

C-1 / RT 32 OZ DISTRICT
MAP 70 LOT 010-000

PROPOSED 22 UNIT CONDOMINIUM DEVELOPMENT

245 NORWICH-NEW LONDON ROAD
(CT ROUTE 32)
MONTVILLE, CONNECTICUT

APPLICANT
WESTERN GROUP, LLC
338 Westport Road
Wilton, CT

OWNER
Wilton Holdings, LLC
338 Westport Road
Wilton, CT

DRAWING LIST

SITE/CIVIL DRAWINGS

SHEET NO.	SHEET NAME	PLAN DATE	LATEST REVISION
C-0	COVER SHEET	01/25/22	03/13/26
	IMPROVEMENT LOCATION PLAN	01/07/22	02/10/26
C-2.1	SITE LAYOUT PLAN	01/25/22	03/13/26
C-2.2	PHASING PLAN	01/25/22	03/13/26
C-3.1	GRADING, DRAINAGE PLAN	01/25/22	03/13/26
C-3.2	UTILITY PLAN	01/25/22	03/13/26
C-4.1	SOIL EROSION & SEDIMENT CONTROL PLAN	01/25/22	03/13/26
C-4.2	SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS	01/25/22	03/13/26
C-5.1	LANDSCAPE & LIGHTING PLAN	01/25/22	03/13/26
C-6.1	DETAIL SHEET	01/25/22	03/13/26
C-6.2	DETAIL SHEET	01/25/22	03/13/26
C-6.3	DETAIL SHEET	01/25/22	03/13/26
C-6.4	DETAIL SHEET CT-DOT	01/25/22	03/13/26

ARCHITECTURAL DRAWINGS (Not submitted for Site Plan Modification)

1	ELEVATIONS UNITS 1 - 5	03/10/22	03/10/22
2	ELEVATIONS UNITS 10-22	03/10/22	03/10/22
3	BASEMENT & FIRST FLOOR	03/10/22	03/10/22
4	SECOND FLOOR & ROOF	03/10/22	03/10/22
5	TYP ELEVATIONS	03/10/22	03/10/22
6	SECTIONS	03/10/22	03/10/22

APPROVED BY THE MONTVILLE INLAND WETLAND COMMISSION

CHAIRMAN _____ DATE _____

APPROVED BY THE MONTVILLE PLANNING AND ZONING COMMISSION

CHAIRMAN _____ DATE _____

EXPIRATION DATE _____

SEC PLAN APPROVAL DATE _____

THIS DRAWING IS THE PROPERTY OF THE ENGINEER. IT HAS BEEN SPECIFICALLY PREPARED FOR THE OWNER FOR THIS PROJECT AT THIS SITE AND IS NOT TO BE USED FOR ANY OTHER PURPOSE, LOCATION OR OWNER WITHOUT WRITTEN CONSENT OF THE ENGINEER.



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WILTON'S WAY
22 UNIT CONDOMINIUM DEVELOPMENT
245 NORWICH-NEW LONDON ROAD (RT 32)
MONTVILLE, CONNECTICUT
PREPARED FOR
WESTERN GROUP, LLC

Job Number:
FE22-1700

Job Start Date:
1/4/22

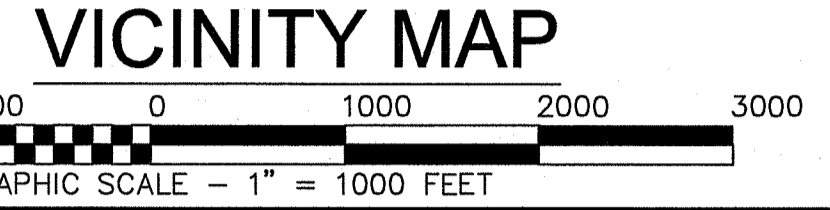
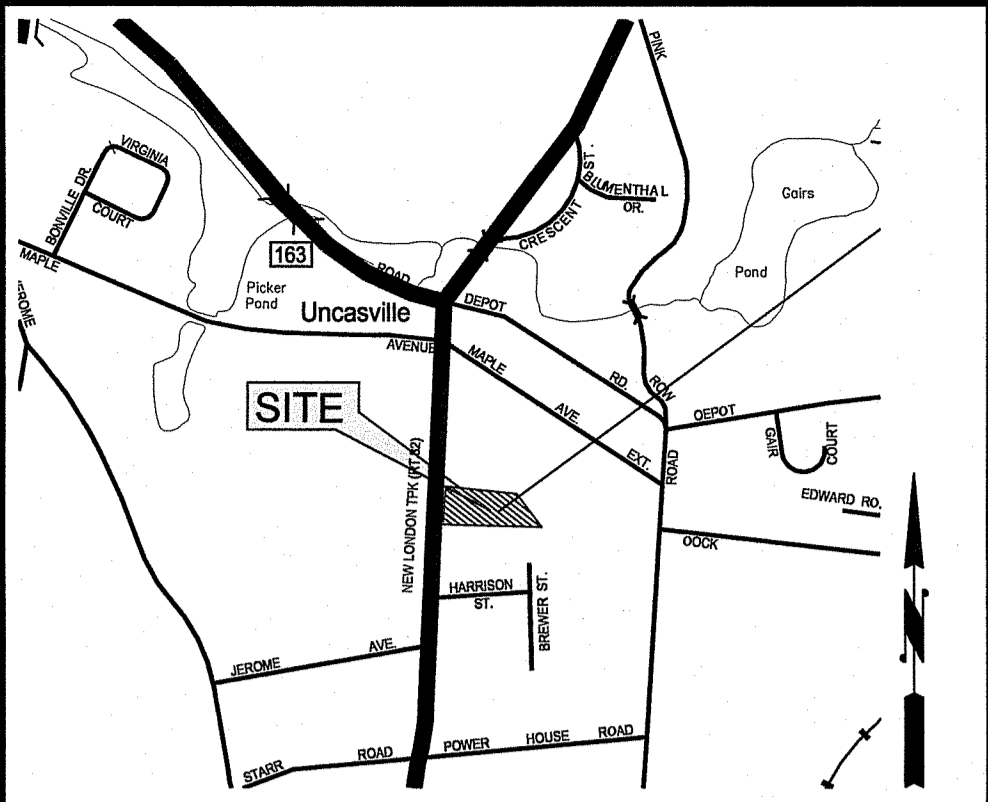
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San Sewer/Water	03/14/24
Eversource Easement	08/05/24
Eversource Comments	09/24/24
Siteplan Modification	02/10/26
Staff Comments	02/13/26
Staff Comments	03/13/26

Drawn By: Checked By:
D.R.R. J.E.Q.

Sheet Title:
COVER SHEET

Scale:

Sheet Number:
C-0



SANITARY TIE CHART

Structure	Desc.	Tie Dist.	Tie Dist.
1	Elbow	A 13.7	B 18.2
2	Main C.O.	A 13.7	B 16.3
3	Lat. C.O.	B 10.6	C 15.6
4	Lat. C.O.	D 9.7	E 15.2
5	Lat. C.O.	F 10	G 14.9
6	Lat. C.O.	H 10.3	I 15.2
7	Main C.O.	I 13.3	J 14.5
8	Lat. C.O.	J 9.4	K 14.4
9	Lat. C.O.	L 9.6	M 14.4
10	Main C.O.	L 21.8	M 15.1

DEVELOPMENT STANDARDS C-1 OZ

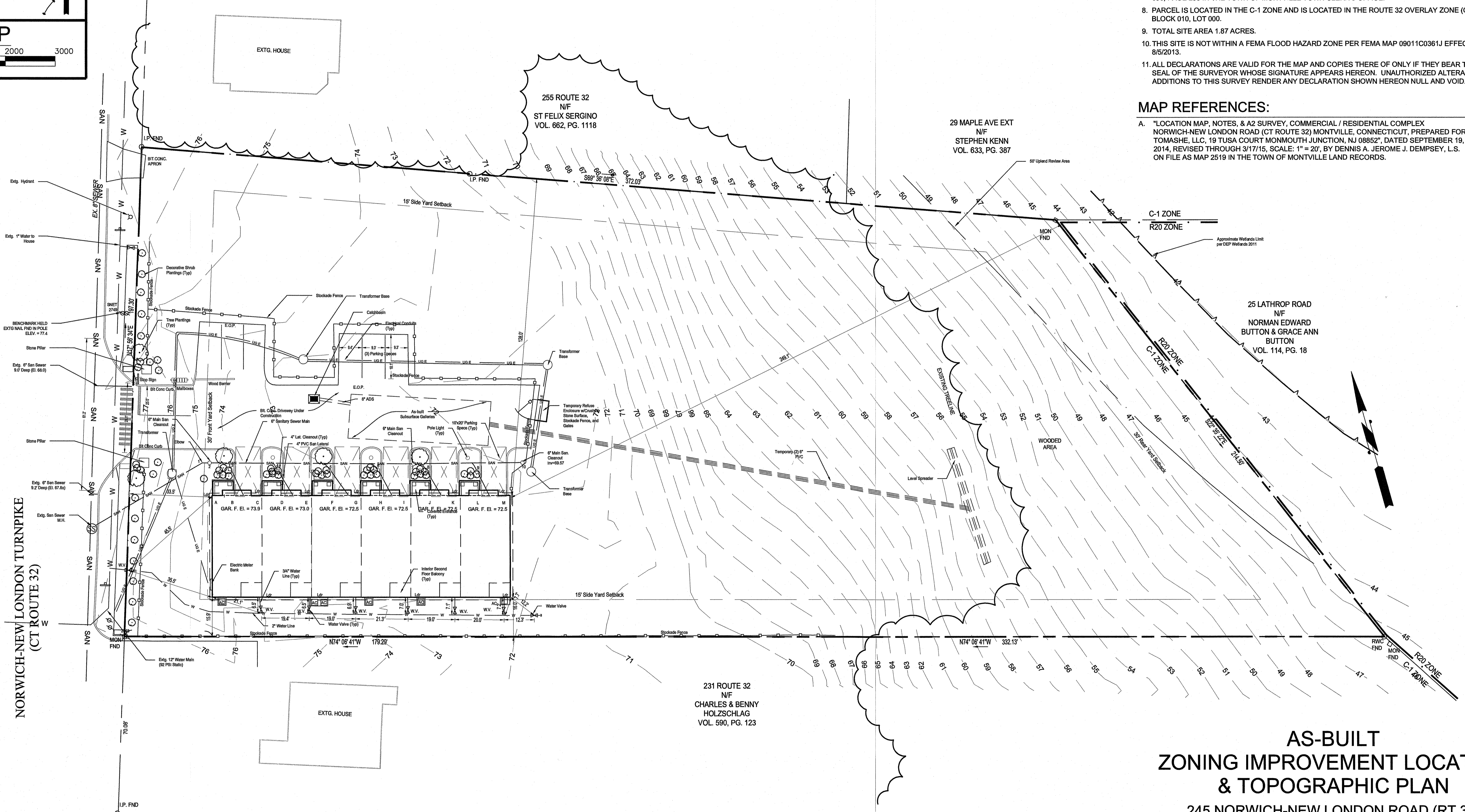
STANDARD	REQUIREMENT	EXISTING	PROPOSED	AS-BUILT	COMMENTS
Minimum Lot Area	10000	79607	No Change	No Change	
Minimum Lot Frontage	80	197.3	No Change	No Change	
Minimum Building Setbacks					
Front Yard	30 Ft.	66.9 Ft.	30.5 Ft.	33.5 Ft.	
Side Yard (to Commercial Zone)	15 Ft.	15 Ft.	15.8 Ft.	128.0 Ft.	
Rear Yard (to Residential Zone)	30 Ft.	181.3 Ft.	N/A	N/A	
Maximum Height	30 Ft.	181.3 Ft.	101.2 Ft.	249.1 Ft.	
Building Coverage	No Limit	N/A	N/A	N/A	
Lot Coverage (Total Impervious)		3.0%	22.8%	6.7%	
		3.0%	50.3%	14.3%	

Parking (Phase 1)

	Requirement	Unit	Required	Provided
Condominium Units (Sect 14A.3.d)	2.5 Per Unit	6	15	
Garage				6
Front of garage				6
Additional Parking				0
Guest Parking	3 Per 10 Units	0	3	3
Total Parking Provided			18	15

- NOTES:**
- THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300B-1 THRU 20-300B-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. AND ADOPTED ON SEPT. 26, 1996, AMENDED ON OCTOBER 26, 2018.
 - THE TYPE OF SURVEY PERFORMED WITH RESPECT TO THE BOUNDARY PERIMETER IS IMPROVEMENT LOCATION MAP. THE PURPOSE OF THIS MAP IS A PROGRESS AS-BUILT TO RECORD THE CURRENT SITE PHASE ONE IMPROVEMENTS DURING CONSTRUCTION AS OF THE DATE OF THIS MAP.
 - THE BOUNDARY DETERMINATION CATEGORY IS DEPENDENT RESURVEY (SEE MAP REFERENCE).
 - WITH RESPECT TO HORIZONTAL ACCURACY, THIS MAP CONFORMS TO AN ACCURACY CLASS A-2.
 - WITH RESPECT TO VERTICAL ACCURACY, THIS MAP CONFORMS TO AN ACCURACY CLASS T-D.
 - UTILITY, STRUCTURES, AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, BY FIELD LOCATIONS OF OBSERVABLE STRUCTURES AND PAINTED MARKINGS. THE ACTUAL LOCATION AND SIZE OF UNDERGROUND UTILITIES SHOWN HEREON MAY NOT BE INDICATED. ADDITIONAL UNDERGROUND UTILITIES MAY EXIST. PRIOR TO EXCAVATION OR CONSTRUCTION, CONTACT "CALL BEFORE YOU DIG", (800) 922-4455.
 - OWNER OF RECORD: WILTON'S HOLDINGS, LLC, 338 WESTPORT ROAD, WILTON, CT. RECORDED IN VOLUME 696, PAGE 298 IN THE TOWN OF MONTVILLE TOWN CLERK'S OFFICE.
 - PARCEL IS LOCATED IN THE C-1 ZONE AND IS LOCATED IN THE ROUTE 32 OVERLAY ZONE (OZ) ON MAP 070, BLOCK 010, LOT 000.
 - TOTAL SITE AREA 1.87 ACRES.
 - THIS SITE IS NOT WITHIN A FEMA FLOOD HAZARD ZONE PER FEMA MAP 09011C0361J EFFECTIVE DATE 8/5/2013.
 - ALL DECLARATIONS ARE VALID FOR THE MAP AND COPIES THERE OF ONLY IF THEY BEAR THE EMBOSSED SEAL OF THE SURVEYOR WHOSE SIGNATURE APPEARS HEREON. UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS SURVEY RENDER ANY DECLARATION SHOWN HEREON NULL AND VOID.

- MAP REFERENCES:**
- "LOCATION MAP, NOTES, & A2 SURVEY, COMMERCIAL / RESIDENTIAL COMPLEX NORWICH-NEW LONDON ROAD (CT ROUTE 32) MONTVILLE, CONNECTICUT, PREPARED FOR TOMASHE, LLC, 19 TUSA COURT MONMOUTH JUNCTION, NJ 08852", DATED SEPTEMBER 19, 2014, REVISED THROUGH 3/17/15, SCALE: 1" = 20', BY DENNIS A. JEROME J. DEMPSEY, L.S. ON FILE AS MAP 2519 IN THE TOWN OF MONTVILLE LAND RECORDS.



**AS-BUILT
ZONING IMPROVEMENT LOCATION
& TOPOGRAPHIC PLAN**
245 NORWICH-NEW LONDON ROAD (RT 32)
MONTVILLE, CONNECTICUT

PREPARED FOR:
WILTON'S HOLDINGS, LLC
SCALE 1" = 20' 7 JANUARY 2022
FE22-1700

THIS MAP IS NOT VALID UNLESS IT HAS A LIVE SIGNATURE AND EMBOSSED SEAL OF KEVIN M. CROWLEY.

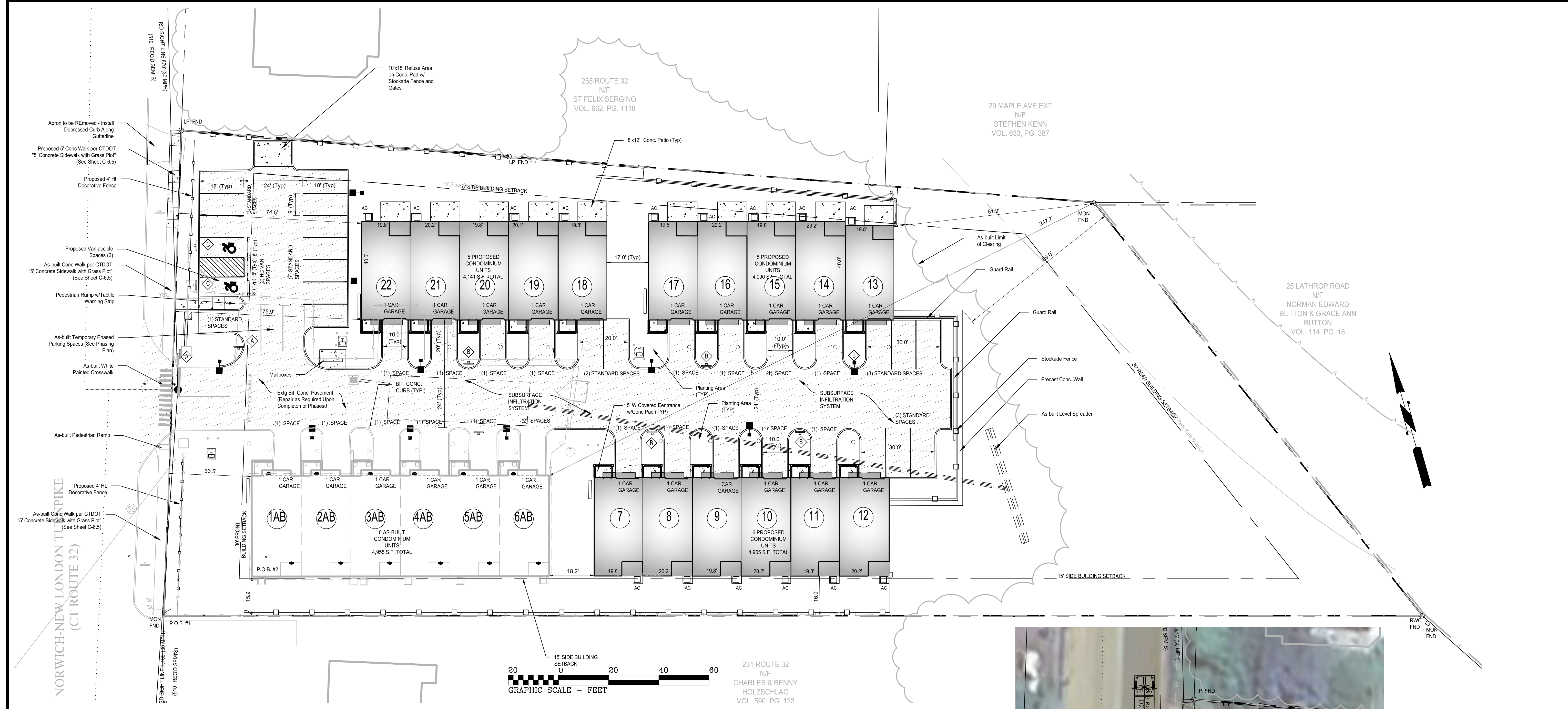
TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT TO THE STANDARDS OF CLASS "A2" AS NOTED HEREON.

KEVIN M. CROWLEY
R.L.S. # 70261

Rev	Date	Description
5	2/10/2026	AB Topo
4	6/4/2025	Phase 1 AB - Modifications
3	5/13/2025	Full Phase 1 As-built
2	4/24/2025	San Ties
1	3/19/2025	AB Utilities

**FULLER ENGINEERING
& LAND SURVEYING**

525 JOHN STREET
BRIDGEPORT, CT.
PH. 203-333-9465
EMAIL: INFO@FULLERSURVEYORS.COM



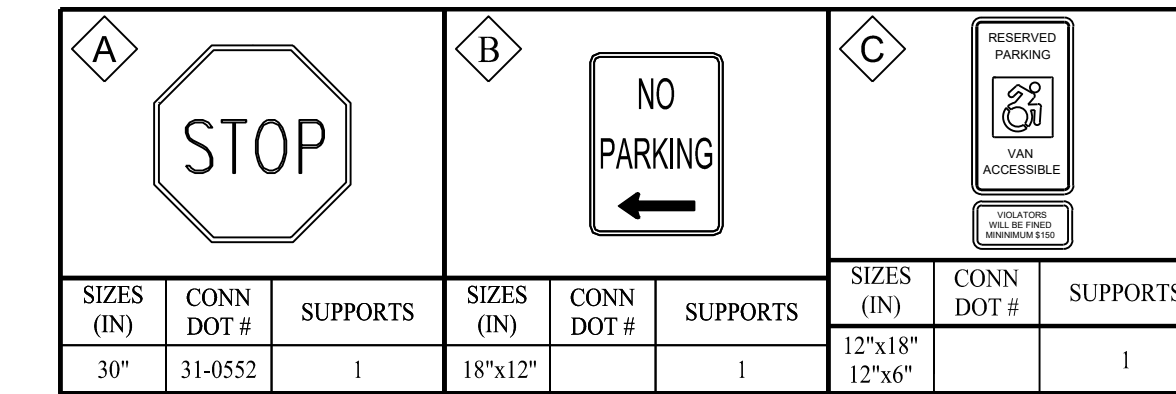
MAP REFERENCES:

- A. "AS-BUILT ZONING IMPROVEMENT LOCATION AND TOPOGRAPHIC SURVEY", DATED 10 FEBRUARY 2026, SCALE 1"=20', BY FULLER ENGINEERING AND LAND SURVEYING, LLC.
- B. "ZONING IMPROVEMENT LOCATION AND TOPOGRAPHIC SURVEY", DATED 7 JANUARY 2022, SCALE 1"=20', BY FULLER ENGINEERING AND LAND SURVEYING, LLC.

NOTES:

- THIS PLAN IS FOR THE PROPOSED CONDOMINIUM BUILDINGS WITH PARKING CONSTRUCTION, SITE UTILITIES, AND MISCELLANEOUS LANDSCAPING. THIS PLAN IS NOT TO BE USED AS A SITE OR CONSTRUCTION PLAN. ADDITIONAL DESIGN AND DETAILS REQUIRED FOR BIDDING AND CONSTRUCTION.
- LOCATION OF EXISTING OUT STRUCTURES, AND TOPOGRAPHY WERE OBTAINED FROM A SURVEY TITLED "ZONING IMPROVEMENT LOCATION & TOPOGRAPHIC PLAN, 245 NORWICH-NEW LONDON ROAD (RT32) MONTVILLE, CONNECTICUT, PREPARED FOR WESTERN GROUP, LLC", DATED 7 JANUARY 2022, SCALE 1"=10', BY FULLER ENGINEERING & LAND SURVEYING LLC.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS, METHODS AND SEQUENCES OF CONSTRUCTION AND FOR THE SAFETY OF WORKERS AND OTHERS ON THE CONSTRUCTION SITE.
- THE CONTRACTOR SHALL LOCATE AND VERIFY THE SIZE, LOCATION, DEPTH AND INVERTS OF ANY AND ALL EXISTING UTILITIES PRIOR TO COMMENCING OPERATIONS. THE CONTRACTOR SHALL ALSO BE REQUIRED TO CONTACT THE ZONING DEPARTMENT, FIRE MARSHALL, AND THE TOLL FREE "CALL-BEFORE-YOU-DIG" PHONE NUMBER AT 1-800-922-4455.
- THE PROPOSED DEVELOPMENT SHOWN HEREON WILL REQUIRE REVIEW AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT PER THE REQUIREMENTS OF THE 2002 CT E&S GUIDELINES.
- RESTORE ALL DISTURBED AREAS WITH A MINIMUM OF FOUR (4") INCHES OF TOPSOIL, SEED, AND HAY MULCH UPON COMPLETION OF CONSTRUCTION.
- LOT SERVED BY TOWN SEWER SYSTEM AND PUBLIC WATER SUPPLY.
- THIS SITE IS NOT WITHIN A FEMA FLOOD HAZARD ZONE PER FEMA MAP 09011C0361J EFFECTIVE DATE 8/5/2013.
- CLEARING LIMIT LINE SHALL BE ESTABLISHED PRIOR TO ANY SITE WORK ACTIVITIES.

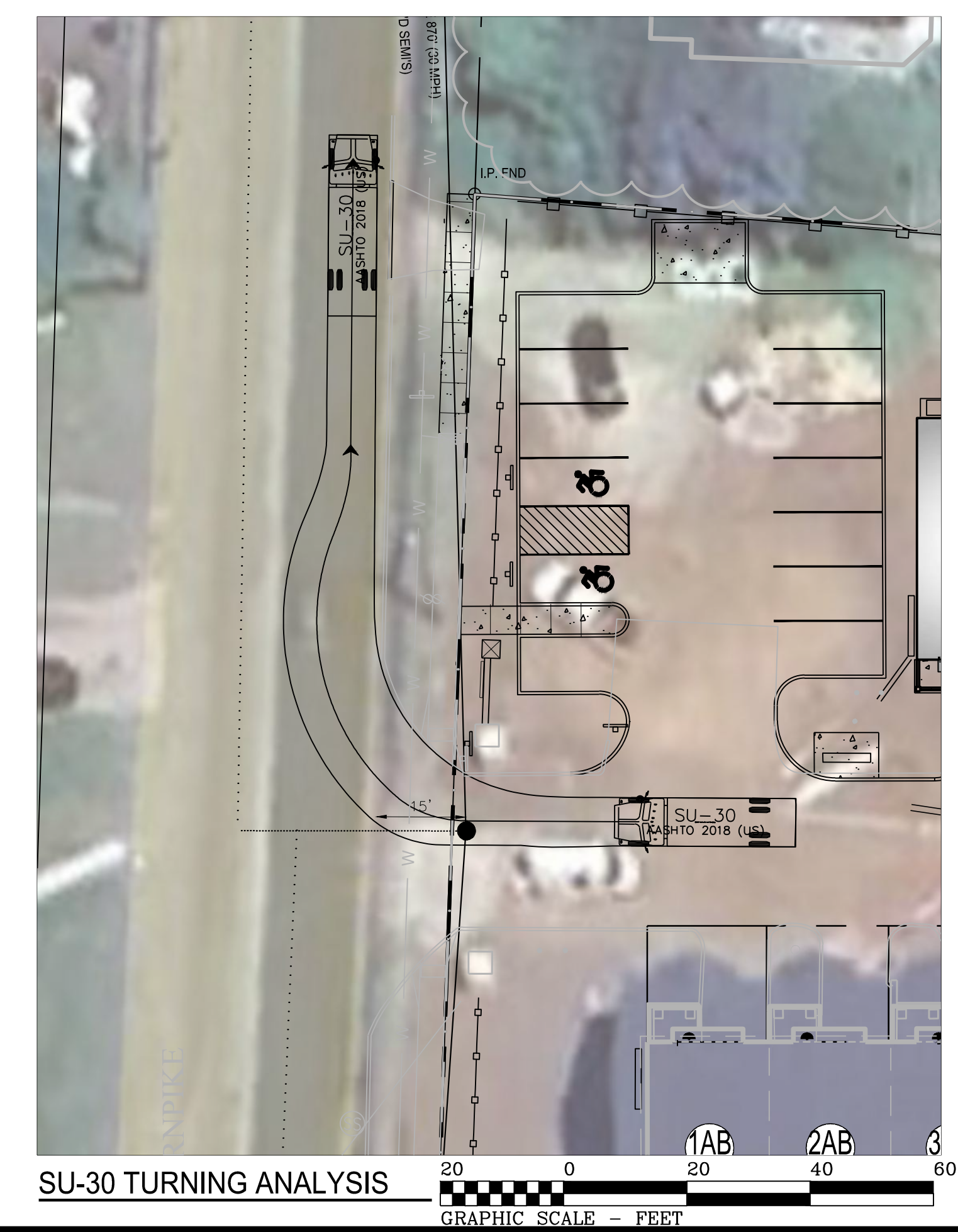
SIGN LEGEND



Parking	Requirement	Unit	Required	Provided
Condominium Units (Sect 14A.3.d)	2.5 Per Unit	22	55	
Garage				22
Front of garage				22
Additional Parking				11
Guest Parking	3 Per 10 Units	22	7	7
Total Parking Provided			62	62

	Standard Spaces	9'x18'	Regulation
Parallel Spaces	10'x20'		18.2.1
Handicap Van Spaces	16'x18'		
Front of Garage Spaces	10' Min x 20' Min.		18.3.2

DEVELOPMENT STANDARDS C-1 OZ Zone District				
STANDARD	REQUIREMENT	EXISTING	PROPOSED	COMMENTS
Minimum Lot Area	10000	79607	No Change	
Minimum Lot Frontage	80	197.3	No Change	
Minimum Building Setbacks				
Front Yard	30 Ft.	33.5 ft	33.5 ft	
Side Yard (to Commercial Zone)	15 Ft.	15.9 ft	15.7 ft	
Rear Yard (to Residential Zone)	30 Ft.	247.7 Ft.	N/A	
Rear Yard	30 Ft.	247.7 Ft.	81.9	
Maximum Height	No Limit	N/A	N/A	
Building Coverage		6.2%	22.8%	Phase 1 Complete
Lot Coverage (Total Impervious)		13.8%	34.9%	Phase 1 Complete



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WILTON'S WAY
22 UNIT CONDOMINIUM DEVELOPMENT
 245 NORWICH-NEW LONDON ROAD (RT 32)
 MONTVILLE, CONNECTICUT
 PREPARED FOR
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Job Number:
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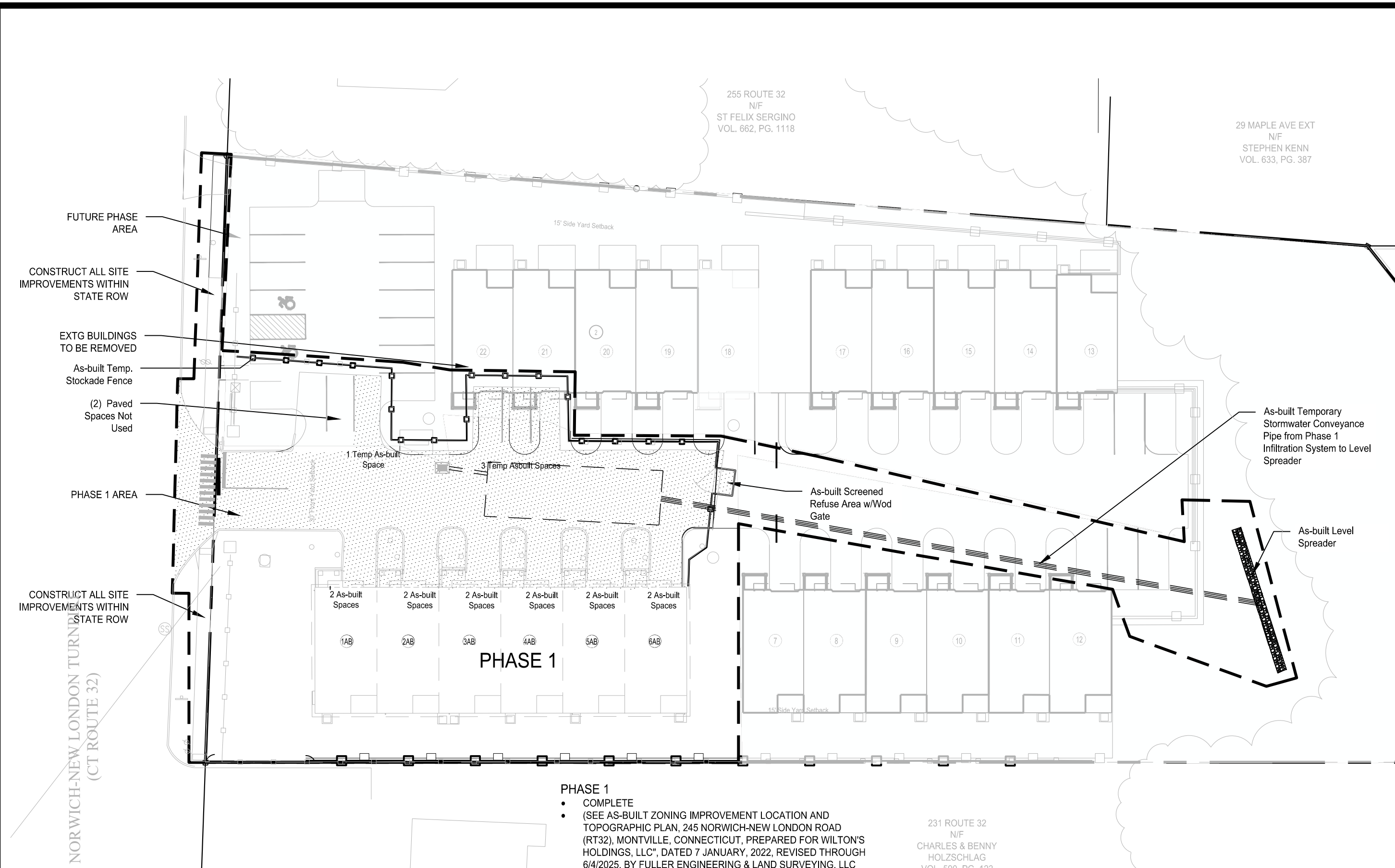
Drawn By: Checked By:
D.R.R. J.E.Q.

Sheet Title:
PROPOSED SITE PLAN

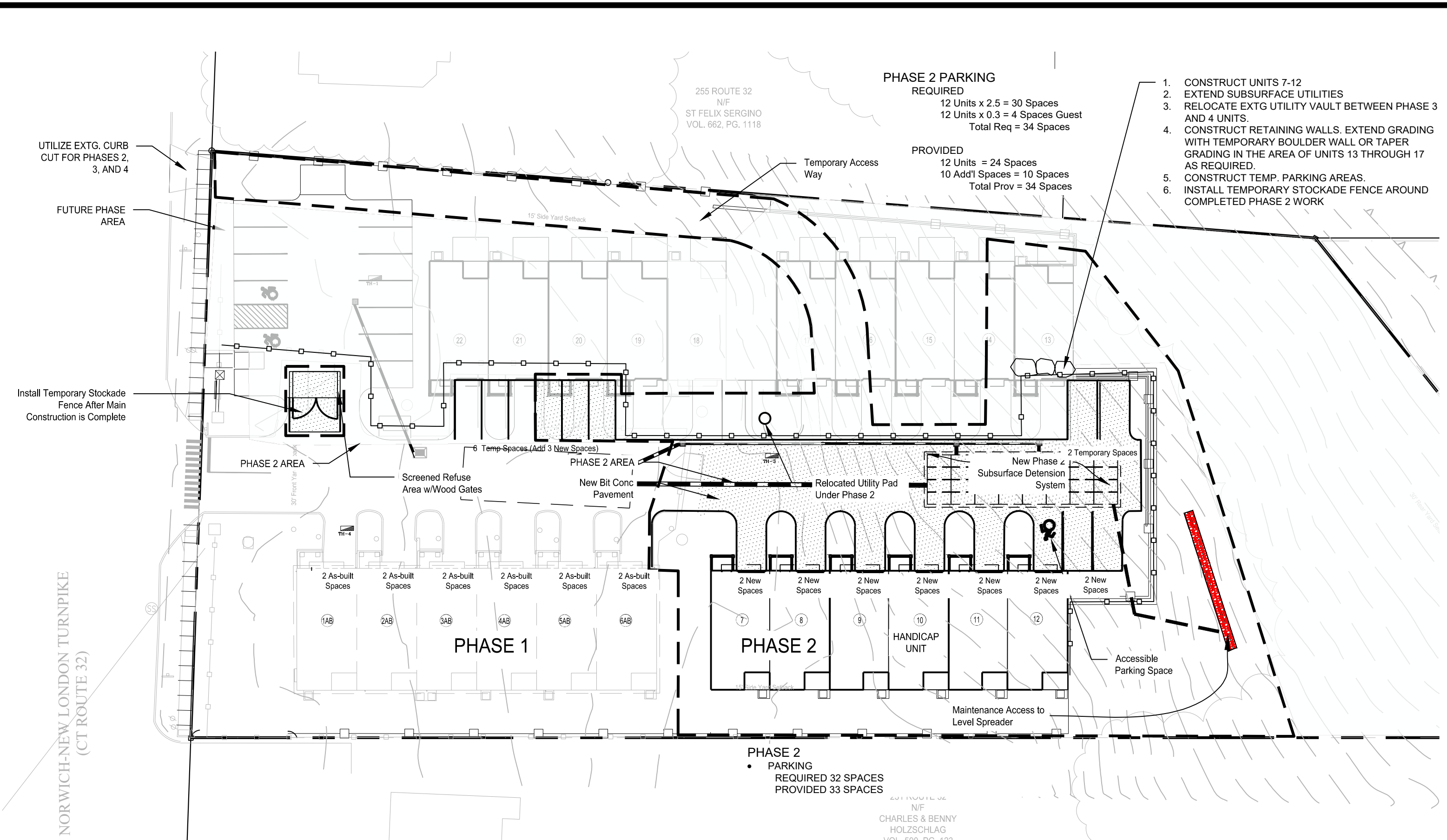
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1" = 20'

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C-2.1

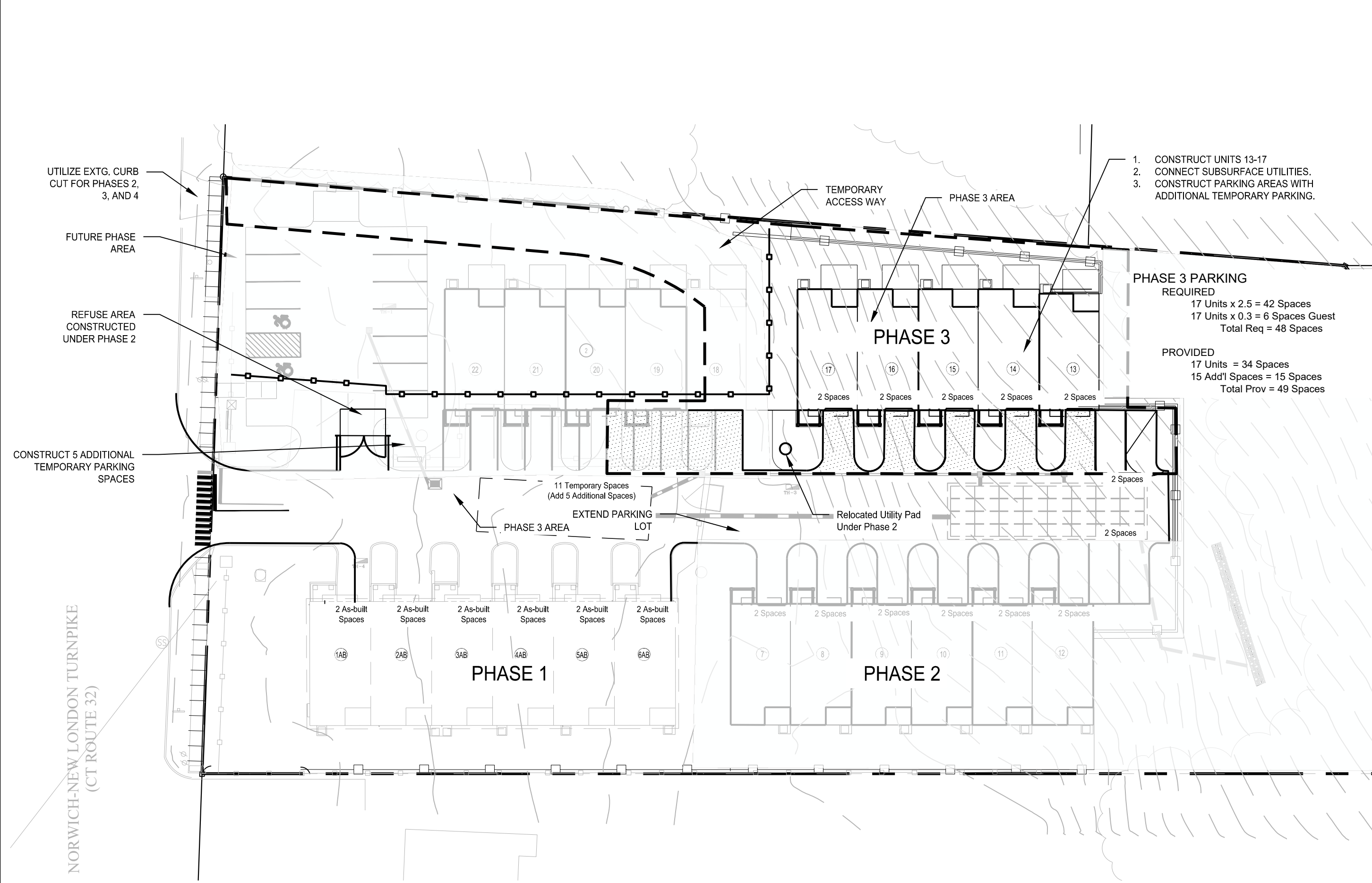
APPROVED BY THE MONTVILLE INLAND WETLAND COMMISSION
 CHAIRMAN _____ DATE _____
 APPROVED BY THE MONTVILLE PLANNING AND ZONING COMMISSION
 CHAIRMAN _____ DATE _____
 EXPIRATION DATE _____
 SEC PLAN APPROVAL DATE _____



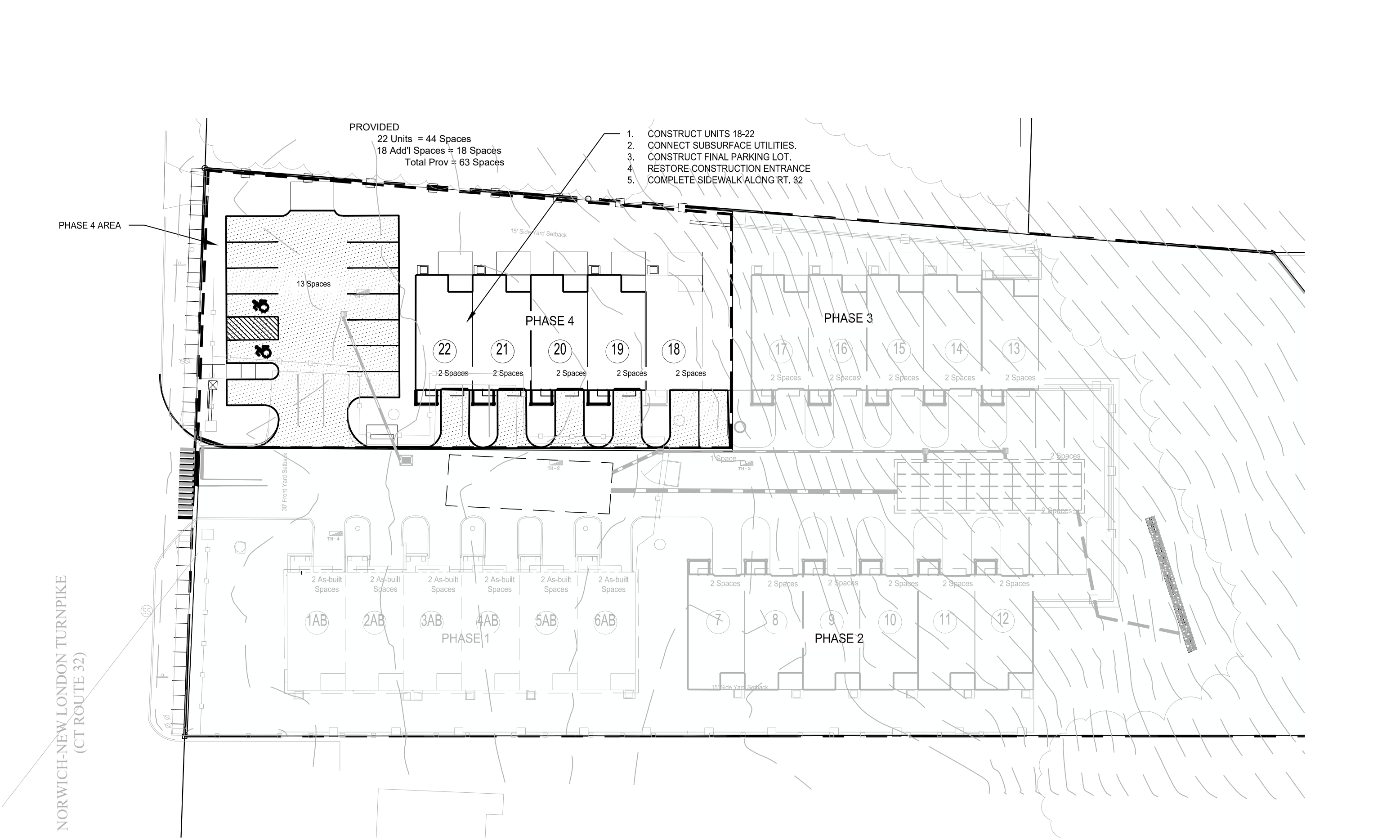
PHASE 1 - COMPLETE



PHASE 2



PHASE 3



PHASE 4

255 ROUTE 32
N/F
ST FELIX SERGINO
VOL. 062, PG. 1118

29 MAPLE AVE EXT
N/F
STEPHEN KEIN
VOL. 633, PG. 387

255 ROUTE 32
N/F
ST FELIX SERGINO
VOL. 062, PG. 1118

231 ROUTE 32
N/F
CHARLES & BENNY
HOLZSCHLAG
VOL. 061, PG. 194

255 ROUTE 32
N/F
ST FELIX SERGINO
VOL. 062, PG. 1118

255 ROUTE 32
N/F
ST FELIX SERGINO
VOL. 062, PG. 1118

255 ROUTE 32
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PHASING PLAN

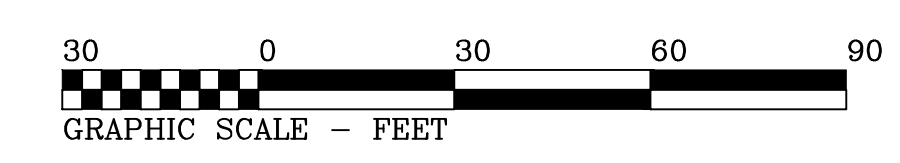
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C-2.2

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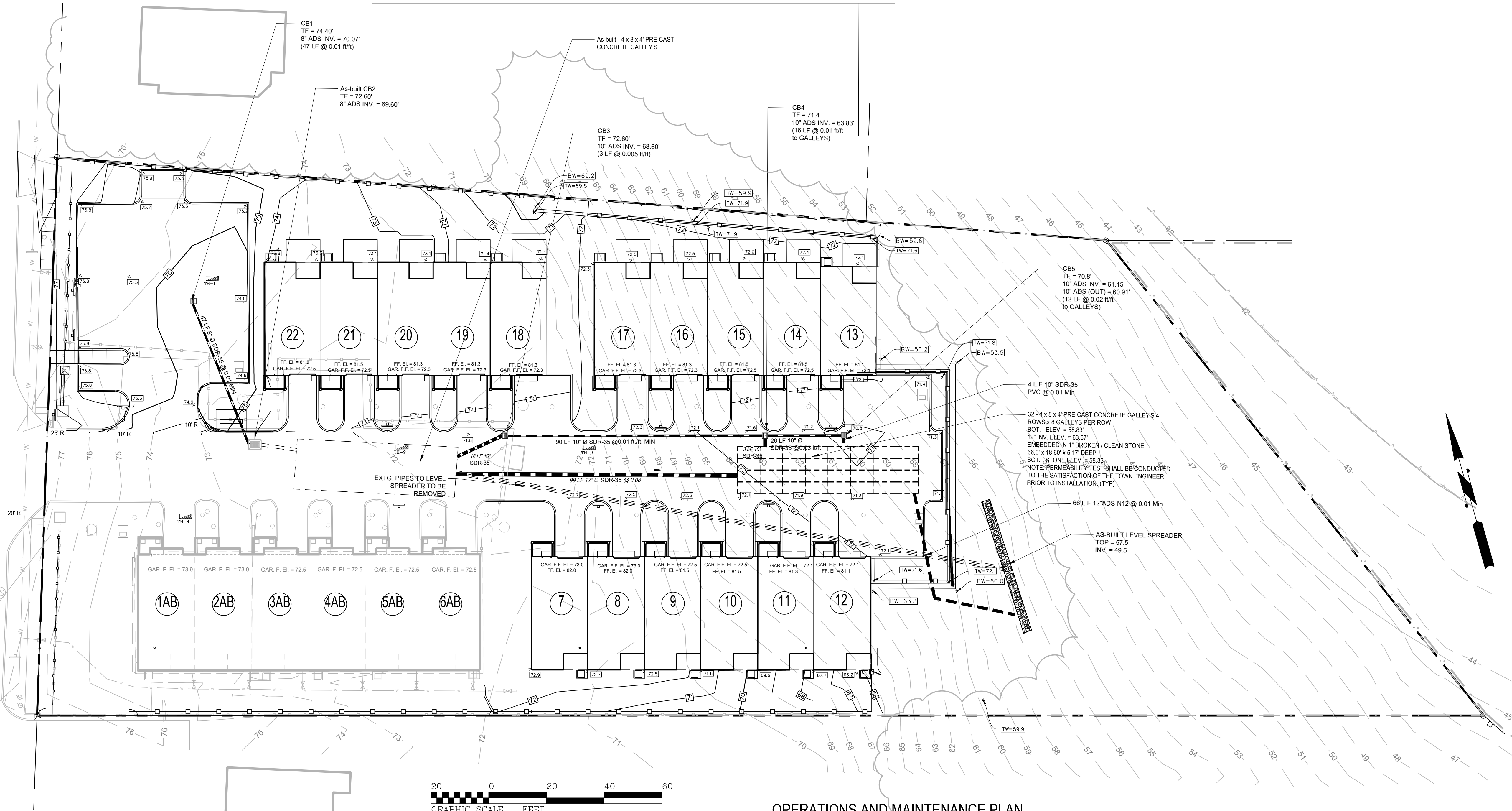
FULLER ENGINEERING & LAND SURVEYING
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WILTON'S WAY
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245 NORWICH-NEW LONDON ROAD (RT 32)
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APPROVED BY THE MONTVILLE INLAND WETLAND COMMISSION
CHAIRMAN _____ DATE _____
APPROVED BY THE MONTVILLE PLANNING AND ZONING COMMISSION
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NORWICH-NEW LONDON TURNPIKE
(CT ROUTE 32)



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- B. "ZONING IMPROVEMENT LOCATION AND TOPOGRAPHIC SURVEY", DATED 7 JANUARY 2022, SCALE 1"=20', BY FULLER ENGINEERING AND LAND SURVEYING, LLC.

NOTES:

- THIS PLAN IS FOR THE PROPOSED GRADING AND DRAINAGE FOR THE CONSTRUCTION OF A RESIDENTIAL DEVELOPMENT WITH PARKING, AND MISCELLANEOUS LANDSCAPING ALONG THE CT ROUTE 32. THIS PLAN IS NOT TO BE USED AS A SITE OR CONSTRUCTION PLAN. ADDITIONAL DESIGN AND DETAILS REQUIRED FOR BIDDING AND CONSTRUCTION.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS, METHODS AND SEQUENCES OF CONSTRUCTION AND FOR THE SAFETY OF WORKERS AND OTHERS ON THE CONSTRUCTION SITE.
- THE CONTRACTOR SHALL LOCATE AND VERIFY THE SIZE, LOCATION, DEPTH AND INVERTS OF ANY AND ALL EXISTING UTILITIES PRIOR TO COMMENCING OPERATIONS. THE CONTRACTOR SHALL ALSO BE REQUIRED TO CONTACT THE TOLL FREE "CALL-BEFORE-YOU-DIG" PHONE NUMBER AT 1-800-922-4455.
- THE PROPOSED DEVELOPMENT SHOWN HEREON WILL REQUIRE REVIEW AND APPROVAL BY THE MONTVILLE BUILDING DEPARTMENT, ZONING DEPARTMENT, AND FIRE MARSHAL'S OFFICE.
- ALL WORK PERFORMED BY THE OWNER / DEVELOPER MUST INCLUDE IMPLEMENTATION OF AN APPROVED SOIL EROSION AND SEDIMENTATION PLAN IN ACCORDANCE WITH PUBLIC ACT No. 83-388 [PASSED BY THE CONNECTICUT GENERAL ASSEMBLY]. THE OWNER / DEVELOPER SHALL BE THOROUGHLY FAMILIAR WITH THE 2002 CONNECTICUT EROSION & SEDIMENTATION GUIDELINES.
- RESTORE ALL DISTURBED AREAS WITH A MINIMUM OF FOUR (4") INCHES OF TOPSOIL, SEED, AND HAY MULCH UPON COMPLETION OF CONSTRUCTION.
- LOT SERVED BY TOWN SEWER SYSTEM AND PUBLIC WATER SUPPLY.
- ALL EXISTING UTILITY LINES THAT WILL BE DISCONNECTED MUST BE CAPPED OR TERMINATED ACCORDING TO THE TOWN OF MONTVILLE AND UTILITY COMPANY STANDARDS.
- FINAL RETAINING WALL SYSTEM TO BE DESIGNED AND INSPECTED BY A CONNECTICUT LICENSED ENGINEER. STRUCTURAL DETAILS TO BE SUBMITTED TO THE SATISFACTION OF THE TOWN BUILDING INSPECTOR PRIOR TO ISSUANCE OF BUILDING PERMIT.
- SEE APPENDIX "O" OF THE ENGINEERING REPORT FOR OPERATION AND MAINTENANCE PLAN.

TEST PIT AND PERCOLATION DATA

TEST HOLE DATA
PERFORMED 9/30/14, BY P. LAFAYETTE, P.E.

TH-1	TH-2	TH-3	TH-4
0-12" TOPSOIL	0-6" TOPSOIL	0-4" TOPSOIL	0-10" TOPSOIL
12-47" TAN FINE-MED. SAND W/SOME SILT	6-40" TAN FINE-MED. SAND W/SOME SILT	4-32" ORANGE FINE SAND W/SOME SILT & STONES	10-52" ORANGE FINE SAND W/SOME SILT & STONES
47-130" MED.-COARSE SAND AND STONES	40-128" MED.-COARSE SAND AND STONES	32-125" MED.-COARSE SAND AND STONES	52-136" MED.-COARSE SAND AND STONES
NO MOTTLING, NO WATER, NO LEDGE	NO MOTTLING, NO WATER, NO LEDGE	NO MOTTLING, NO WATER, NO LEDGE	NO MOTTLING, NO WATER, NO LEDGE

EARTHWORK

Cut/Fill Summary

Name	Cut Factor	Fill Factor	2d Area	Cut	Fill	Net
Earthwork	1.000	1.000	66340.66 Sq. Ft.	3325.99 Cu. Yd.	3645.68 Cu. Yd.	319.69 Cu. Yd.<Fill>
Totals			66340.66 Sq. Ft.	3325.99 Cu. Yd.	3645.68 Cu. Yd.	319.69 Cu. Yd.<Fill>

A. TOTAL AREA OF DISTURBANCE: 66,340 S.F. (1.5 A.C.s)

WETLAND AREAS

AREA	AREA (S.F.)	AREA (AC.)	NOTES
WETLAND AREA ON SITE	0 S.F.	0 AC.	See note below.
UPLAND REVIEW AREA ON SITE	4,253 S.F.	0.1 AC.	
TOTAL WETLAND AREA DISTURBED	0 S.F.	0 AC.	
UPLAND REVIEW AREA DISTURBED	0 S.F.	0 AC.	
TOTAL WETLAND & UPLAND REVIEW AREA DISTURBED	0 S.F.	0 AC.	

OFF-SITE WETLANDS FLAGGED BY ALEKSANDRA MOCH ON FEBRUARY 12, 2022.

OPERATIONS AND MAINTENANCE PLAN

Scope:

The purpose of the Operations and Maintenance Plan is to ensure that the existing and proposed stormwater components installed at #245 Route 32, Norwich New London Turnpike Montville, CT are maintained in operational condition throughout the life of the project. The service procedures associated with this plan shall be performed as required by the parties legally responsible for their maintenance.

Recommended Frequency of Service:

As further defined below, all stormwater components should be checked on a periodic basis and kept in full working order. Ultimately, the required frequency of inspection and service will depend on runoff quantities, pollutant loading, and clogging due to debris. At a minimum, we recommend that all stormwater components be inspected and serviced twice per year, once before winter begins and once during spring cleanup.

Qualified Inspector:

The inspections must be completed by an individual experienced in the construction and maintenance of stormwater drainage systems. Once every five years the inspections must be completed by a professional engineer.

Service Procedures:

- Catch Basins & Drainage Inlets:**
 - a. Catch basins and drainage inlets shall be completely cleaned of accumulated debris and sediments at the completion of construction.
 - b. For the first year, catch basins and drainage inlets shall be inspected on a quarterly basis.
 - c. Any accumulated debris within the catch basins/inlets shall be removed and any repairs as required.
 - d. From the second year onward, visual inspections shall occur twice per year, once in the spring and once in the fall, after fall cleanup of leaves has occurred.
 - e. Accumulated debris within the catch basins/inlets shall be removed and repairs made as required.
 - f. Accumulated sediments shall be removed at which time they are within 12 inches of the invert of the outlet pipe.
 - g. Any additional maintenance required per the manufacturer's specifications shall also be completed.
- Storm Drainage Piping and Manholes/Junction Boxes:**
 - a. All storm drainage piping shall be completely flushed of debris and accumulated sediment at the completion of construction.
 - b. Manholes/Junction Boxes shall be inspected and repaired on an annual basis.
 - c. Unless system performance indicates degradation of piping, comprehensive video inspection of storm drainage piping shall occur once every ten years.
 - d. Any additional maintenance required per the manufacturer's specifications shall also be completed.
- Stormwater Inlet/Control Structures:**
 - a. All control structures (orifice, weir, etc.) shall be completely cleaned of accumulated debris and sediments at the completion of construction. Any repairs shall be performed.
 - b. For the first year, control structures (orifice, weir, etc.) shall be inspected on a quarterly basis.

- c. Any accumulated debris shall be removed and any repairs made to the control structures (orifice, weir, etc.) as required.
- d. From the second year onward, visual inspections shall occur twice per year, once in the spring and once in the fall, after fall cleanup of leaves has occurred.
- e. Accumulated debris shall be removed and repairs made as required.
- f. Any additional maintenance required per the manufacturer's specifications shall also be completed.

4. Drywells and Infiltration Systems:

- a. All drywells/infiltrators shall be completely cleaned of accumulated debris and sediments upon the completion of construction.
- b. For the first year, the drywells/infiltrators shall be inspected on a quarterly basis.
- c. Any accumulated debris within the drywells/infiltrators shall be removed and any repairs made to the units as required.
- d. From the second year onward, visual inspection shall occur twice per year, once in the spring and once in the fall, after fall cleanup of leaves has occurred.
- e. Accumulated debris within the units shall be removed and repairs made as required.
- f. Any additional maintenance required per the manufacturer's specifications shall also be completed.

5. Roof Gutters:

- a. Remove accumulated debris and inspect for damage. Any damage should be repaired as required.

Disposal of Debris and Sediment:

All debris and sediment removed from the stormwater structures and bioretention/biofiltration basins shall be disposed of legally. There shall be no dumping of silt or debris into or in proximity to any inland or tidal wetlands.

Maintenance Records:

The Owners(s) must maintain all records (logs, invoices, reports, data, etc.) and have them readily available for inspection at all times.

APPROVED BY THE MONTVILLE INLAND WETLAND COMMISSION

CHAIRMAN _____ DATE _____

APPROVED BY THE MONTVILLE PLANNING AND ZONING COMMISSION

CHAIRMAN _____ DATE _____

EXPIRATION DATE _____

SEC PLAN APPROVAL DATE _____

Job Number:
FE22-1700

Job Start Date:
1/4/22

Handicap Unit	09/12/23
San Sewer/Water	03/14/24
Eversource Easement	06/05/24
Eversource Comments	09/24/24
Siteplan Modification	02/10/26
Staff Comments	02/13/26
Staff Comments	03/13/26

Drawn By: D.R.R.
Checked By: J.E.Q.

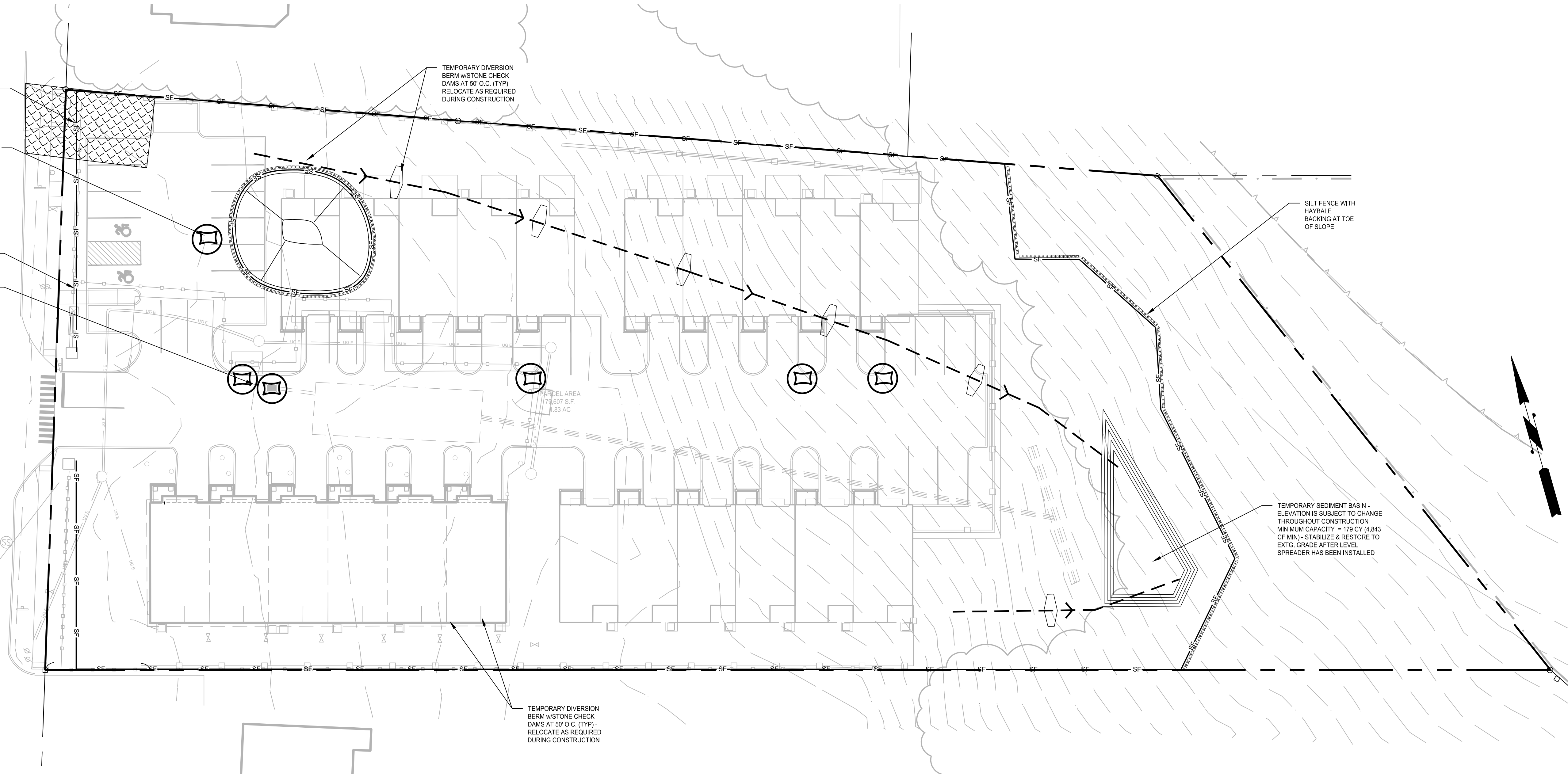
Sheet Title:
GRADING AND DRAINAGE PLAN

Scale:
1" = 20'

Sheet Number:
C-3.1

NORWICH-NEW LONDON TURNPIKE
(CT ROUTE 32)

- PROPOSED ANTI TRACKING APRON FOR USE DURING ALL PHASES
- PROPOSED STOCKPILE AREA RINGED WITH SILT FENCE AND HAYBALE BACKING. LOCATION IS DYNAMIC BASED ON PROJECT STAGE REQUIREMENTS
- PROPOSED SILT FENCE
- PROPOSED SILT SACK AND SEDIMENT TRAP (TYP) - LEAVE FRAMES AND GRATES HIGH DURING CONSTRUCTION



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WILTON'S WAY
22 UNIT CONDOMINIUM DEVELOPMENT
245 NORWICH-NEW LONDON ROAD (RT 32)
MONTVILLE, CONNECTICUT
PREPARED FOR
WESTERN GROUP, LLC

Job Number:
FE22-1700

Job Start Date:
1/4/22

Handicap Unit	09/12/23
San Sewer/Water	03/14/24
Eversource Easement	08/05/24
Eversource Comments	09/24/24
Siteplan Modification	02/10/26
Staff Comments	02/13/26
Staff Comments	03/13/26

Drawn By: Checked By:
D.R.R. J.E.Q.

Sheet Title:
EROSION & SEDIMENT CONTROL PLAN

Scale:
1" = 20'

Sheet Number:
C-4.1

MAP REFERENCES:

- A. "AS-BUILT ZONING IMPROVEMENT LOCATION AND TOPOGRAPHIC SURVEY", DATED 10 FEBRUARY 2026, SCALE 1"=20', BY FULLER ENGINEERING AND LAND SURVEYING, LLC.
- B. "ZONING IMPROVEMENT LOCATION AND TOPOGRAPHIC SURVEY", DATED 7 JANUARY 2022, SCALE 1"=20', BY FULLER ENGINEERING AND LAND SURVEYING, LLC.

NOTES:

- THIS PLAN IS FOR THE PROPOSED SOIL EROSION AND SEDIMENT CONTROL FOR THE CONSTRUCTION OF A RESIDENTIAL DEVELOPMENT WITH PARKING, AND MISCELLANEOUS LANDSCAPING ALONG THE CT ROUTE 32. THIS PLAN IS NOT TO BE USED AS A SITE OR CONSTRUCTION PLAN. ADDITIONAL DESIGN AND DETAILS REQUIRED FOR BIDDING AND CONSTRUCTION.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS, METHODS AND SEQUENCES OF CONSTRUCTION AND FOR THE SAFETY OF WORKERS AND OTHERS ON THE CONSTRUCTION SITE.
- THE PROPOSED DEVELOPMENT SHOWN HEREON HAS BEEN DESIGNED IN ACCORDANCE WITH SECTION 15.1 OF THE ZONING REGULATIONS.
- ALL WORK PERFORMED BY THE OWNER / DEVELOPER MUST INCLUDE IMPLEMENTATION OF AN APPROVED SOIL EROSION AND SEDIMENTATION PLAN IN ACCORDANCE WITH PUBLIC ACT No. 83-388 [PASSED BY THE CONNECTICUT GENERAL ASSEMBLY]. THE OWNER / DEVELOPER SHALL BE THOROUGHLY FAMILIAR WITH THE CONNECTICUT GUIDELINES FOR EROSION 2002 AS AMENDED.
- RESTORE ALL DISTURBED AREAS WITH A MINIMUM OF FOUR (4") INCHES OF TOPSOIL, SEED, AND HAY MULCH UPON COMPLETION OF CONSTRUCTION.
- SEE SHEET C-4.2 FOR EROSION CONTROL NOTES AND DETAILS.
- ANY FUTURE CONSTRUCTION STAGING AREAS (OFFICE TRAILER, LAYDOWN, ETC.) SHALL REQUIRE REVIEW AND APPROVAL BY THE ZONING OFFICIAL OR PLANNING DIRECTOR.

PHASING NOTES

- PHASE 1
- THE OVERALL PERIMETER OF SILT FENCE SHALL BE INSTALLED AND MAINTAINED THROUGHOUT EACH OF THE FOUR PHASES.
 - INSTALL DIVERSION BERMS AS SPECIFIED.
 - STABILIZE WHEN COMPLETE.
- PHASES 2, 3, & 4
- ADJUST DIVERSION BERMS AS REQUIRED TO DIRECT DRAINAGE TO TEMPORARY SEDIMENT BASIN.
 - STABILIZE EACH PHASE WHEN COMPLETE.

SEDIMENT TRAP CALCULATIONS

NOTE
TEMPORARY SEDIMENT TRAPS HAVE BEEN SIZED TO PROVIDE A MINIMUM STORAGE VOLUME OF 134 CUBIC YARDS PER ACRE OF DRAINAGE AREA PER THE 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL

SEDIMENT TRAP	CONTRIBUTING AREA	CY Required	CF Required
1	1.3 AC	179 CY	4,843 CF
TOTAL SEDIMENT TRAP STORAGE CAPACITY	4,843 CF		

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APPROVED BY THE MONTVILLE INLAND WETLAND COMMISSION
CHAIRMAN _____ DATE _____
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