

PLANTING LEGEND

SYMBOL	AMOUNT	LATIN/COMMON NAME	SIZE	TYPE	NOTE
MF	N/A	MALUS FLORIBUNDA JAPANESE FLOWERING CRABAPPLE	7'-8"	B & B	
OK	N/A	FRUNUS OKAME OKAME CHERRY	8' TO 10'	B T B	
KL	10 - 12	KALMIA LATIFOLIA MOUNTAIN LAUREL	3' - 4'	CONT. PLACE 4' O.C.	
IG	N/A	ILEX GLABRIA COMPACTA DWARF INKBERRY	18" TO 24"	CONT.	
VJ	53	VIBURNUM X JUDII JUDD VIBURNUM	18" TO 24"	B & B	

LANDSCAPE NOTES

- ALL RECREATION EQUIPMENT, INCLUDING THE FIGONIC BENCHES, BENCHES SHALL BE PROVIDED AND INSTALLED BY THE OWNER.
- CONTRACTOR SHALL PROVIDE AND INSTALL CEDAR BARK MULCH IN ALL PLANTING BEDS. CEDAR BARK MULCH SHALL BE PLACED TO A DEPTH OF 3".
- CONTRACTOR SHALL PROVIDE AND INSTALL TOPSOIL AND SEED IN ALL LAWN AREAS. TOPSOIL SHALL BE PLACED TO A DEPTH OF 6".

DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.

STAKE TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT. SEE STAKING DETAIL.

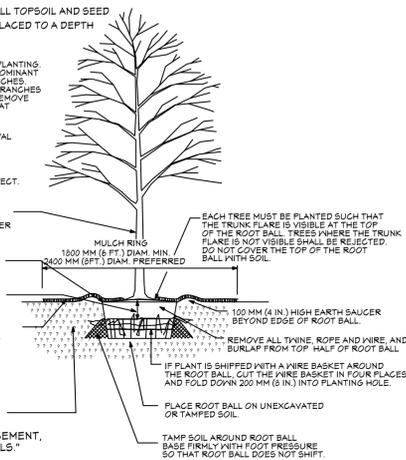
WRAP TREE TRUNKS ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT. SEE WRAPPING DETAIL.

MARK THE NORTH SIDE OF THE TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHEN EVER POSSIBLE.

SET TOP OF ROOT BALL FLUSH TO GRADE OR 25-50 MM (1-2 IN.) HIGHER IN SLOVELY DRAINING SOILS.

50 MM (2 IN.) MULCH. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK. MAINTAIN THE MULCH WEED-FREE FOR A MINIMUM OF THREE YEARS AFTER PLANTING.

NOTE: FOR DIMENSIONS OF PLANTING AREAS, TYPES OF SOIL AMENDMENTS, OR SOIL REPLACEMENT, SEE "SOIL IMPROVEMENT DETAILS."



TREE PLANTING DETAIL - B&B TREES IN ALL SOIL TYPES

NOTE: THIS DETAIL ASSUMES THAT THE PLANTING SPACE IS LARGER THAN 2400 MM (8 FT.) SQUARE, OPEN TO THE SKY, AND NOT COVERED BY ANY PAVING OR GRATING.

		REG/ALLOWED	PROPOSED
		FRONT SETBACK	30' MIN.
REAR SETBACK	30' MIN.	27'0" NEW	
SIDE SETBACK	15' MIN.	15' EXIST.	
AGGREGATE SIDE	MIN.	31.08' EXIST.	
LOT WIDTH	100' MIN.	66' EXISTING	
LOT AREA	10,000 S.F.	26,183.43 S.F.	
HEIGHT	35' MAX.	32.8'	
# STORIES	MAX.	2	
LOT COVERAGE: STRUCTURE	MAX.	8.8%	
AS NEEDED			
RESIDENTIAL DENSITY	MAX.		
PARKING SPACES	MIN.	9	
RECREATION AREA*	MIN.		

COMMERCIAL C-1 DISTRICT
BLOCK: 065 LOT: 000 MAP 069

BUILDING INFORMATION:

APPLICABLE CODES:

- 2018 CT STATE BUILDING ODE

- 2017 NEC
- 2009 ANSI 117.1 ACCESSIBILITY CODE
- 2018 CSFSC

BUILDING CLASSIFICATION:
TYPE 5A CONSTRUCTION

BUILDING USE GROUP:
"R2" RESIDENTIAL

HAZARD CLASSIFICATION:
NON-HAZARD

FIRE PROTECTION:
NON-SPRINKLERED

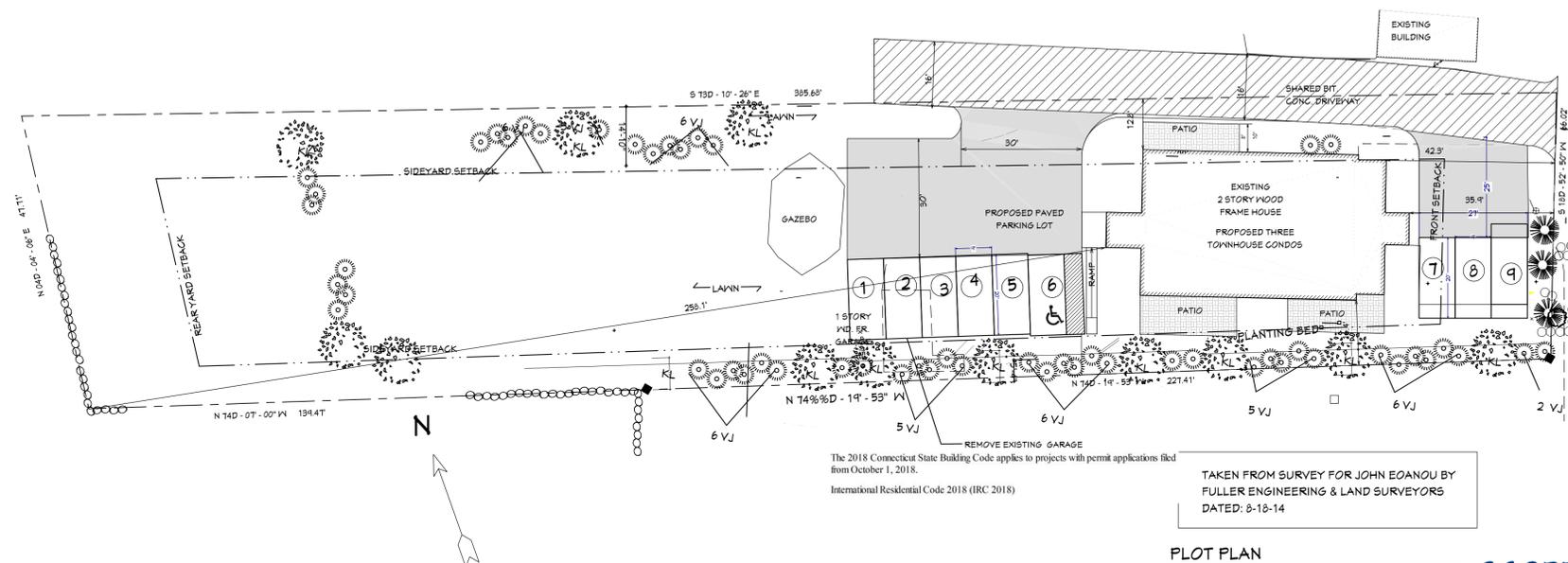
BUILDING ATTRIBUTES

AREA PER FLOOR

BASEMENT = 2,017 SQ. FT.
FIRST FLOOR = 2,017 SQ. FT.
SECOND FLOOR = 2,017 SQ. FT.
TOTAL AREA =

BUILDING HEIGHT

MEAN HEIGHT = 26'-5"
RIDGE HEIGHT = 33'-7"



The 2018 Connecticut State Building Code applies to projects with permit applications filed from October 1, 2018.

International Residential Code 2018 (IRC 2018)

TAKEN FROM SURVEY FOR JOHN EGANOU BY
FULLER ENGINEERING & LAND SURVEYORS
DATED: 8-18-14

PLOT PLAN
SCALE: 1" = 20'

SCOPE OF WORK

- CONVERT EXISTING EXISTING 8-ROOM BOARDING HOUSE TO 3 TOWNHOUSES.
- REMOVE ALL EXISTING PLUMBING AND ELECTRIC FIXTURES.
- INSTALL ALL NEW BATHS AND KITCHENS, LIVING SPACES AS PER PLANS AND INTERIOR AND EXTERIOR FINISHES
- EXPAND NEW PAVED AREA FOR INCREASED PARKING AND LANDSCAPING

REVISION TABLE

NUMBER	DATE	REVISED BY	DESCRIPTION

COVER SHEET

RESIDENTIAL ALTERATION
FOR JNE HOLDINGS, LLC
254 ROUTE 32
UNCAVILLE, CONNECTICUT

DRAWINGS PROVIDED BY:
GEOFFREY CRAIG WILLIAMS, ARCHITECT
140 SHERMAN STREET
FAIRFIELD, CT 06424 203-209-4887 GCW1148@AOL.COM

DATE:
11/08/2020

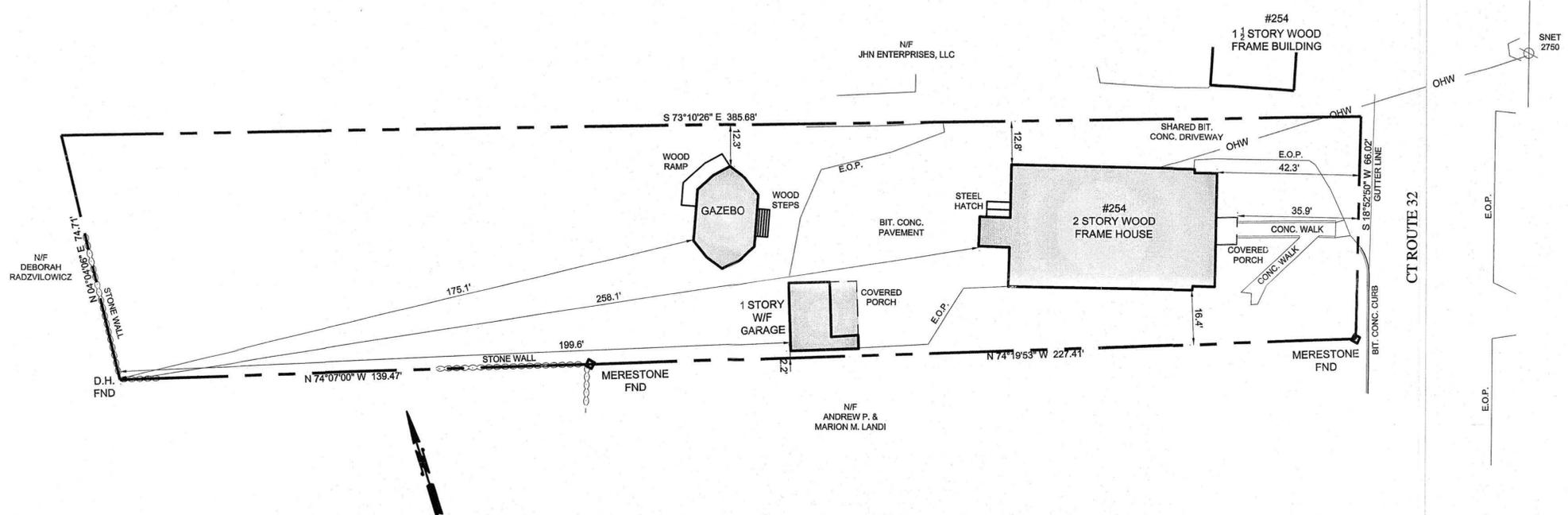
SCALE:

SHEET:

A-1

NOTES:

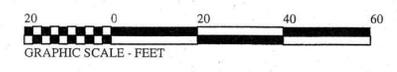
1. THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS 20-300B-1 THRU 20-300B-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. AND ADOPTED ON SEPT. 26, 1996.
2. THE TYPE OF MAP IS LIMITED PROPERTY / BOUNDARY SURVEY.
3. THE TYPE OF SURVEY PERFORMED WITH RESPECT TO THE BOUNDARY PERIMETER IS LIMITED PROPERTY/BOUNDARY SURVEY - IMPROVEMENT LOCATION SURVEY.
4. THE BOUNDARY DETERMINATION CATEGORY IS DEPENDENT RESURVEY.
5. WITH RESPECT TO HORIZONTAL ACCURACY, THIS MAP CONFORMS TO AN ACCURACY CLASS A-2.
6. UTILITY, STRUCTURES, AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN-PART, BY FIELD LOCATIONS OF OBSERVABLE STRUCTURES AND PAINTED MARKINGS. THE ACTUAL LOCATION AND SIZE OF UNDERGROUND UTILITIES SHOWN HEREON MAY NOT BE INDICATED. ADDITIONAL UNDERGROUND UTILITIES MAY EXIST. PRIOR TO EXCAVATION OR CONSTRUCTION, CONTACT "CALL BEFORE YOU DIG", (800) 922-4455.
7. OWNER OF RECORD: HERSHEY HOSPITALITY CONSULTING CORPORATION, RECORDED IN VOLUME 595., PAGE 797 IN THE UNCASVILLE AT MONTVILLE TOWN CLERK'S OFFICE.
8. PARCEL IS IN A C-1 ZONE. MAP 069, BLOCK 066, LOT 000.
9. ALL DECLARATIONS ARE VALID FOR THE MAP AND COPIES THERE OF ONLY IF THEY BEAR THE EMBOSSED SEAL OF THE SURVEYOR WHOSE SIGNATURE APPEARS HEREON. UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS SURVEY RENDER ANY DECLARATION SHOWN HEREON NULL AND VOID.



FILE COPY
RECEIVED
AUG 15 2014
By

IMPROVEMENT LOCATION SURVEY
254 ROUTE 32
(aka NORWICH-NEW LONDON TURNPIKE)
MONTVILLE, CONNECTICUT

PREPARED FOR:
JOHN EANNOU
SCALE 1" = 20' 15 AUGUST 2014



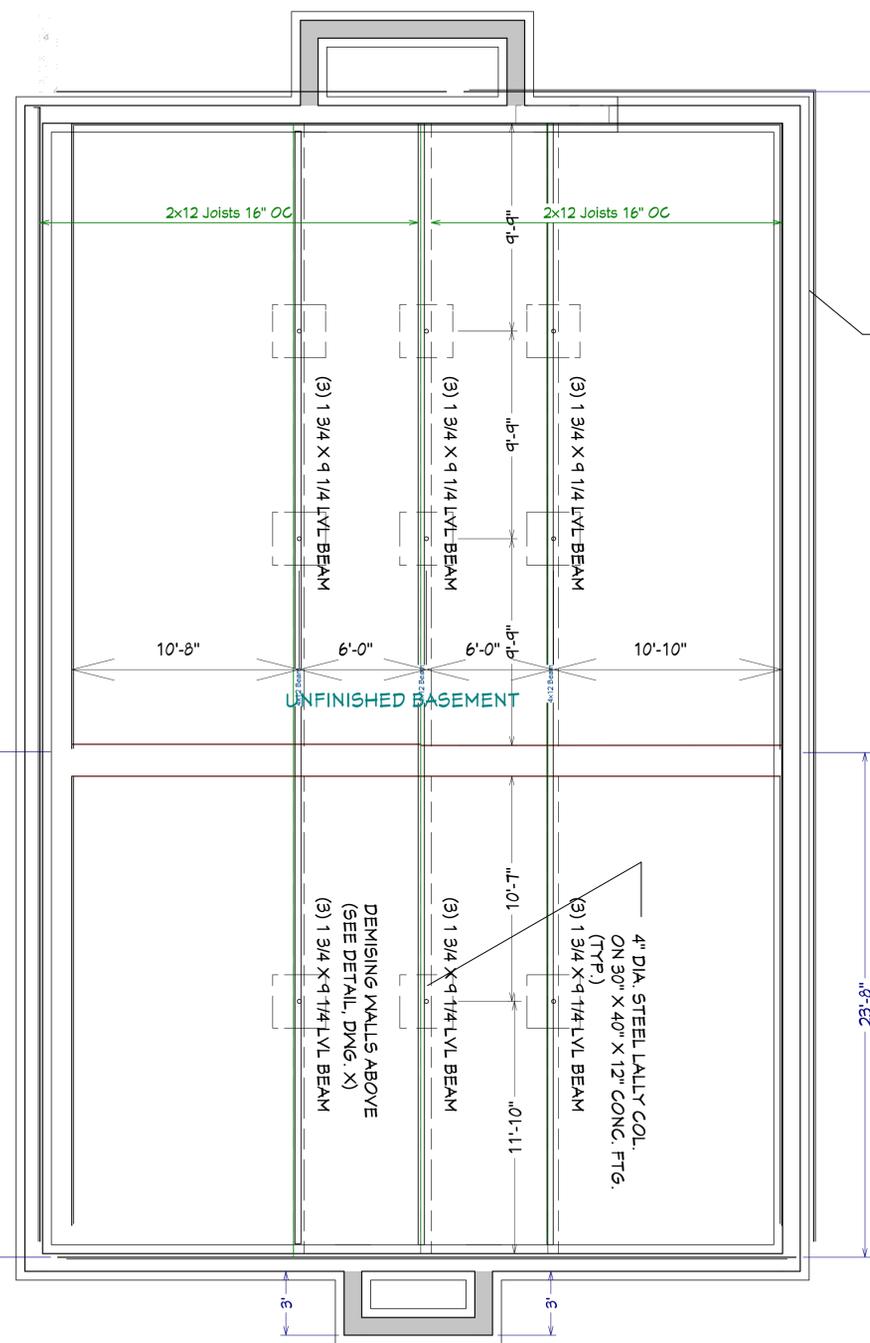
FULLER ENGINEERING & LAND SURVEYING
525 JOHN STREET
BRIDGEPORT, CT.
PH. 203-333-9465
EMAIL: INFO@FULLERSURVEYORS.COM

NO.	REVISIONS	DATE
1	BUILDING TIES	8-18-14

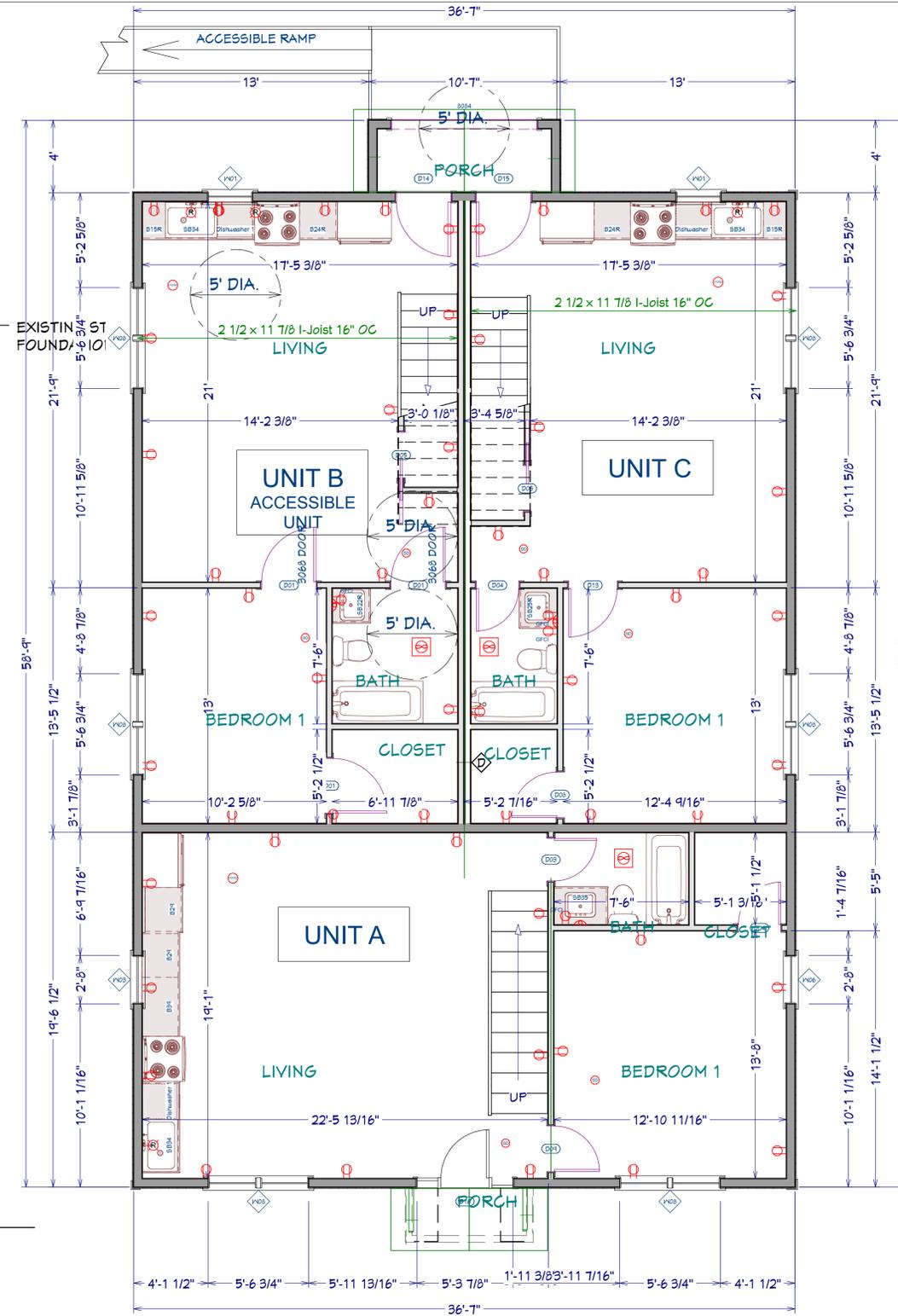
THIS MAP IS NOT VALID UNLESS IT HAS A LIVE SIGNATURE AND EMBOSSED SEAL OF KEVIN M. CROWLEY.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT TO THE STANDARDS OF CLASS "A2" AS NOTED HEREON.

Kevin M. Crowley
KEVIN M. CROWLEY
R.L.S. # 70261



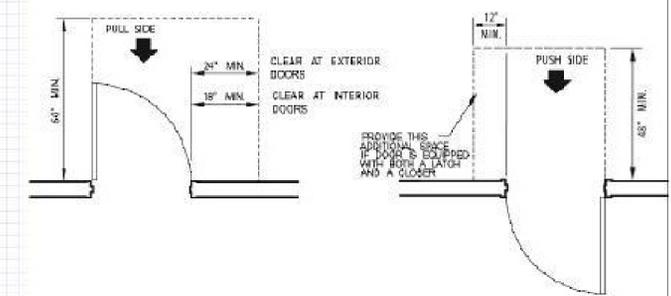
BASEMENT/FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

- Size = Min 3'-0" wide (32" clear when 90° open) and 6'-8" in height.
- Door hardware = operable with a single effort without requiring ability to grasp hardware.
- Effort to operate doors = 8.5 pounds at exterior doors and 5 pounds at interior doors
- Door hardware height = 30" - 44" above floor.

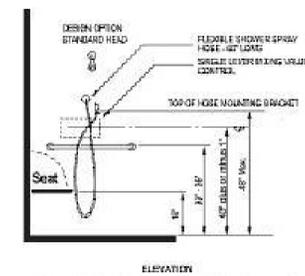
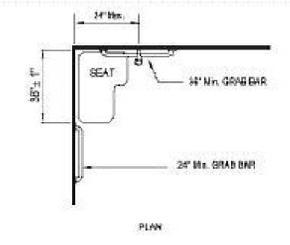
ACCESSIBLE UNIT REQUIREMENTS



- Size = Min 3'-0" wide (32" clear when 90° open) and 6'-8" in height.
- Door hardware = operable with a single effort without requiring ability to grasp hardware.
- Effort to operate doors = 8.5 pounds at exterior doors and 5 pounds at interior doors
- Door hardware height = 30" - 44" above floor.

TOILET ROOM FIXTURES AND ACCESSORIES:

- Water closet height = Min. 17" to max. 19"
- Water closet flush control = Max. 44" above floor.
- Grab bars = 1 1/4" o - 1 1/2" o mounted at 33" above floor with 1 1/2" wall clearance.
- Towel, sanitary napkins and waste receptacles = Max. 40" above floor.
- Urinal = Min. 14" from wall and 17" above floor with operable control at max. 44" above the floor.



THESE DIAGRAMS ILLUSTRATE THE SPECIFIC REQUIREMENTS OF THESE REGULATIONS AND ARE INTERPRETED ONLY AS AN AID FOR BUILDING DESIGN AND CONSTRUCTION.

NUMBER	DATE	REVISION BY	DESCRIPTION

**FOUNDATION PLAN
FIRST FLOOR PLAN**

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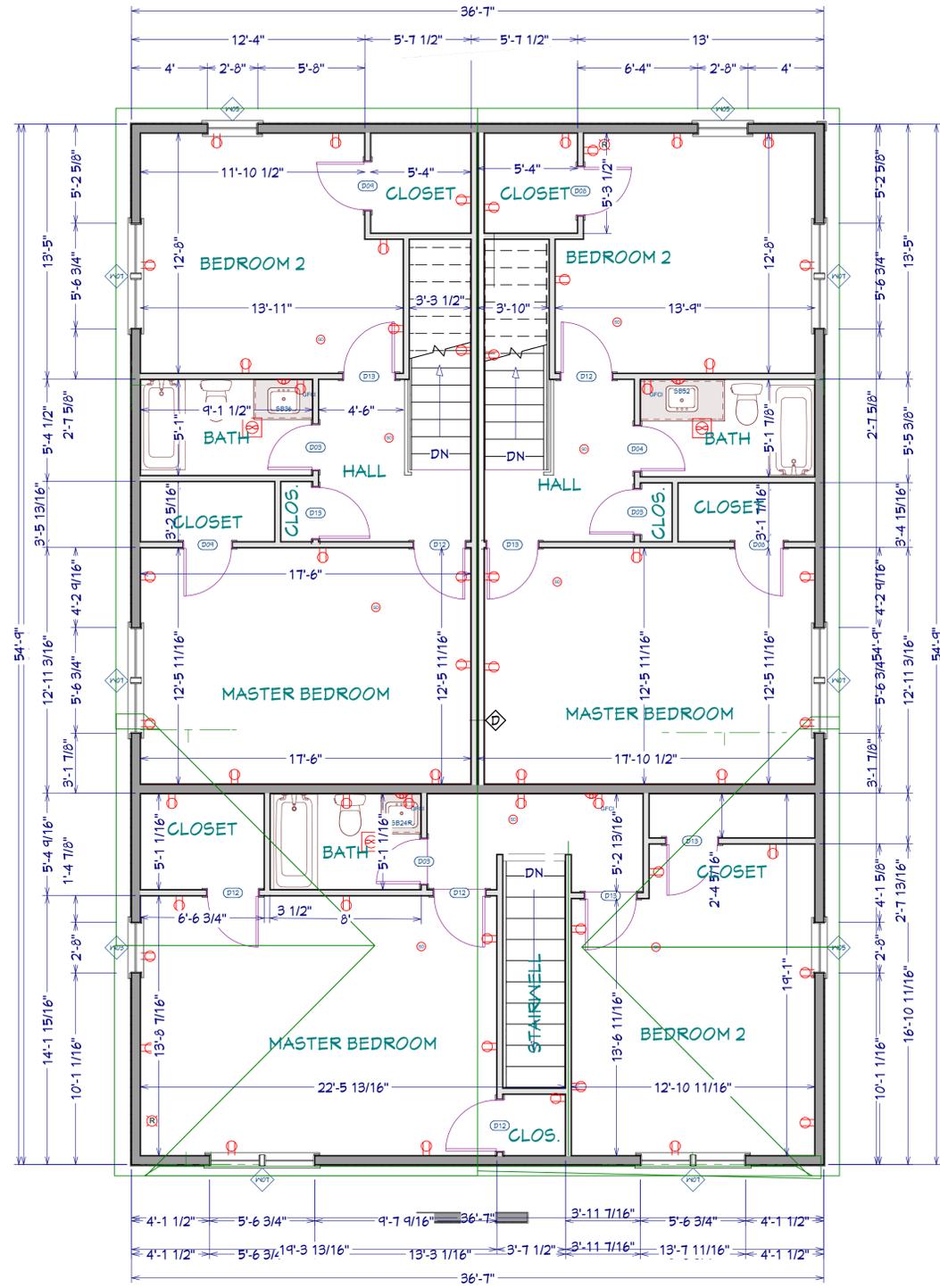
DATE:

11/08/2020

SCALE:

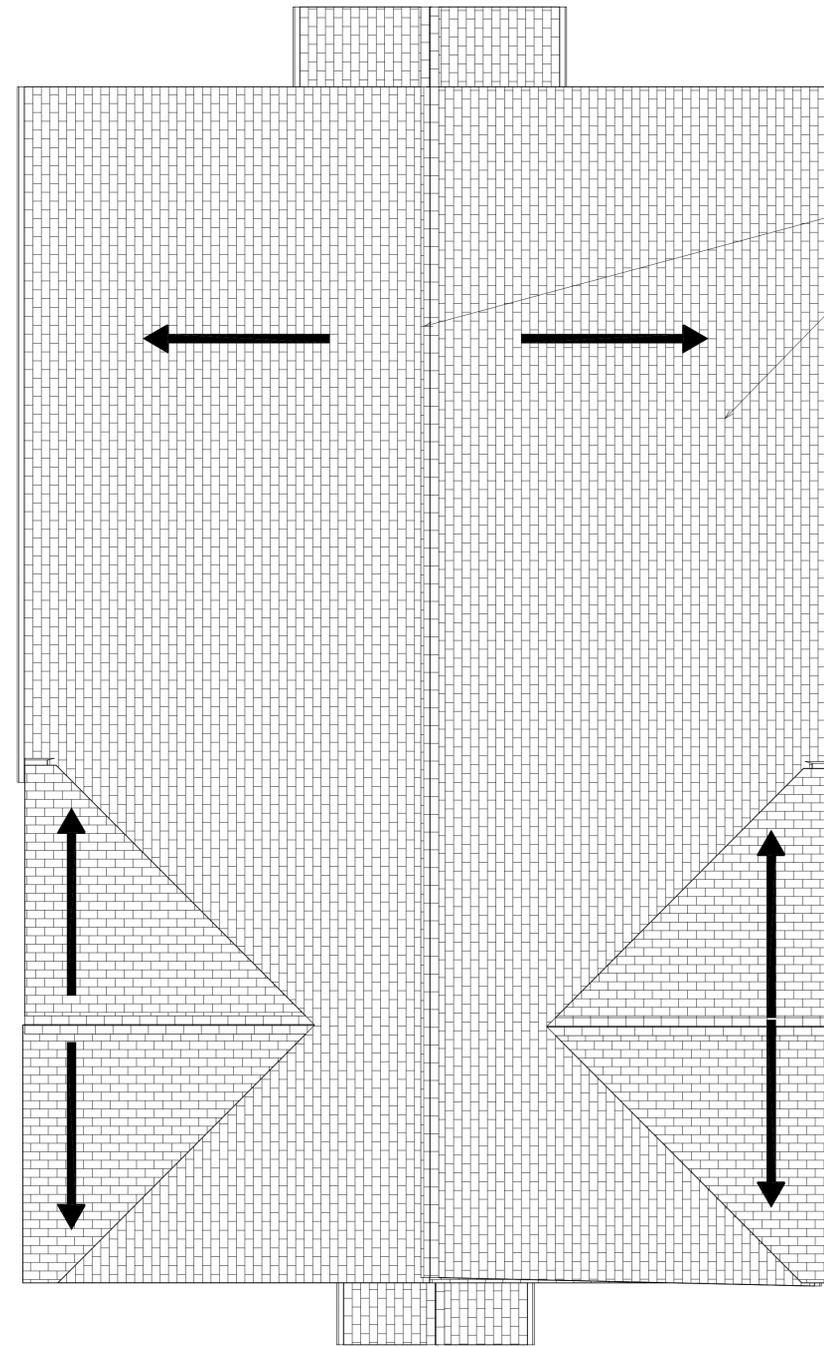
SHEET:

A-2



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



ROOF PLAN

SCALE: 1/4" = 1'-0"

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**SECOND FLOOR PLAN
ROOF PLAN**

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140 SHERMAN STREET C/O CORPORATE DESIGN, LLC
FAIRFIELD, CT 06624 203-209-4887 GCW1948@AOL.COM

DATE:

11/08/2020

SCALE:

SHEET:

A-3



LEFT ELEVATION



FRONT ELEVATION



REAR ELEVATION



RIGHT ELEVATION

CLG. HT. 8'-0"

FIRST FLOOR CLG. HT. 11"

FIRST FLOOR 9'-0"

GRADE 2"

RIDGE HEIGHT 1'-1 11/16"

EAVES HT. 1'-1 5/8"

MID. PT. RIDGE HT. 1'-1 11/16"

19'-4 1/16"

26'-5 11/16"

33'-7 5/8"

GRADE 2"

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ELEVATIONS

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 140 SHERMAN STREET C/O CORPORATE DESIGN, LLC
 FAIRFIELD, CT 06424 203-204-4857 GCW1948@AOL.COM

DATE:

11/08/2020

SCALE:

SHEET:

A-4

