



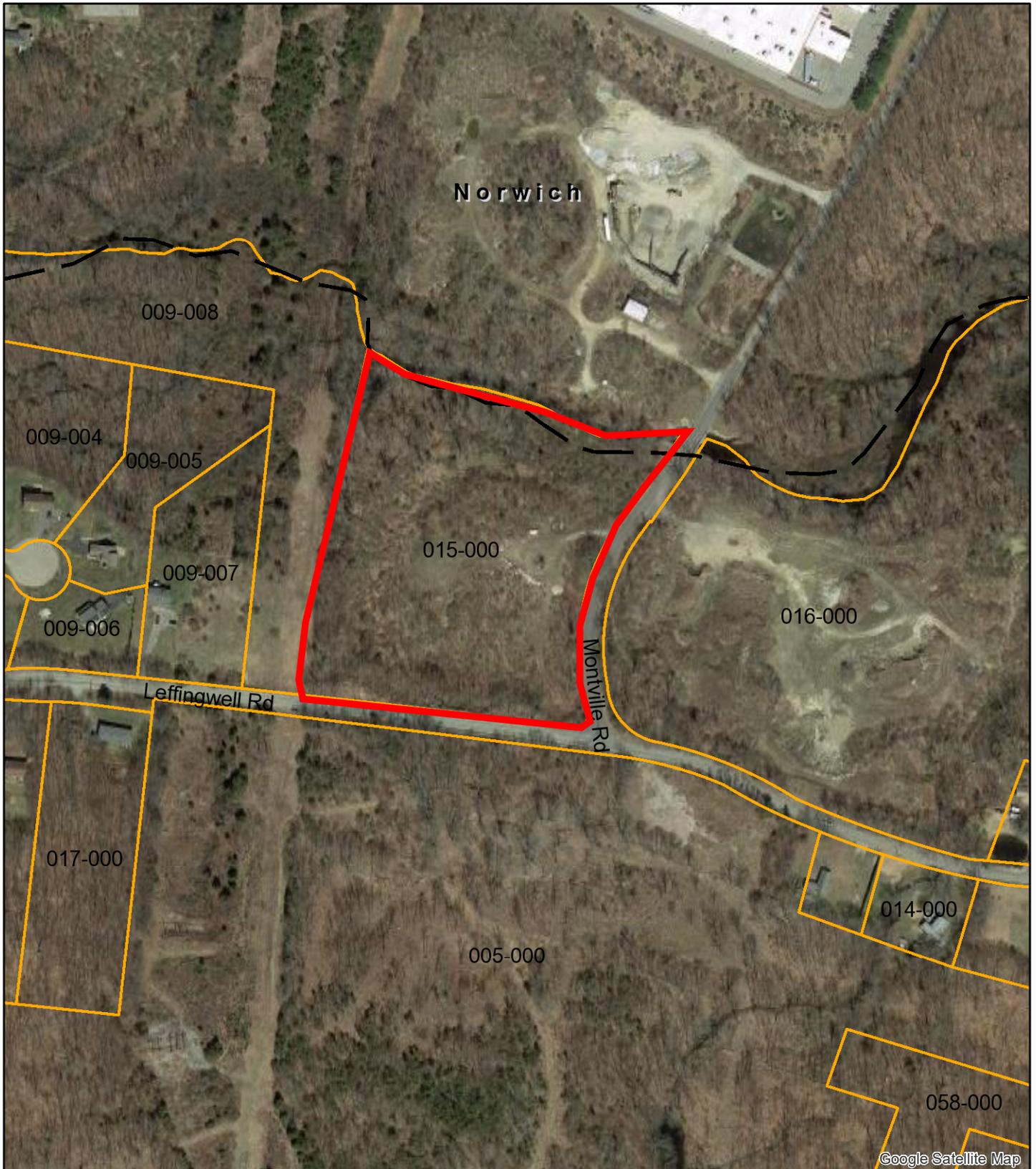
# Driveway Guys 161 Leffingwell Rd M62L15

Montville, CT

1 inch = 280 Feet



August 25, 2020



Google Satellite Map

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# Driveway Guys 161 Leffingwell Rd M62L15

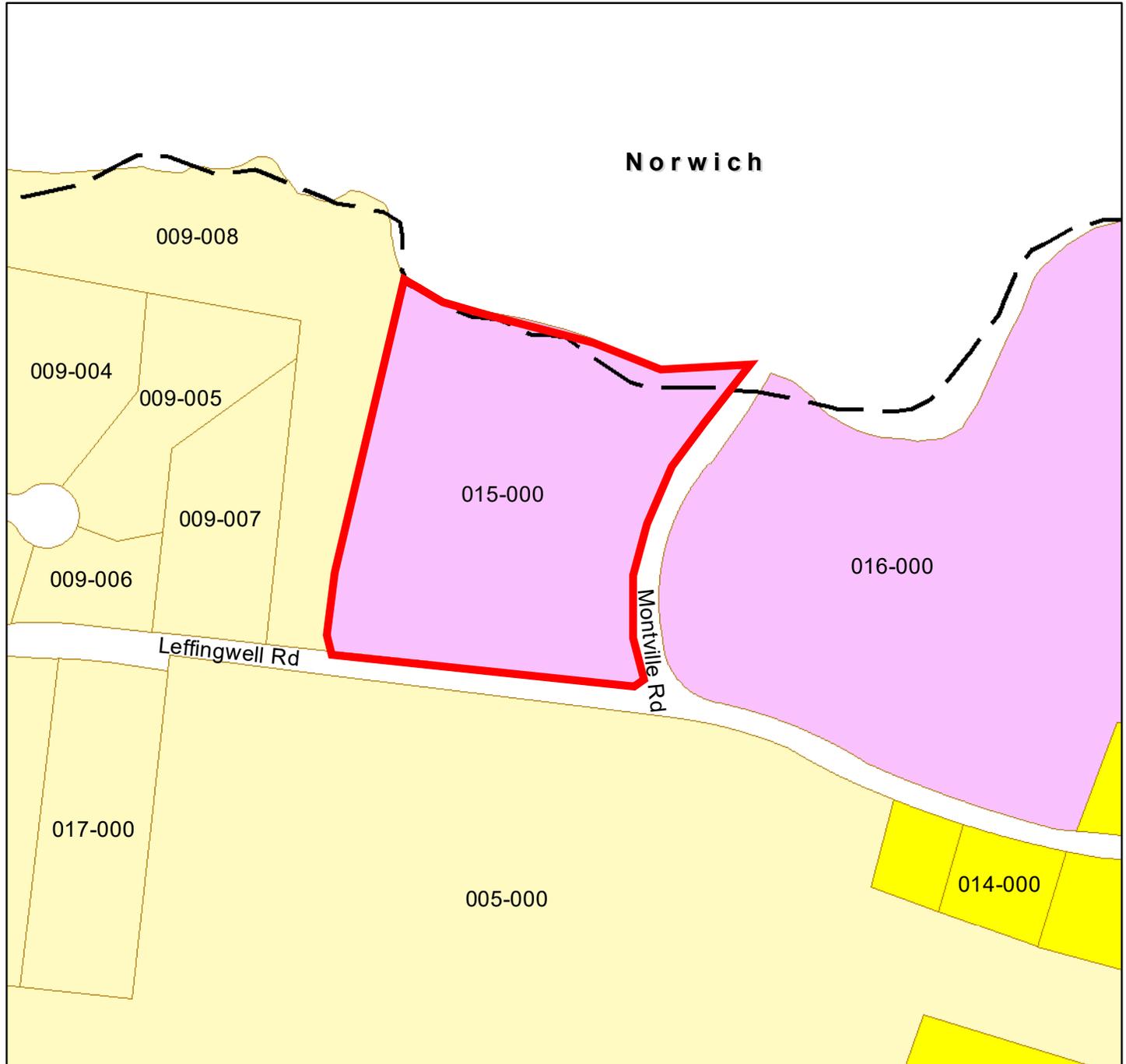


Zoning

1 inch = 280 Feet



August 25, 2020



Legend		Zoning	
	CT_Townline		LI
	Parcel Lines		R40
			R80

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Project: Self storage Units  
Accepted by Commission-8/25/2020

### **General Information**

**Applicant: Driveway Guys**

**Owner: Patterson Bros Properties LLC**

**Representatives:**

Legal: None  
Engineer: Ellen Bartlett (Green Site Designs)  
Surveyor: Robert Mullen

**Requested Action:** Site Plan Approval

**Purpose:** Creation of 5 storage Unit Buildings with an office

**Location:** 161 Leffingwell Rd (Map 62 Lot 15)

**Existing Land Use, Acreage, Zoning and Applicable Zoning Sections:**

- Depleted Gravel Pit
- Light Industrial
- 9.4 acres
- Section 12 (LI Zone)
- Section 17 (Site Plans)

### **Background Information**

Property was formerly used by Johnson Gravel and Grey Wolf Construction

### **Analysis**

**Inland Wetlands Commission:** No activity within 50 feet of any wetlands

**Uncas Health -** Approved with conditions- See attached letter

### **Building Department**

1. Both accessible spaces are required to be van spaces. Not shown on plan but shown on detail

**Fire Marshal-** No concerns

**Town Engineer** – All comments have been addressed

### **Planning Review:**

The proposed site will have a total of 5 buildings and will be done in two phases. Phase I will consist of Buildings A and B which are both 30' x 400' (12,000 square ft.). Phase II will consist of Buildings C and D which are both 40' x 400' (16,000 square ft.) and Building E which is 40' x 320' (12,000 square ft.) and contains the office.

## **Staff Recommendations**

Staff recommends approval. The application has satisfied the Requirements of Section 12 (LI Zone) and Section 17 (Site Plans) of the Regulations

Draft Motion for Approval:

The Commission finds that the site plan meets the requirements of Section 12 and Section 17 of the Zoning Regulations and approves the application of the Driveways Guys and the plan titled “Self-Storage Facility 161 Leffingwell Rd Montville, CT. Owner: Patterson Bros Properties LLC Applicant: Driveway Guys prepared by Greensite Designs Sheets 1-8 dated July 2020 and revised to 8/13/2020”

This is a conditional approval. Each and every condition is an integral part of the Commission decision. Should any of the conditions, on appeal from this decision, be found to be void or of no legal effect then this conditional approval is likewise void. Should any of the conditions not be implemented by the applicant or his successors within the specified permit time period, then this conditional approval is void. The applicant may re-file another application review. The conditions of approval are:

1. The ZEO must be contacted 24 hrs prior to start of construction and a Zoning Permit must be filed for prior to construction.
2. A bond in the amount of \$2,000.00 must be posted prior to the issuance of a Zoning Permit for Erosion and Sediment Control and Site Plan Compliance
3. The handicap spaces shall both be shown on the plans as a van space as per the detail per the Building Department comments.
4. The driveway easement must be filed on the land records and the certified copy returned to the Planning Office
5. The comments of the Uncas Health District in their approval letter of August 11, 2020 must be addressed.
6. Prior to the signature of the Chairman the applicant shall submit digital data to the office as required by Section 17.3 of the Zoning Regulations
7. Post- Construction Requirements note shall be added to the plans that reads as follows:

After construction is completed and accepted by the Owner, it shall be the responsibility of the Owner to maintain all drainage structures. In addition, the following inspection and maintenance guidelines shall be the responsibility of the Owner, beginning the first year period following construction completion and acceptance, and shall be followed each year thereafter:

1. **Drainage and other Paved Areas:** Inspect on a regular basis not to exceed weekly for litter and debris. Sweep at least twice a year, with the first occurring as soon as possible after first snowmelt and the second not less than 90 days following the first.
2. **Catch Basin Sumps:** Inspect semi-annually and cleaned when the sump is one half full of silt and/or debris.



August 11, 2020

Subject: 161 Leffingwell Road, Montville, CT review of engineered plans for a commercial subsurface sewage disposal system for an office for a self-storage facility, revised 7/31/2020.

To: Ellen M. Bartlett, P.E.

From: Michael J. Kirby, R.S., Chief Environmental Sanitarian *Michael J. Kirby*

Engineer: Ellen M. Bartlett, P.E.

Date received: August 3, 2020

**Reason for submission:**  Minimum perc rate faster than 1 min/inch

High maximum ground water level  Shallow ledge rock  Other

New construction  Repair

**Basis of design:** A 600 sf office for a self-storage facility. 200 sf per employee @ 20 gpd per employee = 60 gpd. Application rate of 1.5 gals/sf of ELA requires 40 sf of ELA.

**Design specifications:**

MLSS: N/A

Design perc rate: 0.88 Min/Inch

Septic tank: 1000 Gallons H2O

Fill: None

Leaching system: 1 – 34' row of 12" leaching gallery with 1' of stone at each end, 200.6 sf

Drains: Catch basins & associated piping, roof infiltration system, and water quality basin

Water supply: Proposed well off the NW corner of the office building

Plan review only, not approval to construct:

- Approved
- Approved with modifications or provisions noted.
- Conditional approval subject to further testing as noted (*additional testing required*).
- Conditional approval with modifications or provisions noted (*revised plan required*).
- Approval denied, revise as noted & further site investigation required (*revised plan required*).
- Approval denied, insufficient information on plan (*revised plan required*).
- Approval denied, further site investigation required.

**Comments:**

- 1] The drainage pipe adjacent to the septic tank to ensure that it is acceptable tight pipe.
- 2] The concrete covers are to remain in place on the septic tank.
- 3] The building, system, well, and the drainage in the area of the system must be staked and a benchmark must be set by a licensed surveyor prior to the start of construction.