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Via E-mail

November 12, 2025

Town of Monville
Department of Land Use & Development
310 Norwich-New London Turnpike
Uncasville, CT 06382

Attn: Meredith Badalucca
Assistant Planner

RE: Response to Review Comments
Mt. Kineo Builders, LLC
47 Sharp Hill Road, Montville, CT

Dear Ms. Badalucca:

H+H Engineering Associates, LLC (H+H) is in receipt of the following review comments regarding the Subdivision application (Application 25 Sub 7 & 25 SP 1) for the project located at 47 Sharp Hill Road:

1. Staff Technical Review comments dated May 30, 2025.
2. Town Consulting Engineer comments dated October 1, 2025.

Below please find the original review comments, followed by our response in italics:

Staff Technical Review Comments:

1. Per SR 4.3.15 please update plans to include "Passive Solar Energy Techniques as Prescribed by Law Have Been Considered in Development of this Plan."

Response:

This note has been added as Site Note #5 on the Subdivision Development Plan, Drawing SD-1.

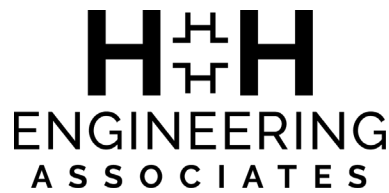
2. Please provide offers of deed per SR 4.7.4 for review and approval by the Town Attorney.

Response:

Deeds will be provided to the town attorney prior to lot development.

3. Per SR 4.7.5, please provide copies of all agreements, restrictive covenants, or other documents governing the use, reservation, or maintenance of all land not to be deeded to the Town, if any.

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2025-0197



Response:

All public space will be deeded to the town.

4. Please provide shared driveway agreement per ZR 4.11.4.1 for review and approval by the Town Attorney.

Response:

The shared driveway agreement will be provided to the town attorney prior to lot development.

5. Per ZR 4.11.4.5, there shall be a minimum of 1.5 times the front yard setback required in the Zoning District from the front lot line to the principle building. Please revise the Zoning Compliance Table, building setback lines and proposed location of structure (if necessary) for proposed lots 5, 8 and 10.

Response:

The Zoning Compliance Table has been updated accordingly. Additionally, the building setback lines and affected buildings have been updated accordingly.

6. Please revised side yard setback on proposed Lot 1 as it is considered a corner lot by ZR definition “Lot, Corner: A lot or parcel of land abutting on two or more streets at their intersection. The front lot line on a corner lot shall be designated as the lot line opposite the front of the structure.”

Response:

The side yard setback line on Lot 1 has been updated accordingly.

7. Please revised the rear and side yard setback on proposed Lot 2 per ZR definition “Lot Line, Rear: A rear lot line is any lot line, other than another front lot line on another street, which is the farthest lot line from the street.”.

Response:

The rear yard setback line on Lot 2 has been updated accordingly.

8. Per ZR 16.3.b.3.c. include “The assessor’s map, block and lot numbers for the subject property and properties within five hundred feet (500’) of the perimeter of the site.

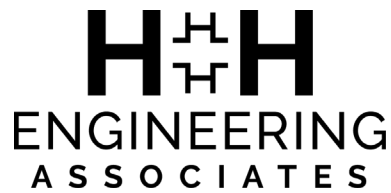
Response:

A list of all abutting properties within 500’ of the perimeter of the site is included herewith.

9. Please provided applicable documents per ZR 16.3.6.h, “Covenants and Restrictions: The applicant shall provide the text of any proposed covenants, easements, deed restrictions, and community organizations necessary to assure the fulfillment of the intent and requirements of these Regulations and Final Development Plan as approved.”

Response:

All legal documents will be provided to the town attorney prior to lot development.



10. Per ZR 16.10.1, please provide a copy of the homeowners association's proposed restrictive covenants for the common open space land.

Response:

The land will be deeded to the town. No Homeowner's Association will be required.

11. Please revise Zoning Compliance Table to indicate correct reduced frontage requirement for a Cluster Development.

Response:

The Zoning Compliance Table has been updated accordingly.

12. Please revise the shared driveway for proposed lots 5, 8 and 10 to not encroach on proposed lot 9.

Response:

The shared driveway for Lots 5, 8 and 10 has been updated accordingly.

13. Please revise site plan to show proposed structures within setback requirements. Proposed lots 1, 2 and 13 show decks and/or stairs outside setbacks.

Response:

The structures on Lots 1, 2 and 13 have been updated accordingly.

Town Consulting Engineer Review Comments:

1. A plan depicting only the proposed public improvements should be provided (similar to the erosion & sedimentation control plan).

Response:

A Plan Entitled, "Public Improvements Plan" has been added to the plan set.

2. The sight line easement over #45 Sharp Hill Road must be conveyed to the Town of Montville with or prior to acceptance of the road.

Response:

Understood, thank you.

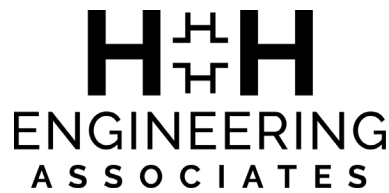
3. The area of total site disturbance, including the lot development should be indicated on the plans.

Response:

The Soil Erosion & Sediment Control Narrative has been updated accordingly.

4. How will individual lots be developed? It appears that grading would be required across multiple lots to facilitate development. More details or a narrative should be provided.

Response:



The developer will also be developing individual lots so cross-grading and stormwater management improvements that span multiple properties will be installed by the developer.

5. The potential lot development along the west side of the road may intercept the groundwater table. Provisions to mitigate groundwater breakout and footing drain discharges should be considered.

Response:

An underdrain has been added along the backside of the western lots, and an underdrain detail has been added to the Stormwater Management Details, Drawing DT-4

6. It appears a diversion berm/swale is proposed to the west of lots 13 and 14 through the open space. More detail of this diversion should be provided including contributing watershed, materials, and sizing. Who will own and maintain this diversion?

Response:

The diversion swale will be constructed of gravel, with permanent check dams. Details for the diversion swale and check dams have been added to the plan set.

7. The new road should be constructed in accordance with the Town Road Standards. The road should be designed as a “Local Street.”

Response:

The roadway has been redesigned in accordance with the Local Street design criteria.

8. The town road cross section detail should be provided on the plans.

Response:

This has been added accordingly.

9. The vertical curve 2+01 to 3+56 does not meet the minimum k-value.

Response:

The roadway has been redesigned in accordance with the Local Street design criteria.

10. Roadway centerline horizontal data should be added to the plan & profile sheet.

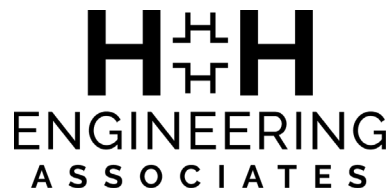
Response:

Horizontal and vertical geometry data have been added accordingly.

11. Snow storage reserve area should be indicated at the turnaround per Section 70E.3 of the Town Road Standards.

Response:

Snow storage areas have been added accordingly.



12. The yard drain system should be eliminated and catch basins proposed at each edge of road.

Response:

The yard drains have been eliminated.

13. Underdrain should be provided along the uphill side of the road.

Response:

Underdrains have been added along the upgradient side of the road and a detail has been added to the Drainage Details, Drawing DT-2,

14. Access must be provided to all levels and structures of the water quality/bioretention basins for future maintenance. A gravel or paved (depending on slope) access drive should be provided for public work equipment and personnel.

Response:

A graded gravel path has been added accordingly.

15. The water quality/bioretention basin area should be fenced off from public access. Gates should be provided for Public Works access.

Response:

A fence and gate have been added accordingly.

16. A section view through the water quality/bioretention basins should be provided.

Response:

A new sheet entitled "Basin X-Section" has been added to the plan set.

17. Will dams be created in water quality/bioretention basins that will require CTDEEP registration & inspection?

Response:

The constructed embankments are all less than 6' (3'-4' in the water quality basin and Basin 'A', and 4'-5' in Basin 'B'), and the maximum drain-down time in the basins is approximately 21 hours. Therefore, it is understood that the basin system will not require a permit from the DEEP.

18. The Stormwater Management Report indicates an unsuitable layer of soil is to be removed from the basin area. This should be indicated in the plan/narrative.

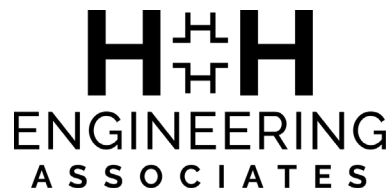
Response:

A note has been added to the Basin X-Section Plan.

19. A catch basin should be provided in Sharp Hill Road, upgrade of the new intersection, over the existing culvert.

Response:

This has been added accordingly.



20. The infiltration trench should be reconsidered. The maintenance and operations will be a burden on the Public Works Staff.

Response:

The infiltration trench has been removed.

21. Street trees should be provided as part of the public improvements.

Response:

New street trees have been added accordingly.

22. Test pit data for the TP#1-TP#9 series should be provided.

Response:

Test Pit data for Test Holes 1-9 have been added to the Stormwater Management Details, Drawing DT-4.

23. References to the 2002 E&S manual on sheet 12 should be changed to 2024.

Response:

References to the 2002 E&S Manual have been replaced with the 2024 Manual.

24. Construction inspection for public improvements will be required in accordance with the Town Road Standards, Section 50.

Response:

This note has been added as Construction Note #11 on the plan set.

25. A bond estimate should be provided.

Response:

Actual construction cost to be provided through site contractor.

26. It appears that the CTDEEP General Permit for the Discharge of Stormwater and Dewatering Wastewaters from Construction Activities will be required. Copies of the registration and inspection reports should be provided to the Town throughout construction.

Response:

The General Permit registration and inspection reports will be provided to the Town as requested.

27. Road monumentation must be installed and reflected on the record plan prior to acceptance.

Response:

Understood, road monumentation will be completed prior to the town's acceptance.

Stormwater Management Report

H+H
ENGINEERING
ASSOCIATES

28. The Town has historically had drainage issues around #19 Sharp Hill Road, including runoff issues and icing in Sharp Hill Road. Impacts to the property and catch basin located within #19 Sharp Hill Road and to Sharp Hill Road from the proposed development should be evaluated.

Response:

The new catch basin in the street will help to collect and convey stormwater to reduce the potential for ponding/icing downgradient of the development.

29. The report refers to a site property manager. Will there be a Homeowners Association and property manager that maintains the development?

Response:

No, it has been decided that all public improvements will be deeded to the town..

30. The conclusion statement refers to Lebanon.

Response:

This has been updated accordingly.

If you have any questions, please feel free to contact me at 860-980-8008 (office) or 413-579-4488 (mobile).

Sincerely,

H+H Engineering Associates, LLC



Seamus Moran, P.E.
Principal

11/12/2025

Date