES IN AN ADJACENT TO THE CONSTRUCTION AREA AND SHALL COMPLY WITH ALL THE REQUIREMENTS AND SPECIAL DETAILS FOR THE SUPPORT OF UTILITIES REQUIRED BY UTILITY AGENCIES.
9. MATERIAL STOCKPILE AND STAGING AREAS: THE CONTRACTOR SHALL LOCATE STOCKPILE, MATERIAL STORAGE AND EQUIPMENT STORAGE AREAS AS SHOWN ON THE PLANS. PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR SHALL IDENTIFY THESE AREAS AND PROVIDE EROSION AND SEDIMENTATION CONTROL MEASURES AS REQUIRED. ADJUSTMENTS TO THESE LOCATIONS MAY BE MADE IN THE FIELD PROVIDED THAT EROSION AND SEDIMENTATION CONTROL MEASURES ARE FURNISHED & INSTALLED AND IN NO CASE MAY THEY BE LOCATED WITHIN THE 50-FOOT REGULATED AREAS.
10. IF BLASTING IS PERFORMED A PRE-BLAST SURVEY WILL BE REQUIRED. ANY AND ALL BLASTING SHALL CONFORM TO THE REGULATIONS SET FORTH BY THE TOWN AND SHALL BE APPROVED BY THE APPROPRIATE TOWN AGENCIES AND ADJACENT UTILITY OWNERS.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESETTLE TO GRADE ALL FRAMES, GRATES, COVERS, VALVE BOXES, ACCESS COVERS, AND ALL OTHER ITEMS WHICH NORMALLY MUST HAVE A FIXED RELATION TO FINISHED GRADE.
12. ALL WORK TO CONFORM TO THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES AND INCIDENTAL CONSTRUCTION FORM 819, DATED 2024, AS REVISED.
13. ALL FILL MATERIAL (BORROW) IMPORTED TO THE SITE SHALL BE "CLEAN FILL" IN ACCORDANCE WITH DEEP'S SOLID WASTE MANAGEMENT REGULATIONS (RCSA SECTION 22a-209-1).

UTILITY NOTES

1. ALL UTILITY AND SERVICE INSTALLATIONS SHALL CONFORM TO THE UTILITY COMPANY REQUIREMENTS AS APPLICABLE.
2. SITE MUST BE AT SUBGRADE BEFORE UTILITIES CAN BE INSTALLED.
3. CONTRACTOR TO COORDINATE GAS/ELECTRIC INSTALLATION WORK WITH UTILITY COMPANY (IF APPLICABLE).

CONSTRUCTION SEQUENCE

IT IS ANTICIPATED THAT THE CONSTRUCTION ACTIVITIES WILL BEGIN DURING THE FALL OF 2025 AND WILL BE COMPLETED IN APPROXIMATELY 18 MONTHS.

CONSTRUCTION SEQUENCE:

1. PRIOR TO ANY SITE DISTURBANCE CONTACT "CALL BEFORE YOU DIG" 811 TO MARK EXISTING UTILITY LOCATIONS.
2. INSTALL ALL EROSION AND SEDIMENT CONTROL MEASURES PER THE EROSION AND SEDIMENTATION CONTROL PLAN & NARRATIVE, ZONING AND WETLANDS OFFICER SHALL INSPECT PRIOR TO ANY DISTURBANCE.
3. CLEAR AND GRUB THE PROPOSED WORK AREA.
4. CUT & FILL FOR THE DRIVEWAYS, SEPTIC SYSTEMS, AND FOUNDATIONS TO ESTABLISH THE SITE SUBGRADE.
5. INSTALL PROPOSED UNDERGROUND UTILITIES.
6. FINISH GRADE THE DRIVEWAYS PER THE SECTION DETAIL.
7. INSTALL ALL LANDSCAPING. LOAM, SEED, FERTILIZE AND MULCH ALL DISTURBED AREAS AROUND THE ROAD CONSTRUCTION.
8. AFTER ALL DISTURBED AREAS ARE STABILIZED AND WITH PRIOR APPROVAL FROM ZONING AND WETLANDS OFFICER, REMOVE EROSION AND SEDIMENTATION CONTROL MEASURES.



Know what's below.
Call 811 before you dig.

<p>CLA Engineers, Inc. CIVIL • STRUCTURAL • SURVEYING</p> <p>317 Main Street Norwich, CT 06360 (860) 886-1966 Fax (860) 886-9165</p>		<p>Project No. CLA-7885</p> <p>Proj. Engineer R.A.D.</p> <p>Date: 4/10/2025</p> <p>Sheet No. 8</p>
<p>1. 5/7/2025 TOWN COMMENTS</p> <p>No. DATE REVISION</p>	<p>Map 001- Block 007- Lot 00A Silver Falls Road Montville, Connecticut</p> <p>Proposed Subdivision</p> <p>Prepared For Daniela Gjergaj</p> <p>Construction Details</p>	

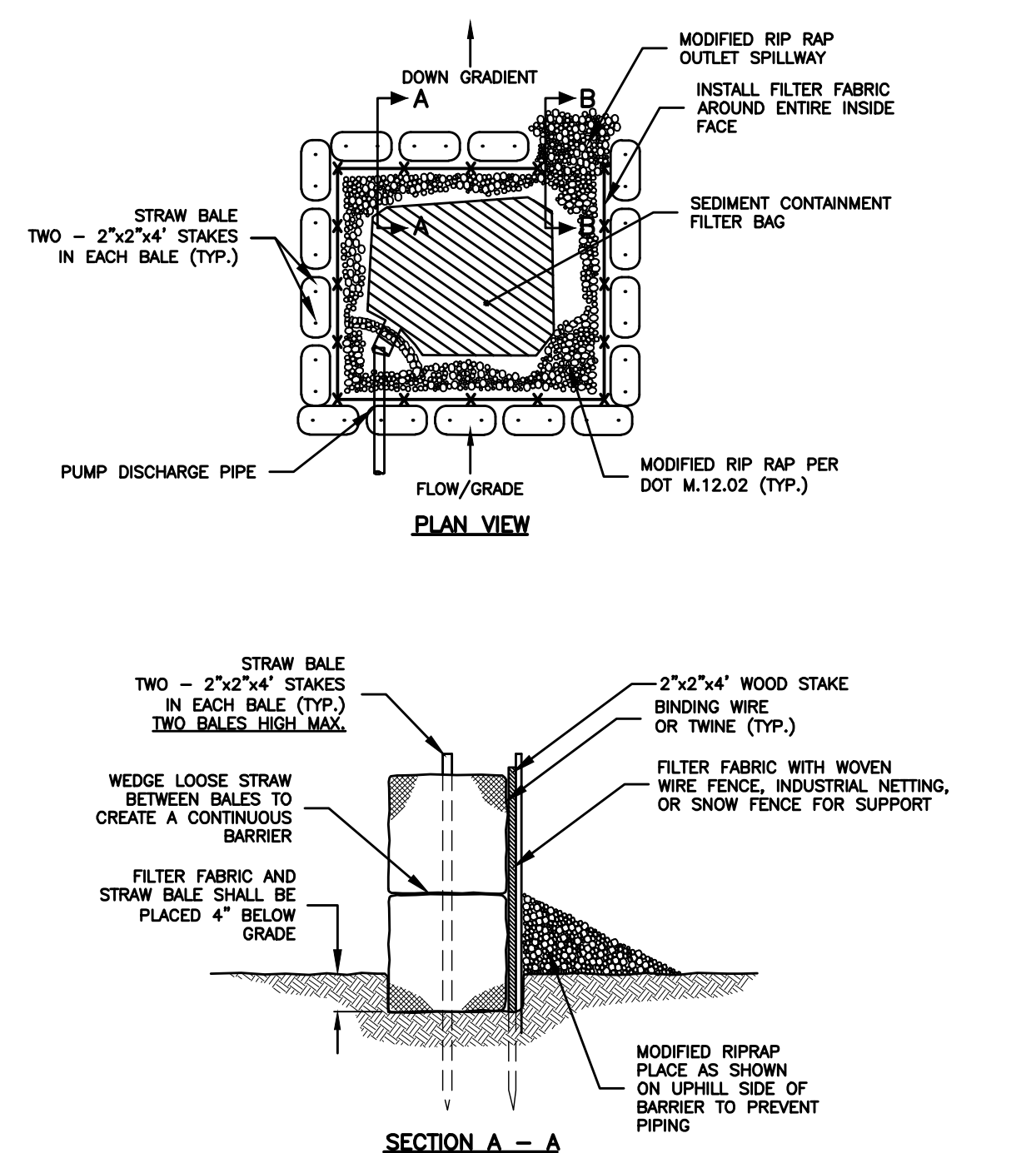
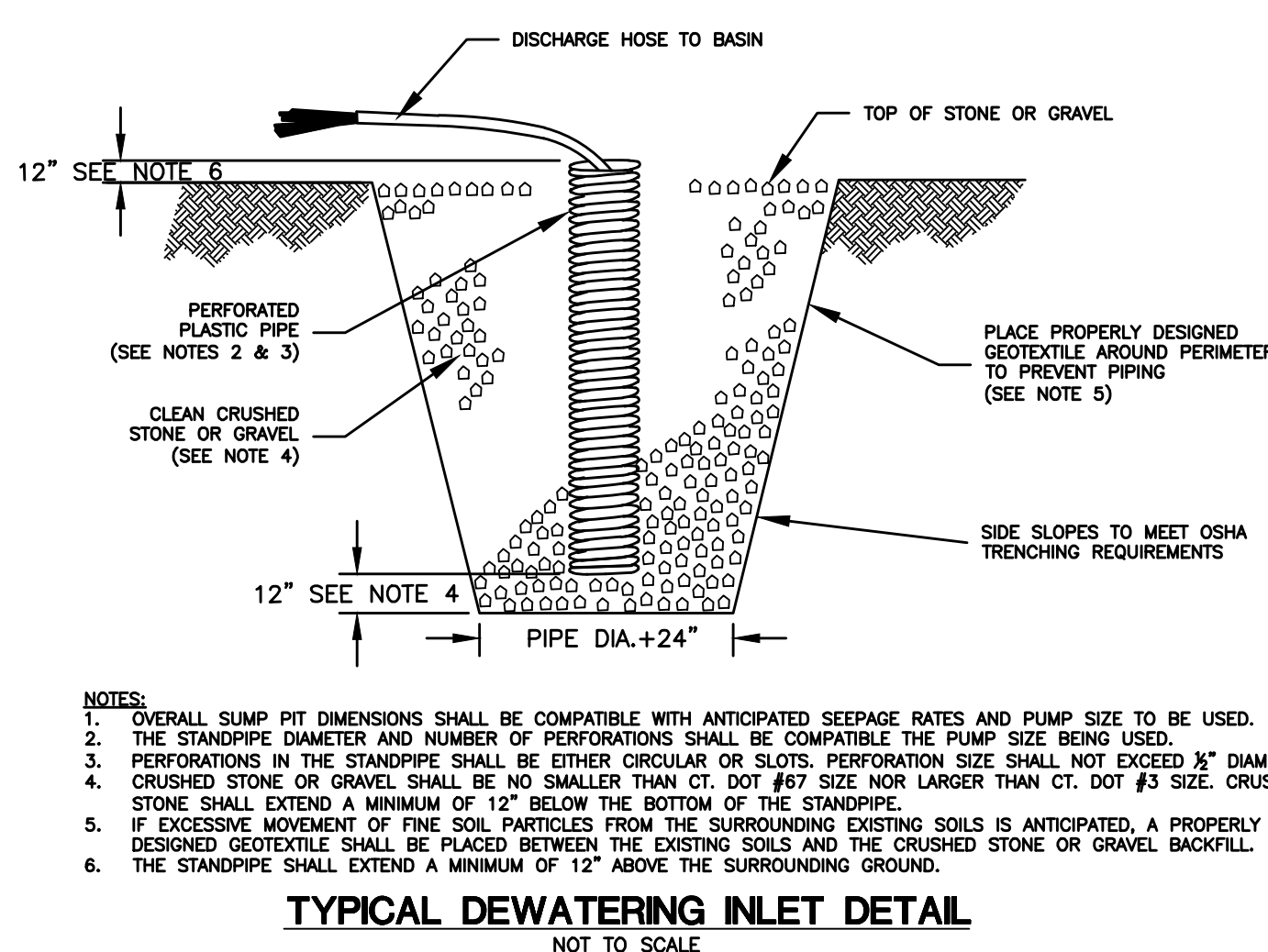
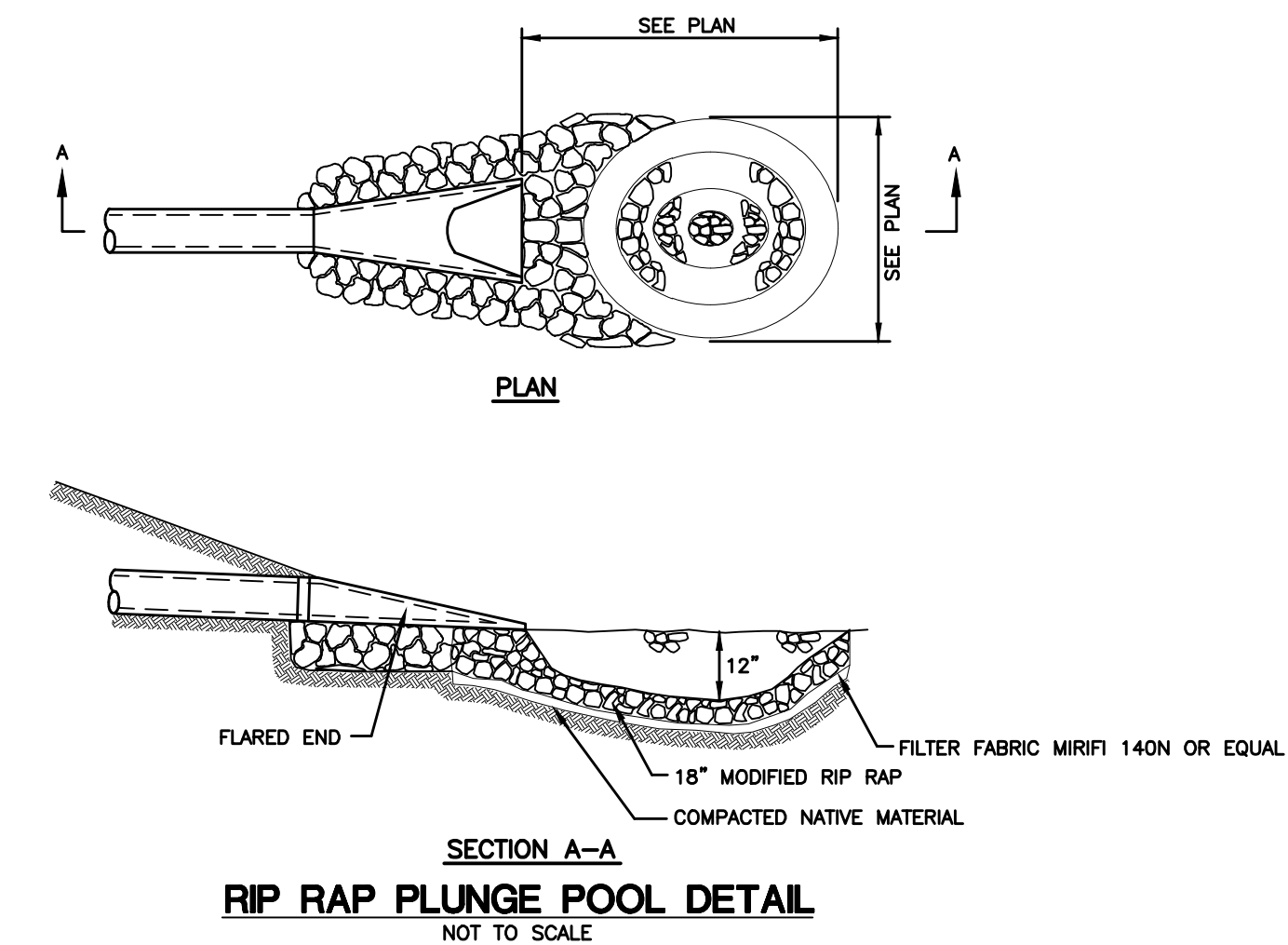
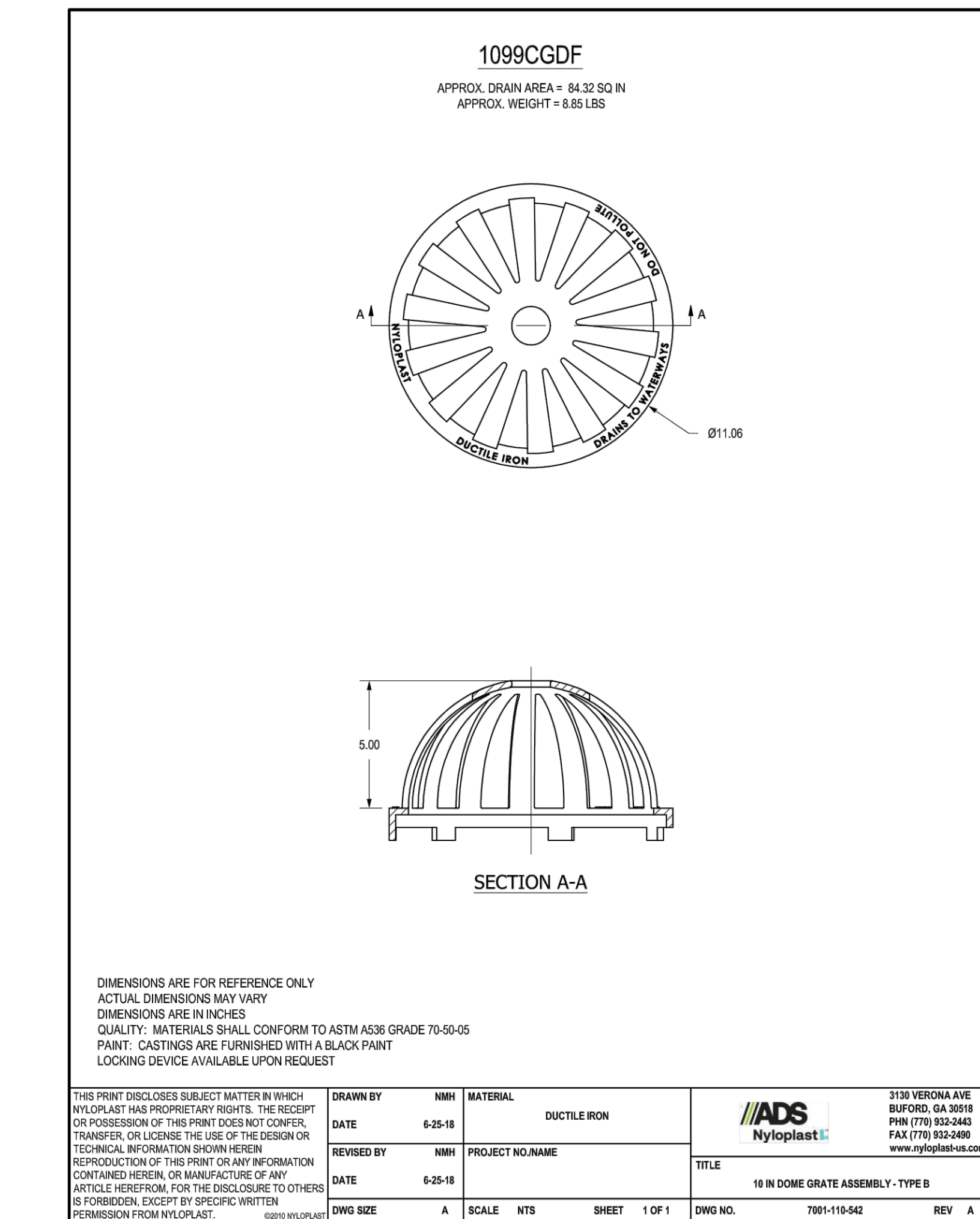
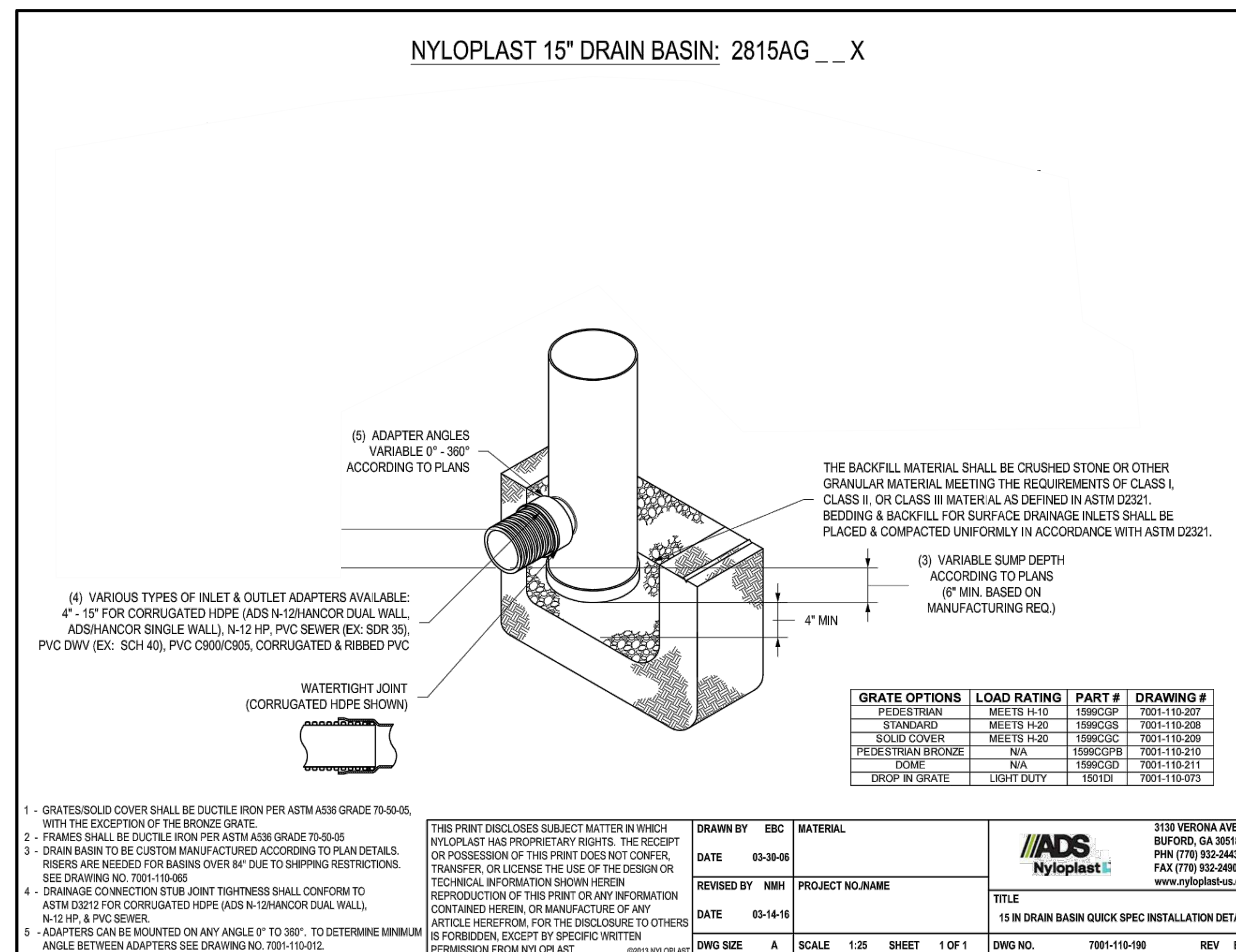
Water Quality Basin Sizing Basin 1		
Sizing in Accordance with Chapter 7.4 of the DEP 2024 Storm Water Quality Manual		
Water Quality Volume (WQV) = (1.3")R(A) / 12		
R = 0.05 + 0.009(I)		
I = percent of impervious cover		
A = watershed area		
Total Watershed Area (Ac.)	1.82	
Watershed Impervious Area (Ac.)	0.30	
I =	16.5%	
R =	0.198	
Required WQV =	0.089	Ac.-Ft
	1,703.6	CF
WQV Provided :	3,100	CF

Water Quality Basin Sizing Basin 2		
Sizing in Accordance with Chapter 7.4 of the DEP 2024 Storm Water Quality Manual		
Water Quality Volume (WQV) = (1.3")R(A) / 12		
R = 0.05 + 0.009(I)		
I = percent of impervious cover		
A = watershed area		
Total Watershed Area (Ac.)	2.17	
Watershed Impervious Area (Ac.)	0.33	
I =	15.2%	
R =	0.187	
Required WQV =	0.044	Ac.-Ft
	1,913.6	CF
WQV Provided :	2,400	CF

Water Quality Basin Sizing Basin 3		
Sizing in Accordance with Chapter 7.4 of the DEP 2024 Storm Water Quality Manual		
Water Quality Volume (WQV) = (1.3")R(A) / 12		
R = 0.05 + 0.009(I)		
I = percent of impervious cover		
A = watershed area		
Total Watershed Area (Ac.)	0.68	
Watershed Impervious Area (Ac.)	0.13	
I =	19.1%	
R =	0.222	
Required WQV =	0.016	Ac.-Ft
	712.6	CF
WQV Provided :	800	CF

Water Quality Basin Sizing Basin 4		
Sizing in Accordance with Chapter 7.4 of the DEP 2024 Storm Water Quality Manual		
Water Quality Volume (WQV) = (1.3")R(A) / 12		
R = 0.05 + 0.009(I)		
I = percent of impervious cover		
A = watershed area		
Total Watershed Area (Ac.)	0.53	
Watershed Impervious Area (Ac.)	0.17	
I =	31.1%	
R =	0.330	
Required WQV =	0.019	Ac.-Ft
	825.8	CF
WQV Provided :	900	CF

Water Quality Basin Sizing Basin 5		
Sizing in Accordance with Chapter 7.4 of the DEP 2024 Storm Water Quality Manual		
Water Quality Volume (WQV) = (1.3")R(A) / 12		
R = 0.05 + 0.009(I)		
I = percent of impervious cover		
A = watershed area		
Total Watershed Area (Ac.)	1.34	
Watershed Impervious Area (Ac.)	0.06	
I =	4.5%	
R =	0.090	
Required WQV =	0.013	Ac.-Ft
	571.0	CF
WQV Provided :	800	CF



NEW ENGLAND WETLAND PLANTS, INC
14 Pearl Lane South Hadley, MA 01075
PHONE: 413-548-8000 FAX 413-549-4000
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New England Erosion Control/Restoration Mix For Detention Basins and Moist Sites

Botanical Name	Common Name	Indicator
<i>Elymus riparius</i>	Riverbank Wild Rye	FACW
<i>Schizachyrium scoparium</i>	Little Bluestem	FACU
<i>Festuca rubra</i>	Red Fescue	FACU
<i>Andropogon gerardii</i>	Big Bluestem	FAC
<i>Panicum virgatum</i>	Switch Grass	FAC
<i>Vernonia noveboracensis</i>	New York Ironweed	FACW+
<i>Agrostis perennans</i>	Upland Bentgrass	FACU
<i>Bidens frondosa</i>	Beggar Ticks	FACW
<i>Eupatorium maculatum (Eutrochium maculatum)</i>	Spotted Joe Pye Weed	OBL
<i>Eupatorium perfoliatum</i>	Boneset	FACW
<i>Aster novae-angliae (Symphyotrichum novae-angliae)</i>	New England Aster	FACW-
<i>Scirpus cyperinus</i>	Wool Grass	FACW
<i>Juncus effusus</i>	Soft Rush	FACW+

APPLY: 35 LBS/ACRE :1250 sq ft/lot

The New England Erosion Control/Restoration Mix for Detention Basins and Moist Sites contains a selection of native grasses and wildflowers designed to colonize generally moist, recently disturbed sites where quick growth of vegetation is desired to stabilize the soil surface. It is an appropriate seed mix for ecologically sensitive restorations that require stabilization as well as long-term establishment of native vegetation. This mix is particularly appropriate for detention basins that do not hold standing water. Many of the plants in this mix can tolerate infrequent inundation, but not constant flooding. The mix may be applied by hand, by mechanical spreader, or by hydro-seeder. After sowing, lightly rake, roll or cultipack to insure good seed-to-soil contact. Best results are obtained with a Spring or late Summer seeding. Late Fall and Winter dormant seeding requires an increase in the application rate. A light mulching of clean, weed-free straw is recommended.

New England Wetland Plants, Inc. may modify seed mixes at any time depending upon seed availability. The design criteria and ecological function of the mix will remain unchanged. Price is 5/bulk pound, FOB warehouse. Plus SH and applicable taxes.

CLA Engineers, Inc. CIVIL • STRUCTURAL • SURVEYING		317 Main Street Norwich, CT 06360 (860) 886-1966 Fax (860) 886-9165	
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